

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE OF THE CITY OF DENTON, TEXAS, APPROVING A SPECIFIC USE PERMIT FOR A MULTI-FAMILY RESIDENTIAL USE ON APPROXIMATELY 32.60 ACRES AND TO ALLOW FOR AN OUTDOOR RECREATION USE ON APPROXIMATELY 19.90 ACRES. THE PROPERTY IS GENERALLY LOCATED ON THE SOUTH SIDE OF WEST OAK STREET APPROXIMATELY 290 FEET WEST OF THE INTERSTATE HIGHWAY 35 SERVICE ROAD IN THE CITY OF DENTON, DENTON COUNTY, TEXAS; PROVIDING FOR A PENALTY IN THE MAXIMUM AMOUNT OF \$2,000.00 FOR VIOLATIONS THEREOF; PROVIDING A SEVERABILITY CLAUSE AND AN EFFECTIVE DATE. (S17-0009)

WHEREAS, Rayzor Investments Ltd. has applied for a Specific Use Permit (SUP) to allow for a multi-family residential use on approximately 32.60 acres and to allow for an outdoor recreation use on approximately 19.90 acres, within the NRMU zoning district and use classification, said total acreage is composed of lots legally described and the location of which is shown in **Exhibit A**, attached hereto and incorporated by reference herein (the "Property"); and

WHEREAS, after notice was published, a public hearing was held before the Planning and Zoning Commission in accordance with State law on November 8, 2017, whereby the Planning and Zoning Commission recommended approval (4-3) of the requested SUP, subject to conditions; and

WHEREAS, on December 5, 2017, after notice published, a public hearing was held before the City Council in accordance with State law and the City Council hereby finds that the request is consistent with the Denton Plan and federal, state, and local law and that the Applicant has agreed to comply with all provisions of the Denton Development Code, as they exist, may be amended, or in the future arising, including but not limited to, this Ordinance, and has further agreed to comply with the additional restrictions and conditions set forth herein; and

WHEREAS, the City Council has determined that it will be beneficial to Denton and its citizens to grant the SUP; that such grant will not be detrimental to the public welfare, safety, or health; and that the SUP should be granted; NOW THEREFORE,

THE COUNCIL OF THE CITY OF DENTON HEREBY ORDAINS:

SECTION 1. The findings and recitations contained in the preamble of this ordinance are incorporated herein by reference and found to be true.

SECTION 2. The SUP to allow the multi-family and outdoor recreation uses on the Property is hereby approved, subject to the following conditions:

1. The provided Site Plan, Landscape Plan, and Building Elevations shown in **Exhibit B** are conceptual. A full site plan submittal shall be required to ensure each phase of the development complies with the requirements of the Denton Development Code in terms of site design, landscaping, parking, and building design as provided in DDC 35.6.3.
2. A full assessment of the Environmentally Sensitive Areas (ESA) on the property is required and an Alternative ESA plan must be approved before any development within the boundaries of the ESA shown on the Conceptual Site Plan can be approved.
3. The development of a multi-family use shall be limited to the 32.6 acres designated for this use on the attached Conceptual Site Plan, and an outdoor recreation use shall be limited to the 19.9 acres indicated for this use on the attached conceptual Site Plan. The multi-family use shall contain no more than the 289 units shown on the conceptual Site Plan and the density of development shall be calculated based on only the area within each proposed phase of the multi-family development.

SECTION 3. Failure to Comply. Except as otherwise stated above, all terms of the SUP shall be complied with prior to issuance of a Certificate of Occupancy. Failure to comply with any term or condition of the Ordinance will result in the SUP being declared null and void and of no force and effect. The SUP is issued to the entity named above and is assignable and transferable.

SECTION 4. SUP Regulations. Upon notice to the property owner and a hearing before the City Council, a SUP may be revoked or modified if: 1. There is one or more of the conditions imposed by this Ordinance that has not been met or has been violated on the Property; or 2. The SUP was obtained or extended by fraud or deception; or 3. As otherwise permitted by law and/or Denton's Zoning Ordinance.

SECTION 5. Unlawful use. It shall be unlawful for any person, firm, entity, or corporation to make use of the above-referenced Property in some manner other than as authorized by the Denton Code of Ordinances and this Ordinance.

SECTION 6. Severability. If any provision of this ordinance or the application thereof to any person or circumstance is held invalid by any court, such invalidity shall affect the validity of the provisions or applications, and to this end the provisions of this ordinance are severable.

SECTION 7. Penalty. Any person, firm, entity or corporation violating any provision of this ordinance shall, upon conviction, be fined a sum not exceeding \$2,000.00 for each violation. Each day that a provision of this ordinance is violated shall constitute a separate and distinct offense. The penal provisions imposed under this Ordinance shall not preclude Denton from filing suit to enjoin the violation and it retains all legal rights and remedies available to it under local, state and federal law.

SECTION 8. Effective Date. This ordinance shall become effective fourteen (14) days from the date of its passage, and the City Secretary is hereby directed to cause the caption of this ordinance to be published twice in the Denton Record-Chronicle, a daily newspaper published in the City of Denton, Texas, within ten (10) days of the date of its passage.

PASSED AND APPROVED this the \_\_\_\_\_ day of \_\_\_\_\_, 2017.

\_\_\_\_\_  
CHRIS WATTS, MAYOR

ATTEST:  
JENNIFER WALTERS, CITY SECRETARY

BY: \_\_\_\_\_

APPROVED AS TO LEGAL FORM:  
AARON LEAL, CITY ATTORNEY

BY:  \_\_\_\_\_

## **Exhibit A**

# **LEGAL DESCRIPTION**

71.76 ACRES

**BEING** a tract of land situated in the Eugene Puchalski Survey, Abstract No. 996, City of Denton, Denton County, Texas, and being part of "Section 3" "TRACT TWO" and "TRACT THREE" described in Special Warranty Deed to Jess Newton Rayzor, the Estate of Sewyn Rayzor Singleton, Evelyn Rayzor Neinhuis, and June Rayzor Elliott recorded in Volume 1796, Page 601 Deed Records of Denton County, Texas, and being all of those tracts of land described in Warranty Deeds to RAYZOR INVESTMENTS, LTD., recorded in Instrument Nos. 2007-20903 & 2007-20904, Official Records of Denton County, Texas and being more particularly described as follows:

**BEGINNING** at a point in the north right-of-way line of Precision Drive (a 70-foot wide right-of-way), and being the southeast corner of Lot 10, Block A, Westpark Addition, Phase 2, an addition to the City of Denton, Texas according to the plat recorded in Document No. 2013-318 of the Plat Records of Denton County, Texas;

**THENCE** with the east line of said Lot 10, the following courses and distances:

North 7°12'15" East, a distance of 102.26 feet to a point at the beginning of a tangent curve to the left having a central angle of 19°29'54", a radius of 512.50 feet, a chord bearing and distance of North 2°32'42" West, 173.57 feet;  
 In a northwesterly direction, with said curve to the left, an arc distance of 174.41 feet to a point for corner;  
 North 12°17'40" West, a distance of 145.70 feet to a point at the beginning of a tangent curve to the right having a central angle of 12°45'12", a radius of 537.50 feet, a chord bearing and distance of North 5°55'04" West, 119.39 feet;  
 In a northwesterly direction, with said curve to the right, an arc distance of 119.64 feet to a point for corner;  
 North 0°27'30" East, a distance of 1355.70 feet to a point at the beginning of a tangent curve to the right having a central angle of 21°52'47", a radius of 536.50 feet, a chord bearing and distance of North 11°23'54" East, 203.63 feet;  
 In a northeasterly direction, with said curve to the right, an arc distance of 204.88 feet to a point for corner;  
 North 22°20'17" East, a distance of 159.02 feet to a point in the south right-of-way line of West Oak Street (an 80-foot wide right-of-way) and being at the beginning of a non-tangent curve to the left having a central angle of 47°17'08", a radius of 790.00 feet, a chord bearing and distance of South 88°39'24" East, 633.63 feet;

**THENCE** with said south right-of-way line of West Oak Street, the following courses and distances:

In a southeasterly direction, with said curve to the left, an arc distance of 651.98 feet to a point for corner;  
 North 67°42'01" East, a distance of 225.02 feet to a point for corner at the intersection of said south right-of-way line of West Oak Street and the west right-of-way line of the Kansas City Southern Railroad;

**CONTINUED ON SHEET 2**

J. ANDY DOBBS  
 REGISTERED PROFESSIONAL  
 LAND SURVEYOR NO. 6196  
 12750 MERIT DRIVE, SUITE 1000  
 DALLAS, TEXAS 75251  
 PH. 972-770-1300  
 andy.dobbs@kimley-horn.com

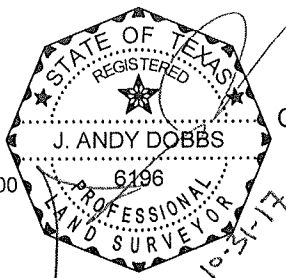


EXHIBIT  
 71.76 ACRES  
 EUGENE PUCHALSKI SURVEY,  
 ABSTRACT NO. 996  
 CITY OF DENTON, DENTON COUNTY, TEXAS

**Kimley»Horn**

13455 Noel Road, Two Galleria Office  
 Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300  
 Fax No. (972) 239-3820

| Scale | Drawn by | Checked by | Date      | Project No. | Sheet No. |
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**THENCE** with said west right-of-way line of the Kansas City Southern Railroad, the following courses and distances:

South 22°24'01" East, a distance of 879.63 feet to a point for corner;  
 South 89°07'01" East, a distance of 27.22 feet to a point for corner;  
 South 22°24'01" East, a distance of 1073.27 feet to a point for corner;  
 South 16°45'10" East, a distance of 230.32 feet to a point for the north corner of Lot 1, Block 1, Denton Distribution Center, an addition to the City of Denton according to the plat recorded in Cabinet M, Page 130 of said Plat Records;

**THENCE** departing said west right-of-way line of the Kansas City Southern Railroad and with the north line of said Lot 1, Block 1, the following courses and distances:

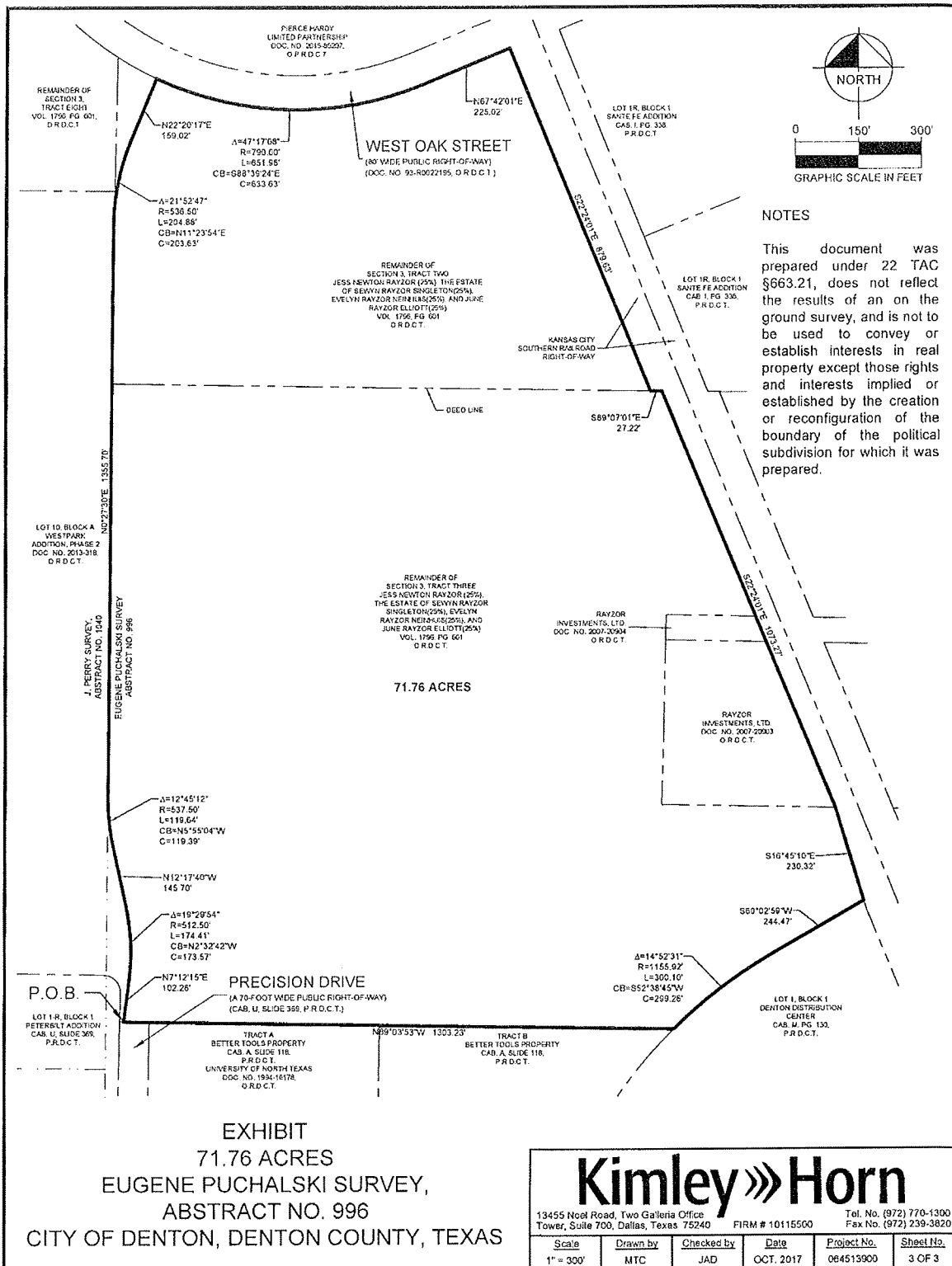
South 60°02'59" West, a distance of 244.47 feet to a point at the beginning of a tangent curve to the left having a central angle of 14°52'31", a radius of 1155.92 feet, a chord bearing and distance of South 52°38'45" West, 299.26 feet;  
 In a southwesterly direction, with said curve to the left, an arc distance of 300.10 feet to a point for the northeast corner of Tract B, Better Tools Property, an addition to the City of Denton according to the plat recorded in Cabinet A, Page 118 of said Plat Records;

**THENCE** departing said north line of Lot 1, Block 1 and with the north line of said Better Tools Property, North 89°03'53" West, a distance of 1303.23 feet to the **POINT OF BEGINNING** and containing 71.76 acres of land.

This document was prepared under 22 TAC §663.21, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

EXHIBIT  
 71.76 ACRES  
 EUGENE PUCHALSKI SURVEY,  
 ABSTRACT NO. 996  
 CITY OF DENTON, DENTON COUNTY, TEXAS

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**Exhibit B**  
**Conceptual Plans**

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PHONE: 972-770-1300 FAX: 972-238-  
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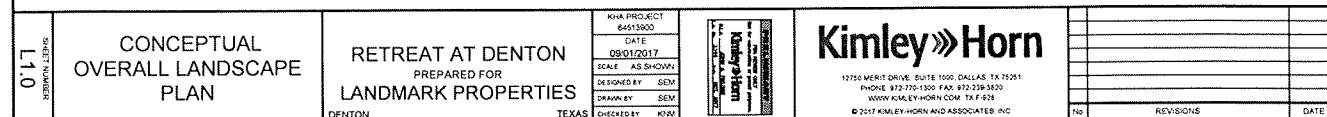
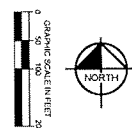
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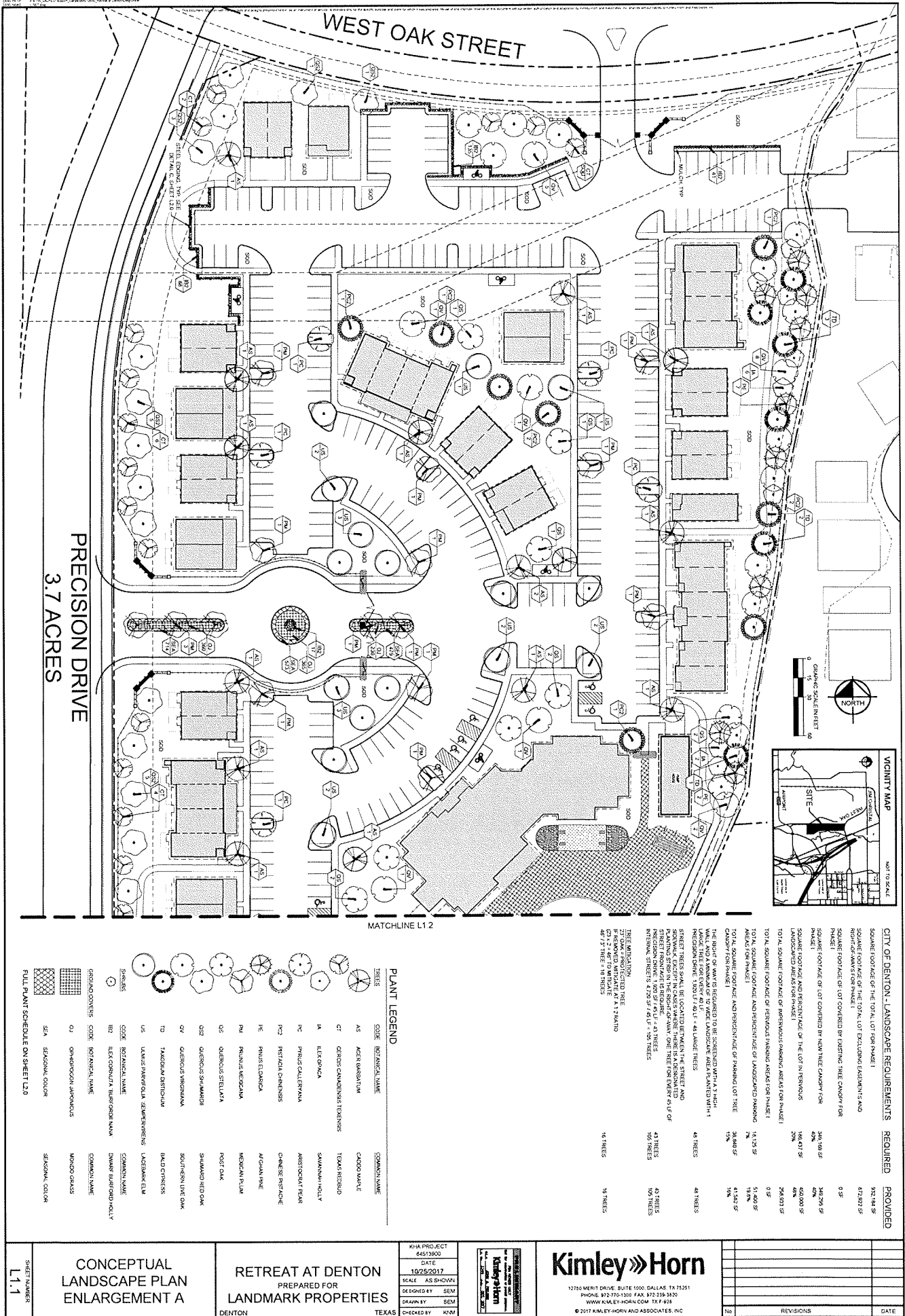
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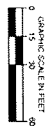
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 ALA. 35116-0000 TEL. 205-382-2827

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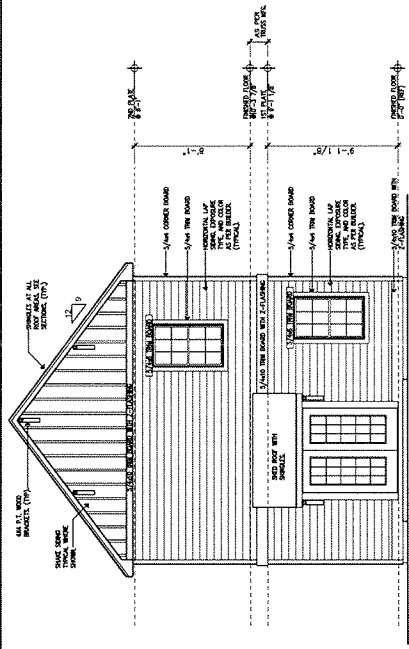






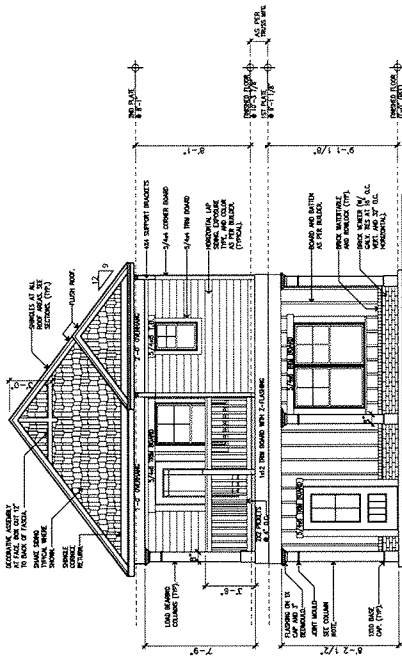
## The Birchmore





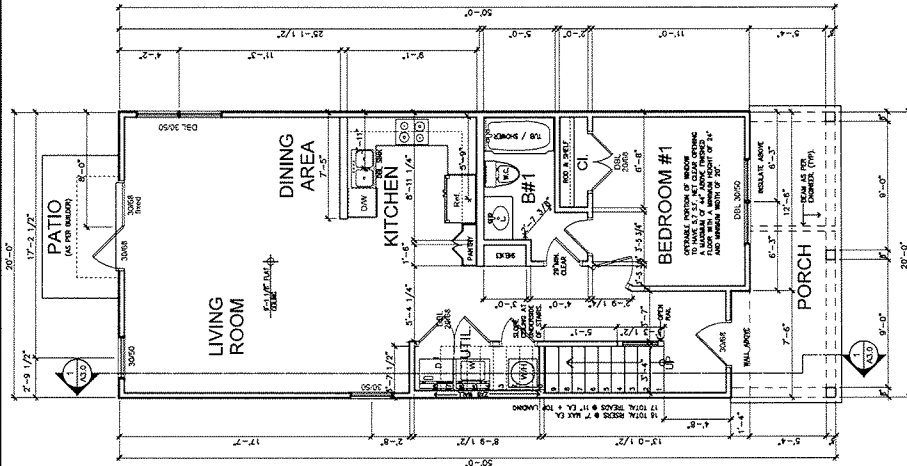
REAR ELEVATION  
THE BLOOMFIELD

SCALE: 1/4" = 1'-0"



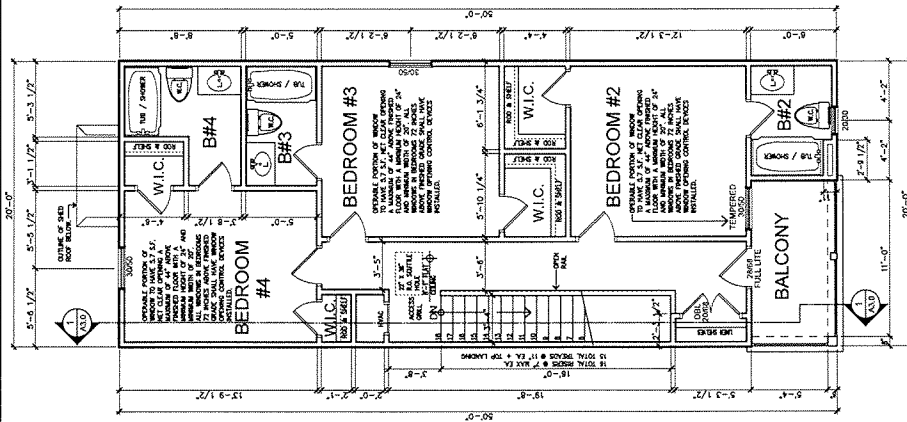
FRONT ELEVATION  
THE BLOOMFIELD

SCALE: 1/4" = 1'-0"



1ST FLOOR PLAN  
THE BLOOMFIELD

SCALE: 1/4" = 1'-0"



2ND FLOOR PLAN  
THE BLOOMFIELD

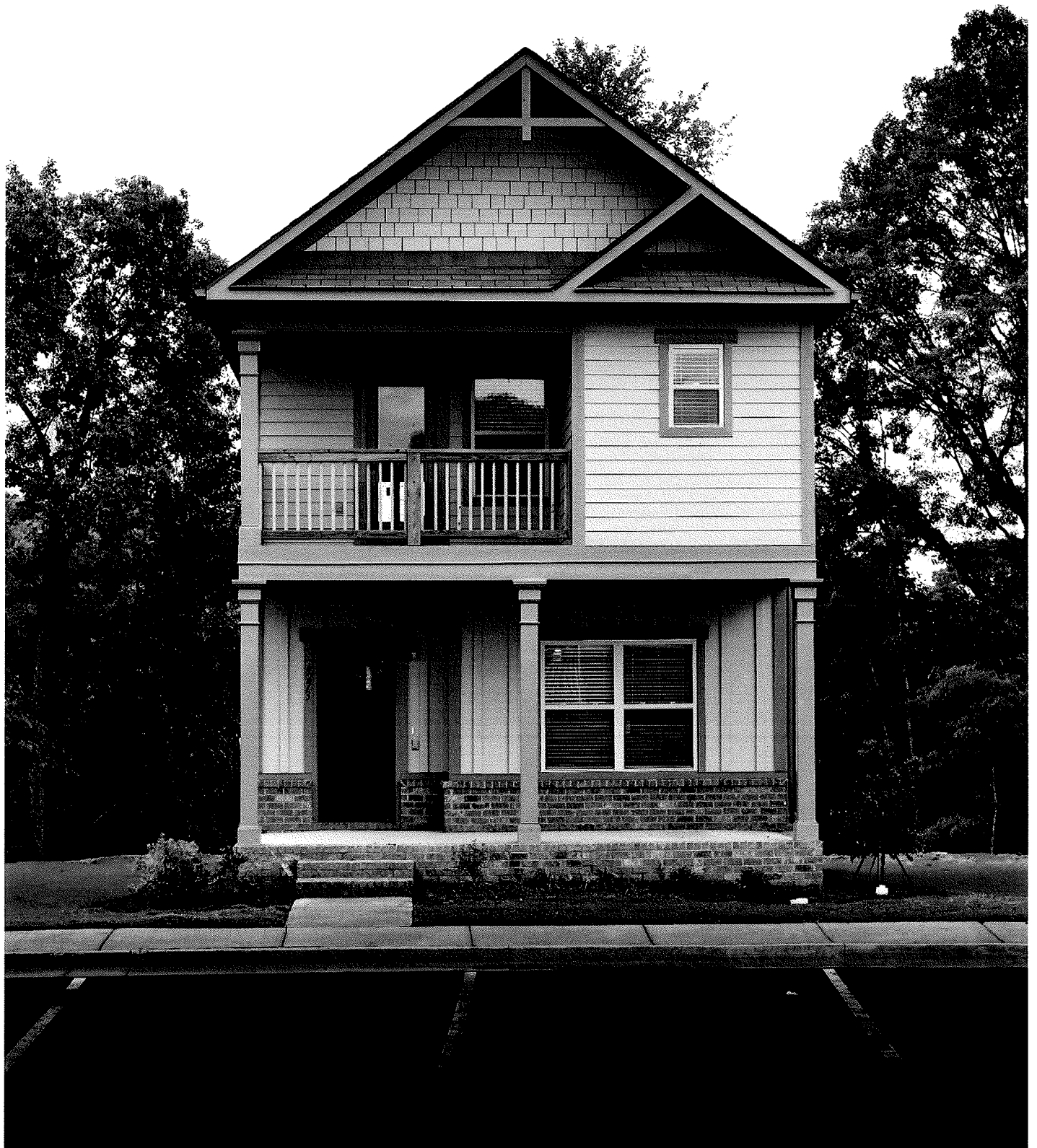
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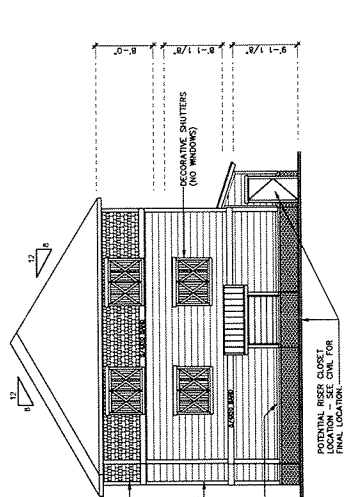
- GENERAL NOTES**
- NOTE: CONTRACTOR TO PROVIDE ADDITIONAL ENGINEERING FOR EXTERIOR ELEVATIONS FOR DOOR AND WINDOW.
  - NOTE: SEE EXTERIOR ELEVATIONS FOR DOOR AND WINDOW STYLES. INTERIOR DOORS AS NOTED. STYLE AND FINISH AS PER OWNER.
  - NOTE: ALL BATHROOM DOORS SHALL BE 7'-4\"/>
  - NOTE: ALL CLOSET DOORS SHALL BE 7'-4\"/>
  - NOTE: ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD WALL FRAMING UNLESS OTHERWISE INDICATED.
  - NOTE: ALL HEADERS THAT EXCEED ALLOWABLE SPANS AS PER CODE SHALL BE 1X4 AS ENGINEERED.
  - NOTE: REAR PATIO SHALL BE AS PER BUILDING AND WITH STEPS TO GRADE. PATIO AND STEPS SHALL BE CONSTRUCTED AS PER CODES LISTED ON CONFORMANCE 1.

**WALL NOTES**

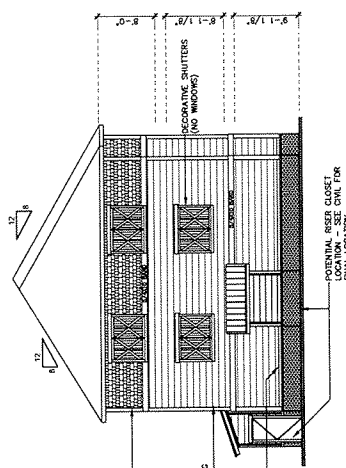
- 2x4 WOOD STUDS AT 16\"/>
- EACH SEE AT INTERIOR LOCATIONS. SEE WALL SECTIONS.

## The Bloomfield

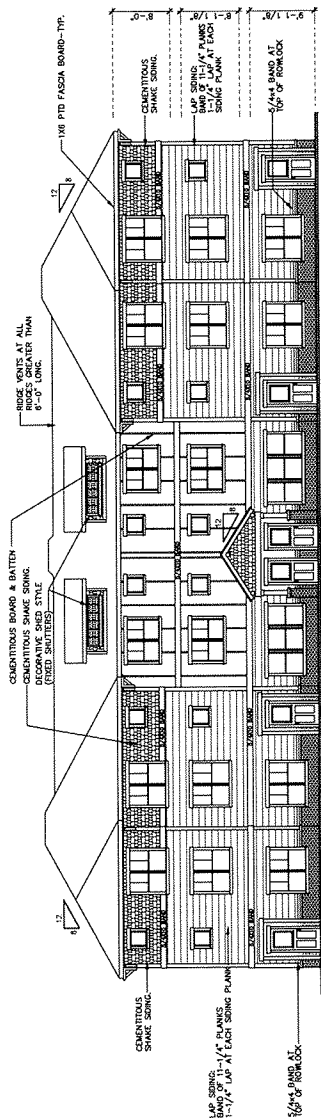




**SIDE ELEVATION**  
THE CLOVERHURST  
SCALE: 1/8" = 1'-0"



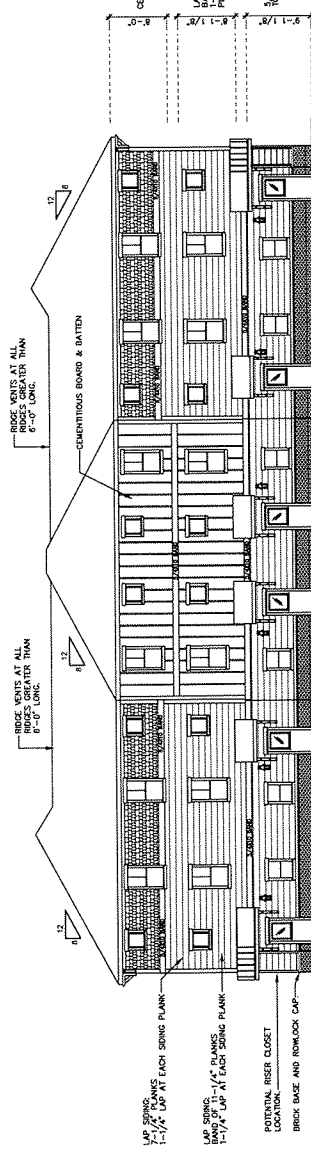
**SIDE ELEVATION**  
THE CLOVERHURST



FRONT ELEVATION

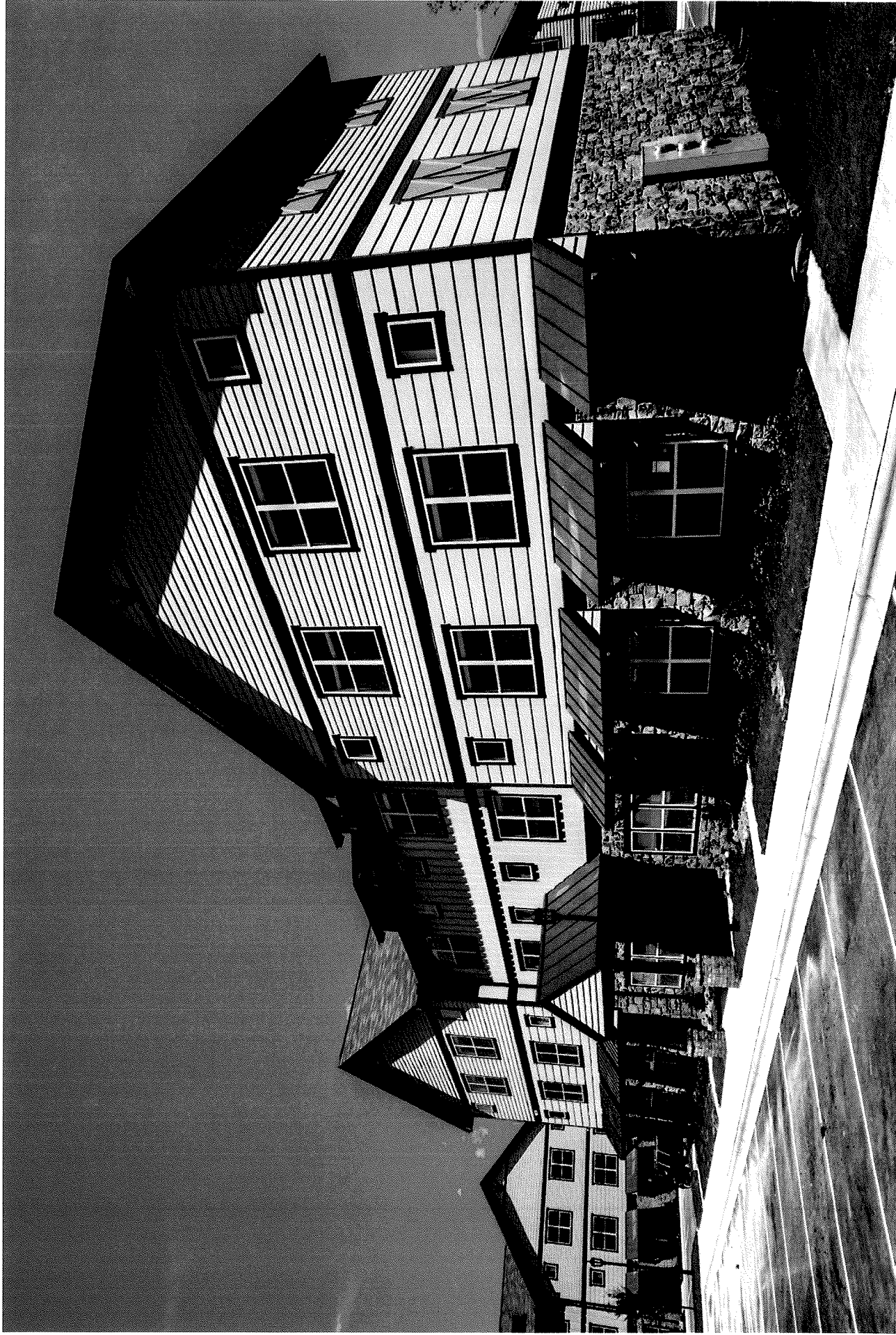
THE CLOVERHURST

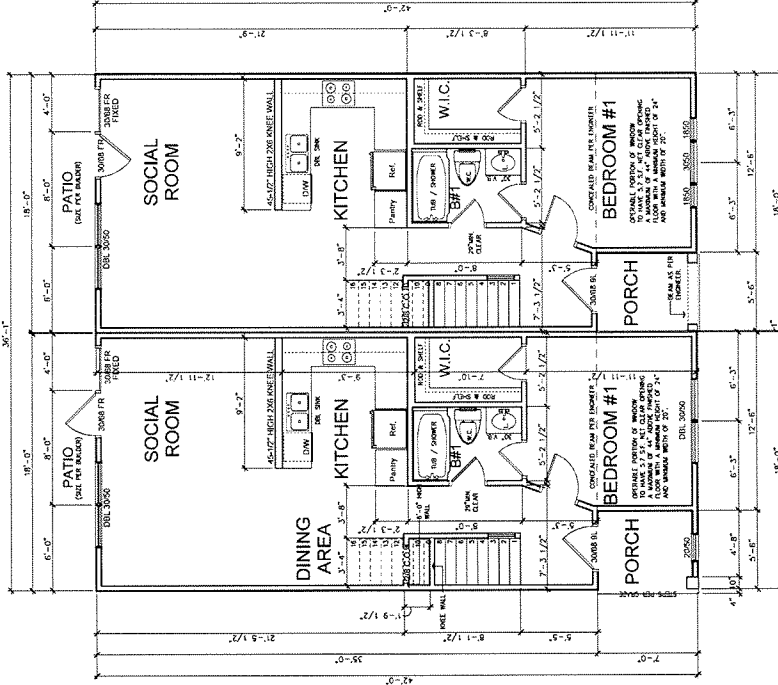
SCALE: 1/8" = 1'-0"



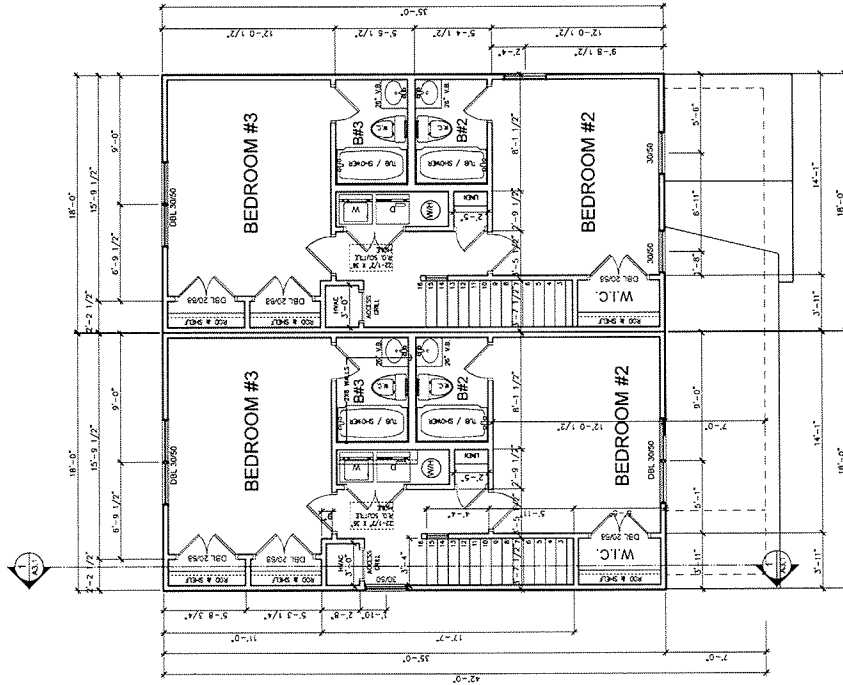
REAR ELEVATION

The Cloverhurst





1ST FLOOR PLAN - B  
THE FAIRVIEW  
SCALE: 1/4" = 1'-0"



2ND FLOOR PLAN - B  
THE FAIRVIEW  
SCALE: 1/4" = 1'-0"

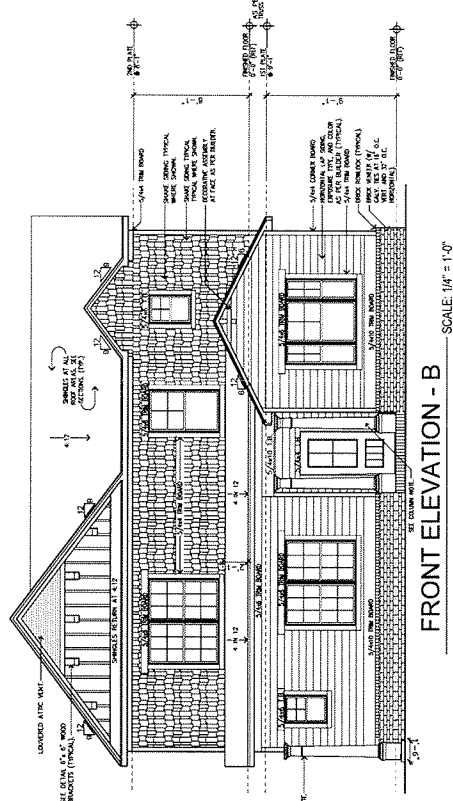
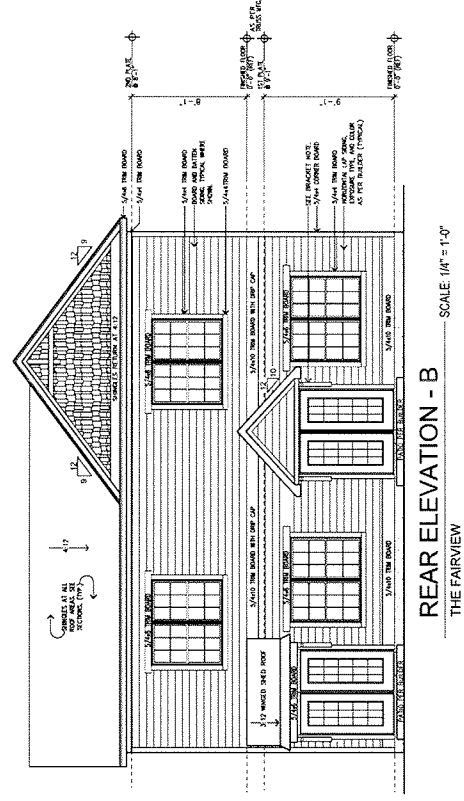
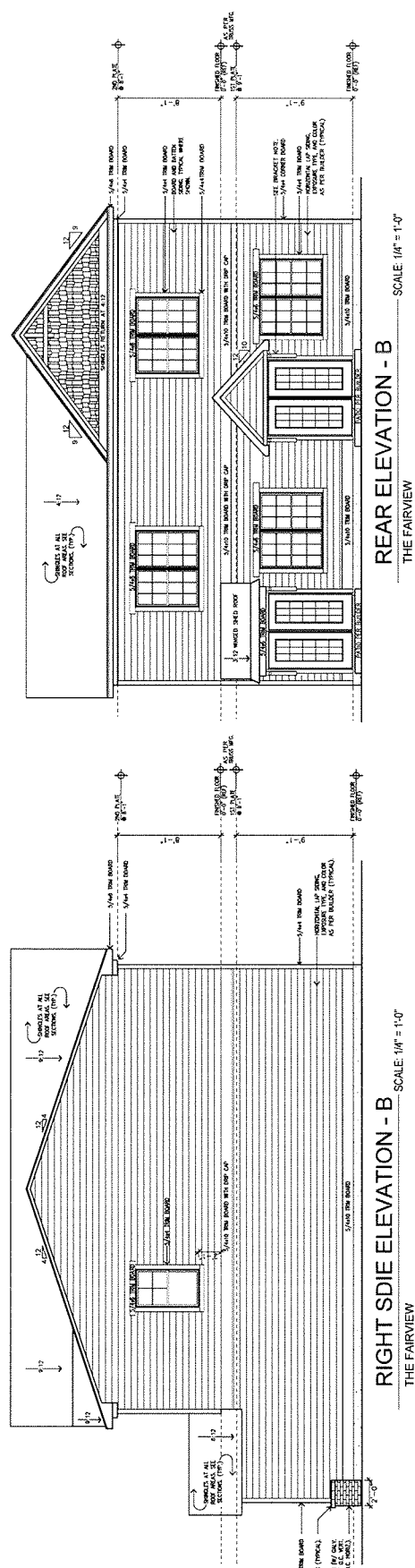
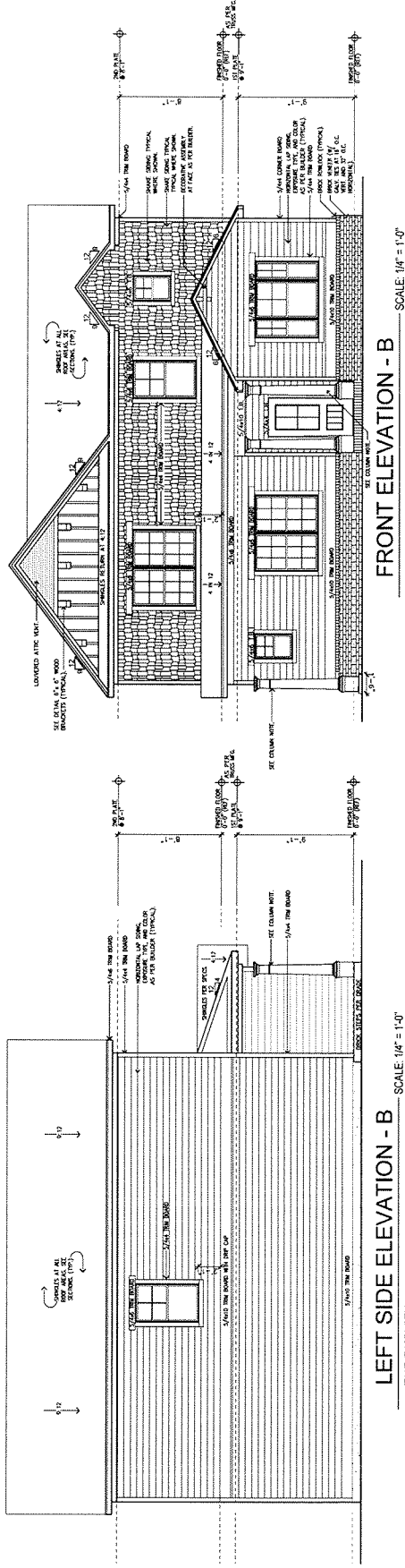
GENERAL NOTES

- NOTE: CONTRACTOR TO PROVIDE ADDITIONAL ENGINEERING FOR INTERIOR WALLS AND CEILING.
- NOTE: SEE EXTERIOR ELEVATIONS FOR DOOR AND WINDOW SIZES, INTERIOR DOORS AS NOTED, STYLE AND FINISH AS PER OWNER.
- NOTE: ALL INTERIOR DOORS SHALL BE 2'-4" x 6" 8" OR AS NOTED.
- NOTE: ALL CLOSET DOORS SHALL BE 2'-4" x 6" 8" OR AS NOTED.
- NOTE: ALL INTERIOR DIMENSIONS ON DIMENSIONED FLOOR PLAN ARE TO THE FACE OF JOISTS UNLESS OTHERWISE INDICATED.
- NOTE: WALL FINISHES UNLESS OTHERWISE INDICATED.

WALL NOTES

- 2x4 WOOD STUDS AT 16" O.C. WITH 1 LAYER OF 1/2" G.I.B. ON EACH SIDE AT INTERIOR LOCATIONS. SEE WALL SECTIONS.
- THE CONTRACTOR SHALL CONSTRUCT SHEAR WALLS AS REQUIRED BY WIND LOAD ANALYSIS RESULTS.

- NOTE: ALL COLUMNS AND CONCRETE SHALL BE EXTERIOR GRADE AND SHALL HAVE A MINIMUM OF 4" AIRSP. FASTENED TO CONCRETE DECK WITH SIMPSON HARDWARE AS PER WIND LOAD ANALYSIS.
- NOTE: REAR PATIO SHALL BE AS PER BUILDER AND WITH STEPS TO GRADE. ALL PATIOES SHALL BE CONSTRUCTED AS PER CODES LISTED ON COVERSHEET.
- NOTE: ALL LOAD BEARING HEADERS SHALL BE A MINIMUM OF DOUBLE 2X10 LVL'S AND SHALL BE FASTENED TO FOUNDATION WITH 4" DIA. ANCHORS. ALL HEADERS THAT EXCEED ALLOWABLE SPANS AS PER CODE SHALL BE LVL'S AS ENGINEERED.
- NOTE: ALL CONSTRUCTION SHALL BE AS PER CODES STATED ON THE COVER SHEET.



The Fairview

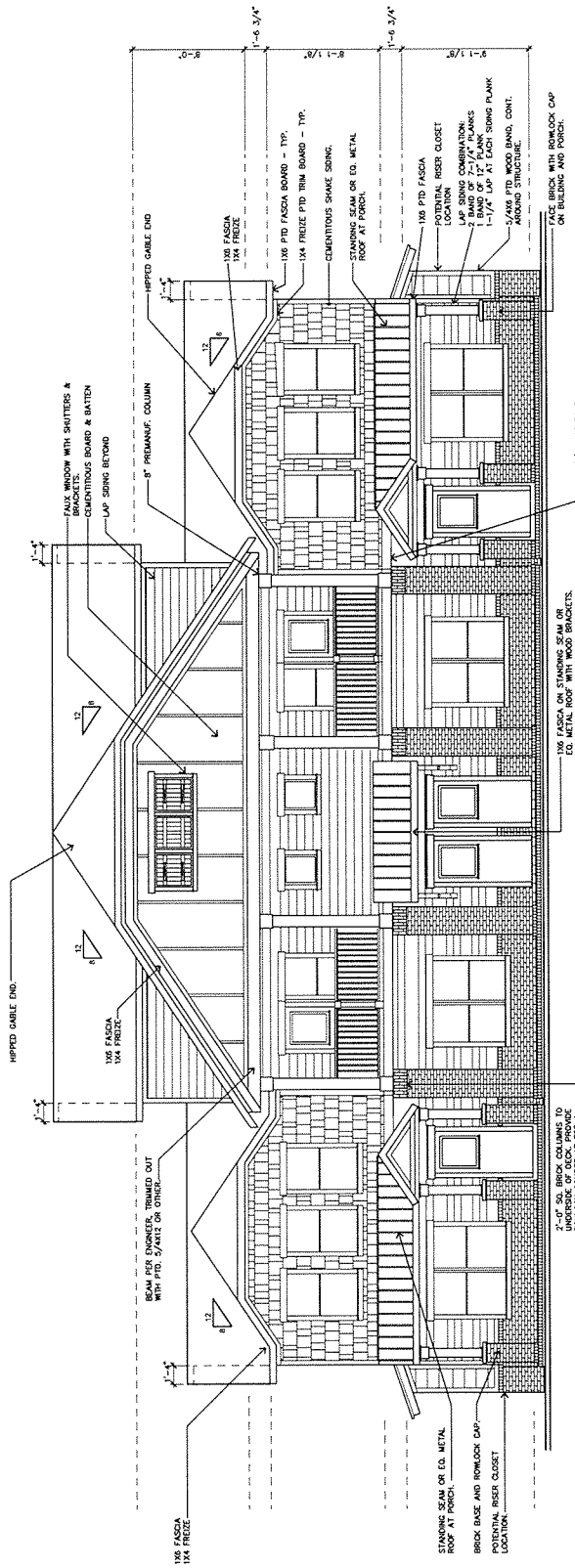


THE RETREAT - TAMPA  
THE LUMPKIN BUILDING TYPE, TAMPA, FLORIDA

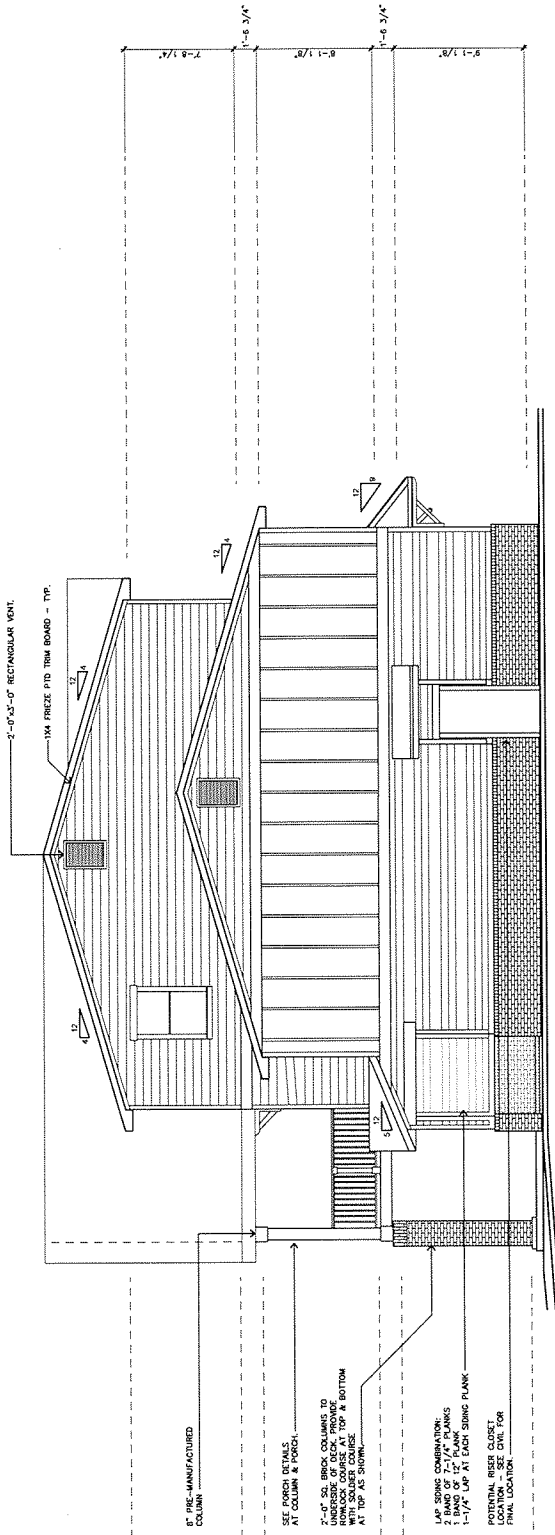
EXTERIOR ELEVATIONS



|            |                |
|------------|----------------|
| DATE       | APRIL 21, 2016 |
| DRAWN BY   | B.H.           |
| CHECKED BY |                |
| SCALE      | 15-227 Q       |
| PROJECT    | 17-A3.0        |



FRONT ELEVATION - A  
THE LUMPKIN  
SCALE: 1/4\" = 1'-0"



SIDE ELEVATION - A  
THE LUMPKIN  
SCALE: 1/4\" = 1'-0"



The Lumpkin



SECTION 5: STRUCTURAL, OPERATIONAL PERFORMANCE FOR ISSUED INFLUENCE

| U.M.O.: | 1-1/2" WOOD STUD WALL, BOTH SIDES FACED WITH ONE LAYER OF GYP. BOARD. | DOUBLE 1-1/2" WOOD STUD WALL, WITH 1" AIR SPACE, BOTH SIDES FACED WITH ONE LAYER OF 1-1/2" GYP. BOARD. | 1-1/2" WOOD STUD WALL, BOTH SIDES OF STUD TO RECEIVE 1" OF GYP. BOARD. |
|---------|-----------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------|
| IN      |                                                                       |                                                                                                        |                                                                        |
| W2      |                                                                       |                                                                                                        |                                                                        |

**GENERAL NOTES:**

1. ALL TOWARD SEPARATION SHALL BE 1/40 FREE RATED BARRIERS. WALL ASSEMBLIES SHALL ULTIOE UL-1013.
2. UNITS ARE FULLY SPRINGED PER NFPA 13.4 SYSTEMS.
3. SET ALL INTERIOR DOORS 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
4. CONTACT THE ARCHITECT PROMPTLY WITH DIMENSIONAL ISSUES.
5. REFER TO STRUCTURAL DRAWINGS AND TRUSS MANIP. DRAWINGS FOR DETAILS, MEMBERS SIZES AND ALL FRAMING CONNECTIONS.
6. THREE PREFERRED ROOM ROOM LOCATIONS ARE SHOWN. REFER TO DRAWINGS FOR ACTUAL, CLOSEST LOCATION ON EACH BUILDING.
7. WHERE THE STEEL PLATE AND PLACEMENT OF ADJACENT BUILDINGS OCCUR, ASSEMBLY DETAIL SHALL BE USED TO DETERMINE THE MINIMUM ASSEMBLY REQUIRED. REFER TO DETAIL 402-1013-10.



1  
FIRST FLOOR PLAN  
1/8" = 1'-0"

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Williams & Associates  
2470 Corville Bridge Road, Suite 181  
Atlanta, Georgia 30309 (770) 310-0400

**STRUCTURAL ENGINEER**  
STILL Engineering, Inc.  
3001 Terrell Springs Drive  
Louisville, Kentucky 40220 (502) 456-8407

**MECHANICAL ENGINEER**  
Engineering Support Services  
130 East Chestnut Street, Suite 303  
Columbus, Ohio 43215 (614) 224-3331

**ELECTRICAL ENGINEER**  
The Power Source, PLLC  
648 Lakeland Avenue  
Madison, Mississippi 39110 (601) 695-4820

**PLUMBING ENGINEER**  
Jordan & Scales Engineers, Inc.  
4275 Shackleford Road, Suite 200  
Norcross, Georgia 30093 (770) 447-5547

[illegible]

**THE RETREAT AT  
STARKVILLE**  
STARKVILLE, MS  
UNIT 16 THE MILLEDGE:  
2) 4-BED UNITS (2) 3-BED UNITS

**COLLEGIATE  
CONSTRUCTION, LLC**  
CONSTRUCTION OPERATIONS  
1551 JENNINGS MILL ROAD, SUITE 2400A  
WATSONVILLE, GA 30671 / 706-355-9061

|     |         |                       |                       |
|-----|---------|-----------------------|-----------------------|
|     | 8.07.16 | PLANS REVIEW SET (NS) |                       |
|     | 10.4.16 | FOR CONST.            |                       |
| No. | Date    |                       | Initials / Signatures |

727 MONROE AVE., SUITE 200  
ATHENS, GEORGIA

## FLOOR PLANS

|              |                                    |             |         |    |
|--------------|------------------------------------|-------------|---------|----|
| Case         | 5.10.2016                          | Page number | 2016-11 | 16 |
| College Name | Smt. Jyoti, Bhatnagar, 112, Durgam |             |         |    |
| Branch Name  |                                    |             |         |    |

**MILLEDGE**  
**A-1**

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**COLLEGE CONSTRUCTION, LLC**  
 1551 JENNINGS MILL ROAD, SUITE 400  
 WATSONVILLE, CA 95071 760-353-9861

**CONSTRUCTION OPERATIONS**  
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**ARCHITECTURAL ENGINEER**  
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**STRUCTURAL ENGINEER**  
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**CIVIL ENGINEER**  
 1551 JENNINGS MILL ROAD, SUITE 400  
 WATSONVILLE, CA 95071 760-353-9861

# THE RETREAT AT STARKVILLE

## STARKVILLE, MS

### UNIT 16 THE MILLEDGE: (2) 4-BED UNITS (2) 3-BED UNITS

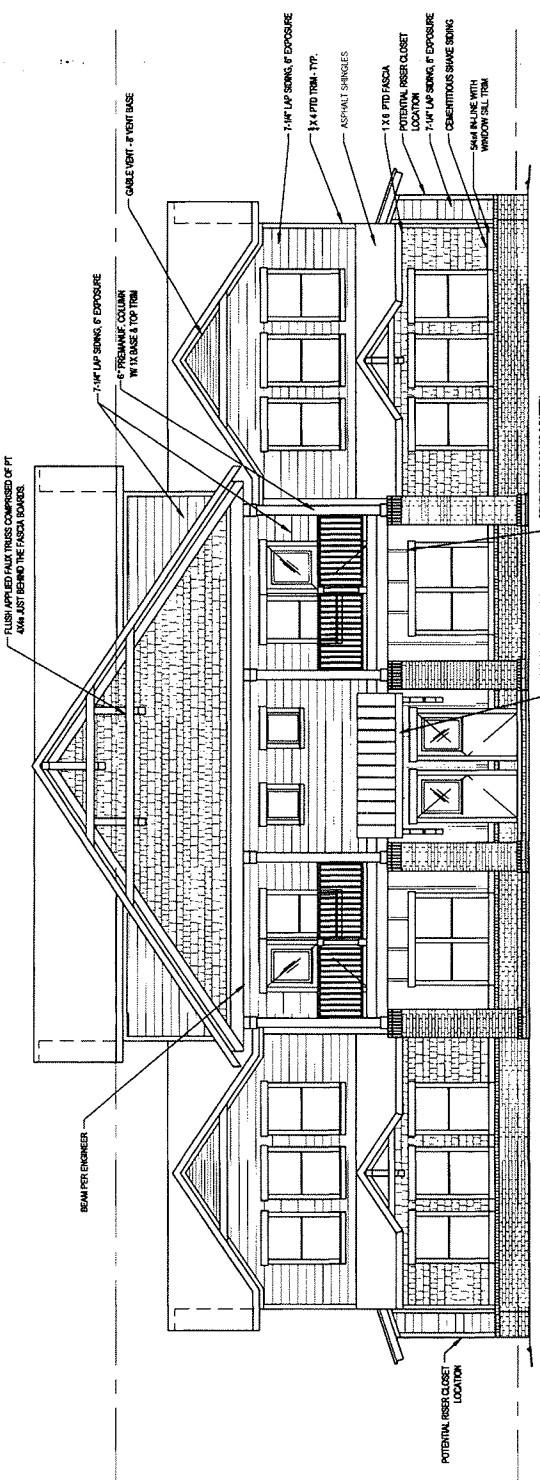
**COLLEGE CONSTRUCTION, LLC**  
 1551 JENNINGS MILL ROAD, SUITE 400  
 WATSONVILLE, CA 95071 760-353-9861

| No. | Date      | Revised |
|-----|-----------|---------|
| 1   | 5/10/2018 | 16      |
| 2   | 5/10/2018 | 16      |



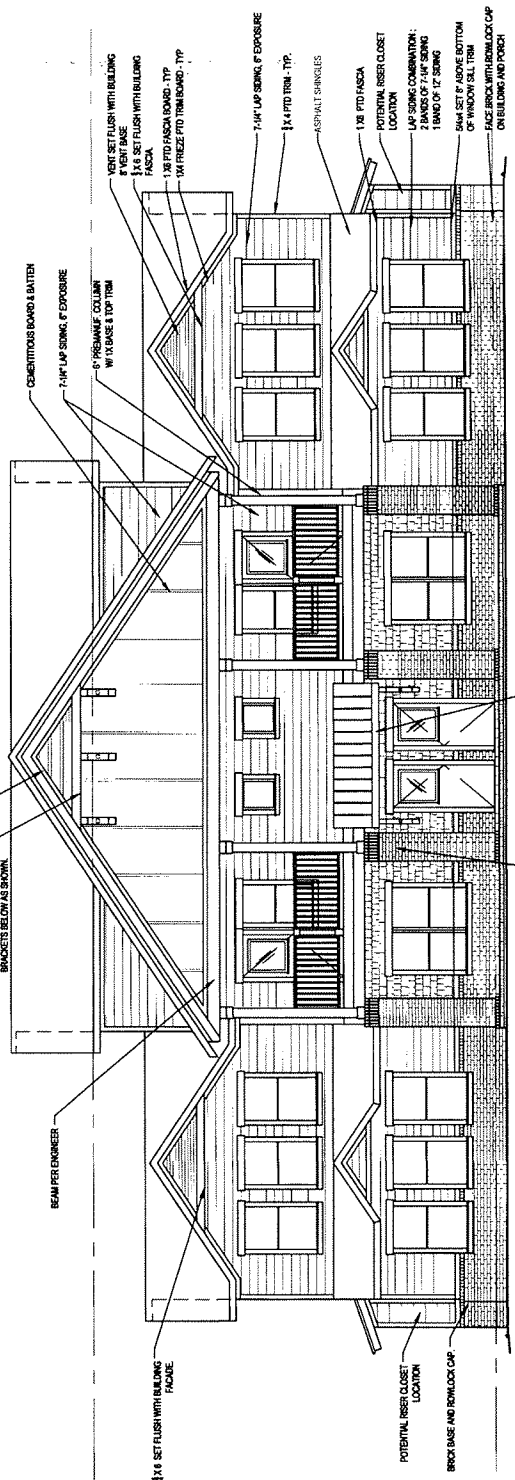
## ELEVATION VARIATIONS

| No. | Date      | Revised |
|-----|-----------|---------|
| 1   | 5/10/2018 | 16      |
| 2   | 5/10/2018 | 16      |



**ELEVATION VARIATION A**

**1 FRONT ELEVATION**  
 1/4\"/>



**ELEVATION VARIATION B**

**2 FRONT ELEVATION**  
 1/4\"/>

- CONSTRUCTION / ITEM NOTES:**
1. ALL EXTERIOR COMPONENTS TO BE CONCRETE/CEMENT-FIBER TYPE.
  2. CORNER TRIM TO BE 1/2\"/>

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COLLEGATE CONSTRUCTION, LLC  
1531 EMMES MILL ROAD, SUITE 300A  
WATKINSVILLE, GA 30671 | 706-336-9981

ARCHITECTURAL ENGINEERING  
1531 EMMES MILL ROAD, SUITE 300A  
WATKINSVILLE, GA 30671 | 706-336-9981

ELECTRICAL ENGINEERING  
1531 EMMES MILL ROAD, SUITE 300A  
WATKINSVILLE, GA 30671 | 706-336-9981

PLUMBING ENGINEERING  
1531 EMMES MILL ROAD, SUITE 300A  
WATKINSVILLE, GA 30671 | 706-336-9981

MECHANICAL ENGINEERING  
1531 EMMES MILL ROAD, SUITE 300A  
WATKINSVILLE, GA 30671 | 706-336-9981

STRUCTURAL ENGINEERING  
1531 EMMES MILL ROAD, SUITE 300A  
WATKINSVILLE, GA 30671 | 706-336-9981

LANDSCAPE ARCHITECTURE  
1531 EMMES MILL ROAD, SUITE 300A  
WATKINSVILLE, GA 30671 | 706-336-9981

# THE RETREAT AT STARKVILLE, MS

## UNIT 16 THE MILLEGE: (2) 4-BED UNITS (2) 3-BED UNITS

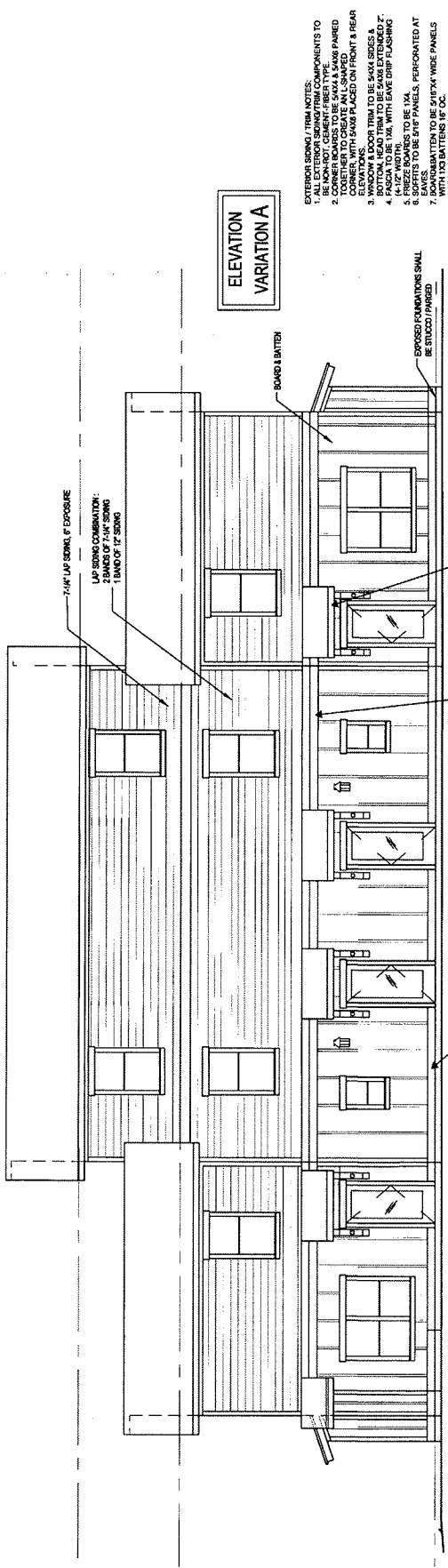
COLLEGATE CONSTRUCTION, LLC  
1531 EMMES MILL ROAD, SUITE 300A  
WATKINSVILLE, GA 30671 | 706-336-9981

| NO. | DATE      | DESCRIPTION       |
|-----|-----------|-------------------|
| 1   | 5.10.2016 | ISSUED FOR PERMIT |
| 2   | 5.10.2016 | ISSUED FOR PERMIT |
| 3   | 5.10.2016 | ISSUED FOR PERMIT |

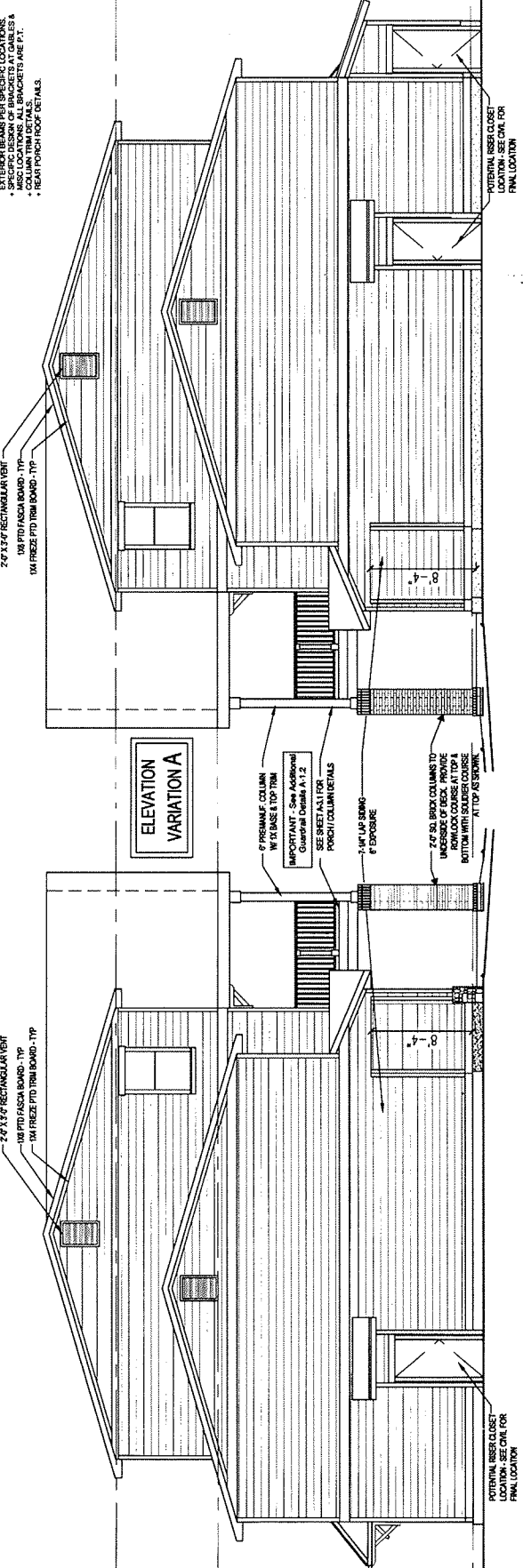


SIDE & REAR ELEVATION VARIATION A

5.10.2016  
2016-11-16  
MILLEGE  
A-2.1



1 REAR ELEVATION  
1/4" = 1'-0"

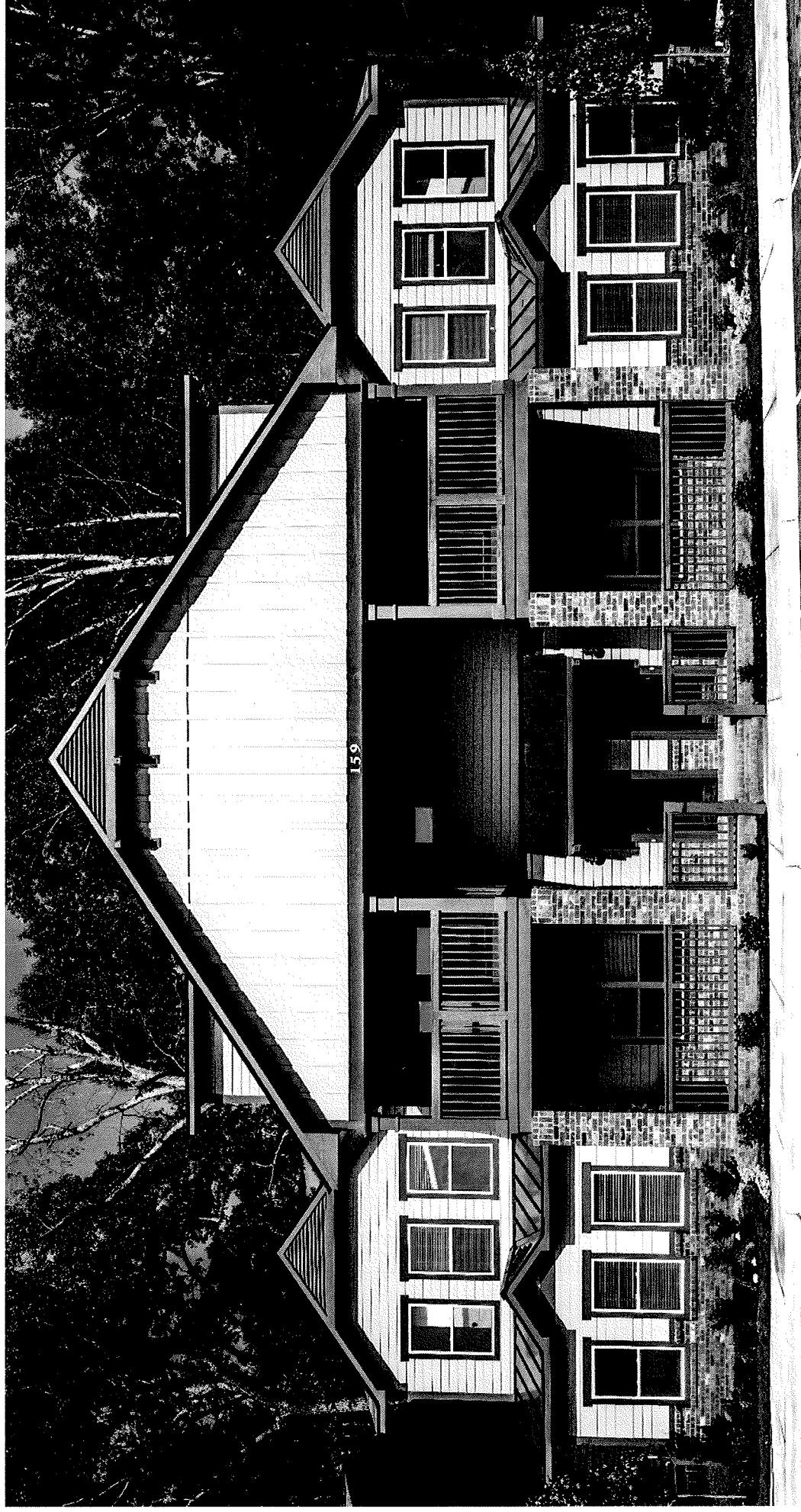


2 SIDE ELEVATION  
1/4" = 1'-0"

3 SIDE ELEVATION  
1/4" = 1'-0"

- EXTERIOR SKINS / TRIM NOTES:
1. ALL EXTERIOR SKINS/TRIM COMPONENTS TO BE 1/2" THICK.
  2. CORNER BOARDS TO BE 5/4" X 1/2" SHAPED TOGETHER TO CREATE AN L SHAPED ELEVATION.
  3. WINDOW & DOOR TRIM TO BE 5/4" X 1/2" SHAPED TOGETHER TO CREATE AN L SHAPED ELEVATION.
  4. FASCIA TO BE 1" X 1" WITH LEAVE DRIP FLASHING.
  5. PRESSURE TREATED LUGS TO BE 1/4" X 1/2" X 1/2".
  6. SPOFFS TO BE 5/4" X 1/2" PERFORATED AT 1/2" ON CENTER.
  7. DOWNSPUTTER TO BE 5/4" X 1/2" WIDE PANELS.
  8. WITH 1/2" BATTENS AT JOINTS & PERIMETER.
  9. WITH 1/2" BATTENS AT JOINTS & PERIMETER.
  10. FLASHING PROFILES TO BE USED AT ALL LOCATIONS.
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The Milledge

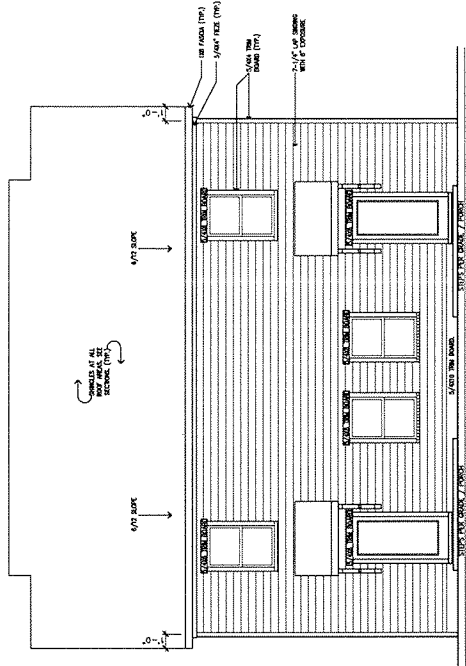


THE RETREAT - TAMPA  
THE OAKVIEW - BUILDING TYPE, TAMPA, FLORIDA

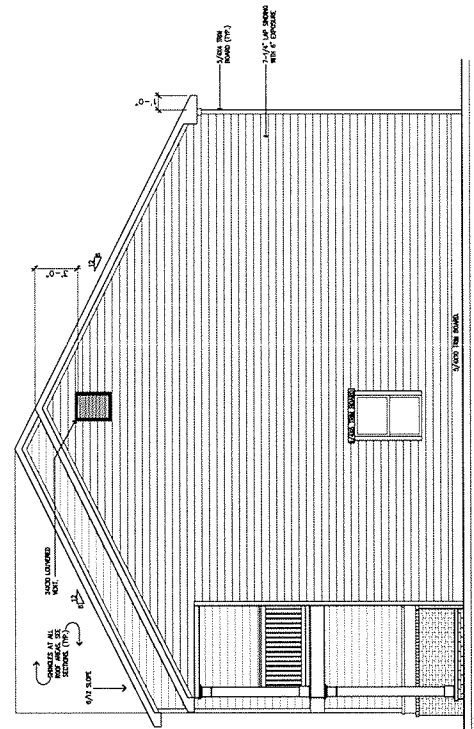
EXTERIOR ELEVATIONS



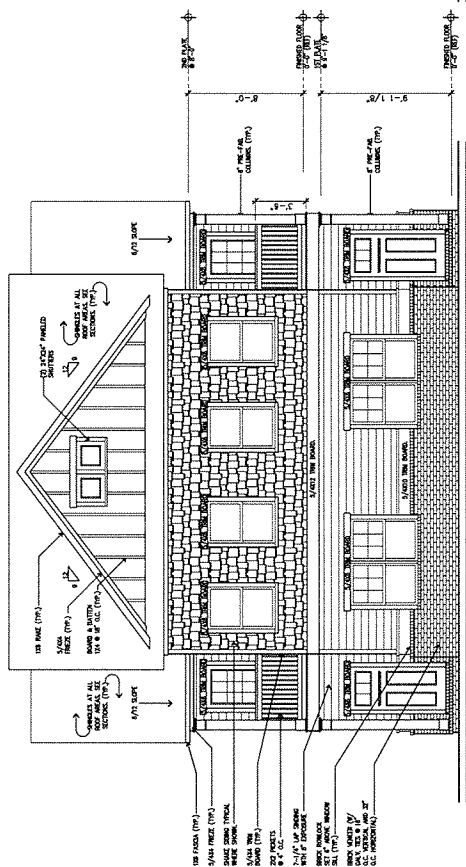
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|----------|----------------|
| DATE     | APRIL 21, 2016 |
| BY       | B.H.           |
| REVISION |                |
| 15-227 Z |                |
| 28-A3.0  |                |



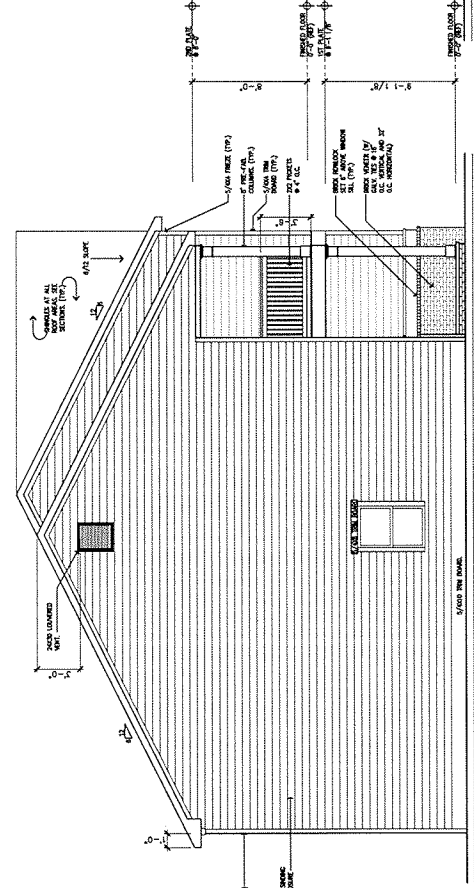
REAR ELEVATION - A  
THE OAKVIEW  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION - A  
THE OAKVIEW  
SCALE: 1/4" = 1'-0"



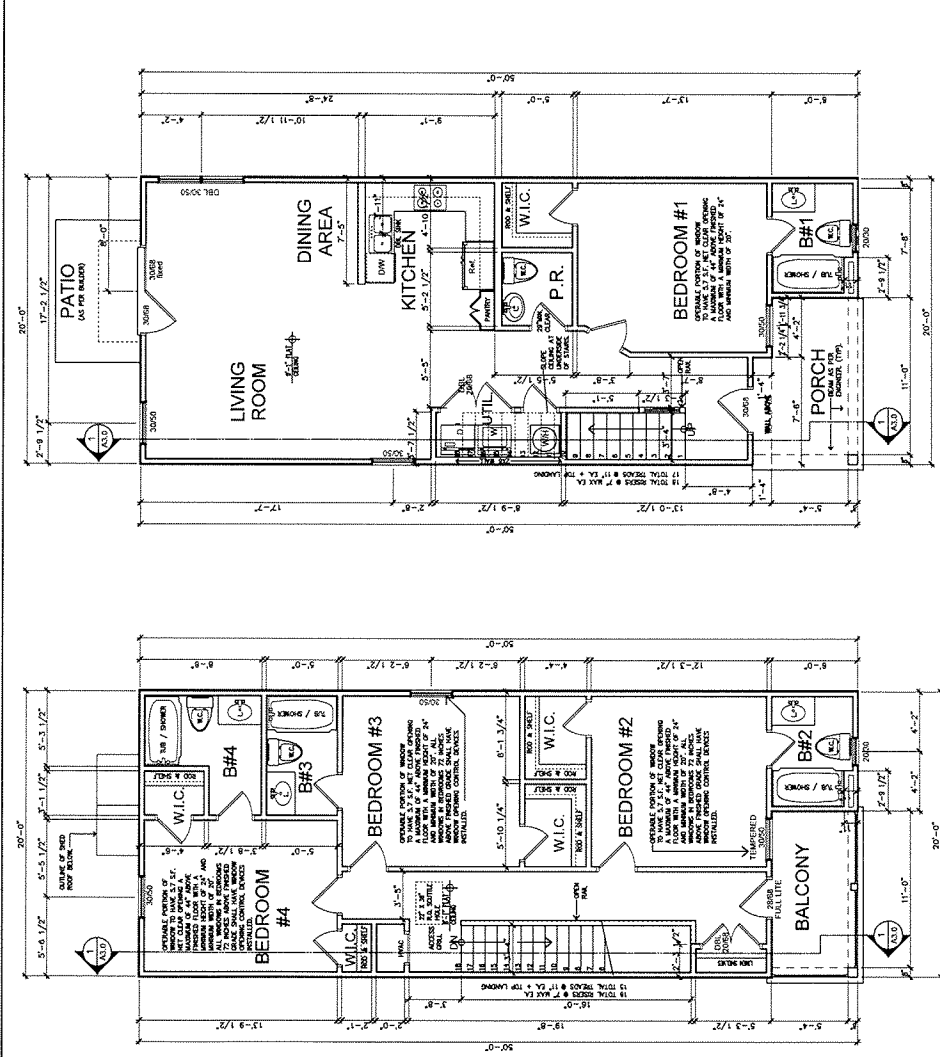
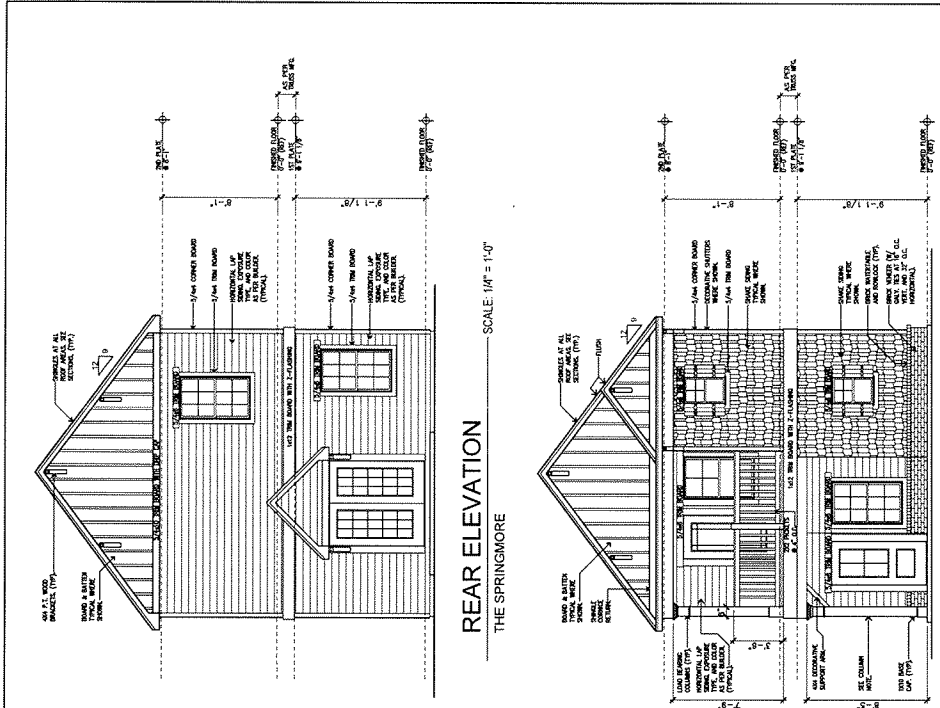
FRONT ELEVATION - A  
THE OAKVIEW  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION - A  
THE OAKVIEW  
SCALE: 1/4" = 1'-0"

The Oakview





- GENERAL NOTES
- NOTE: CONTRACTOR OWNER TO PROVIDE ADDITIONAL ENGINEERING FOR FOUNDATION AND RETAINMENT WALLS.

NOTE: SEE EXTERIOR ELEVATIONS FOR DOOR AND WINDOW STYLES. INTERIOR DOORS AS NOTED. STYLE AND FINISH AS PER OWNER.

NOTE: ALL INTERIOR DOORS SHALL BE 2'-0" X 6'-0" OR AS NOTED.

NOTE: ALL CLOSET DOORS SHALL BE 2'-0" X 6'-0" OR AS NOTED.

NOTE: ALL INTERIOR DIMENSIONS ON UNDIMENSIONED FLOOR PLANS ARE TO THE FACE OF STUDS UNLESS OTHERWISE INDICATED.

NOTE: WALL FINISHES UNLESS OTHERWISE INDICATED.

NOTE: ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD.

NOTE: WALL FINISHES UNLESS OTHERWISE INDICATED.

NOTE: 2X4 WOOD STUDS AT 16" O.C. WITH 1 LAYER OF 1/2" G.I.B. ON EACH SIDE AT INTERIOR LOCATIONS. SEE WALL SECTIONS.
- NOTE: ALL COLUMNS AND BRACKETS WILL BE DETERMINED ON SITE.

NOTE: REAR PATIO SHALL BE AS PER BUILDER AND WITH STEPS TO GRADE.

NOTE: ALL LOAD BEARING HEADERS SHALL BE A MINIMUM OF DOUBLE 2X10 L.A. AS FINISHED.

NOTE: ALL HEADERS THAT EXISTED ALLOWABLE SPACING PER CODE SHALL BE L.A. AS FINISHED.

NOTE: THE COVER SHIELD SHALL BE AS PER CODES STATED ON STREET OR OTHER ELEVATION AND CONTRAST WITH BACKGROUND.

NOTE: FLOOR SURFACE ON BOTH SIDES OF THE DOOR SHALL NOT VARY MORE THAN 1/2" FOR A DISTANCE NOT LESS THAN THE WIDTH OF THE DOOR LEAF. SEE FOUNDATION PLAN.

NOTE: EXITS FROM AREAS.

## The Springmore





FRONT ELEVATION - B  
THE STAFFORD

FRONT ELEVATION - A  
THE STAFFORD

FRONT ELEVATION - C  
THE STAFFORD

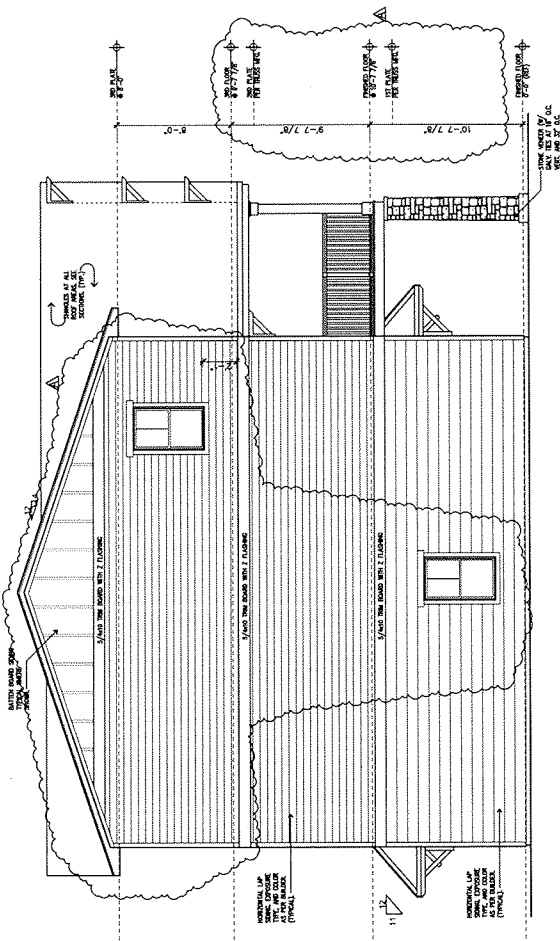
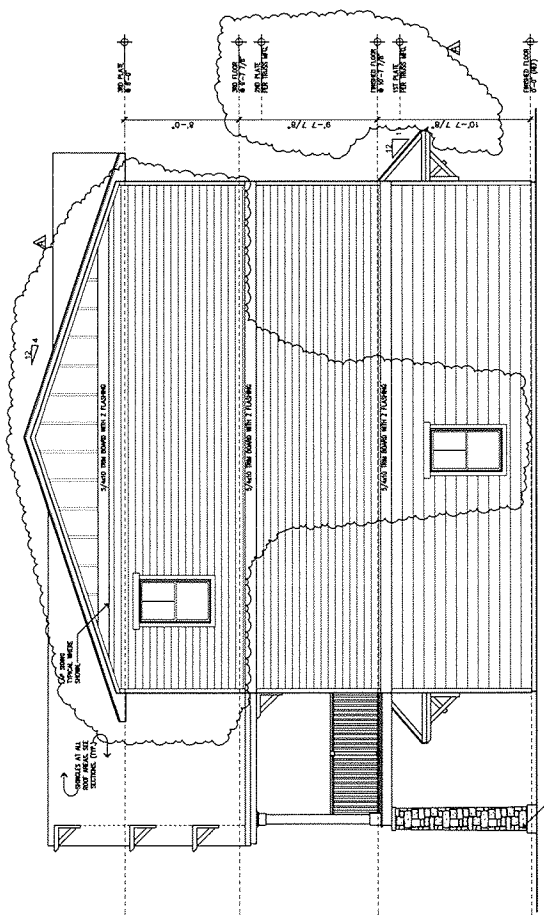
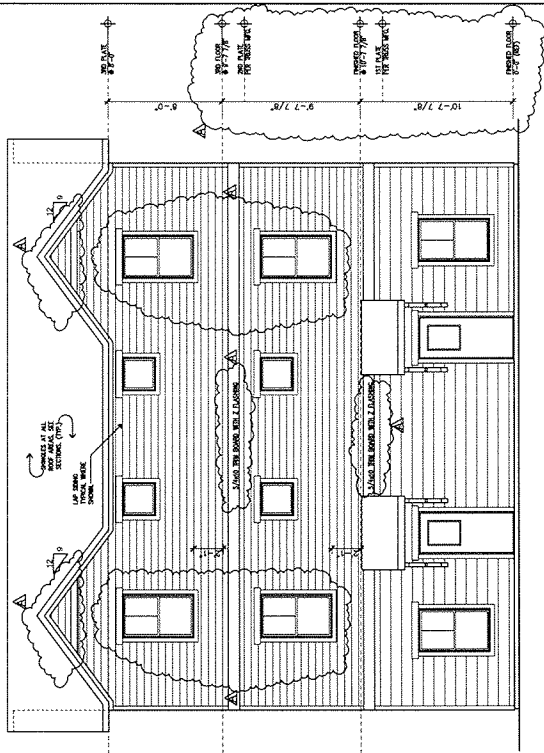
THE RETREAT - TAMPA  
THE STAFFORD BUILDING TYPE, TAMPA, FLORIDA

EXTERIOR ELEVATIONS

CONN ARCHITECTS & ASSOCIATES

15606 BAYVIEW BLVD. #1000 TAMPA, FL 33634  
TEL: 813.281.1111 FAX: 813.281.1112  
WWW.CONNARCHITECTS.COM

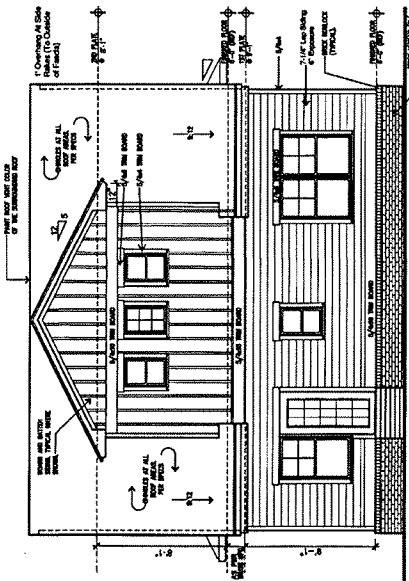
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|-------------|---------------|
| DATE        | JUNE 05, 2015 |
| DESIGNED BY | B.H.          |
| PROJECT     | 15-227 O      |
| REVISIONS   |               |
| DATE        | REVISION      |
| 15-227 O    |               |
| DATE        | 15-A2.0       |



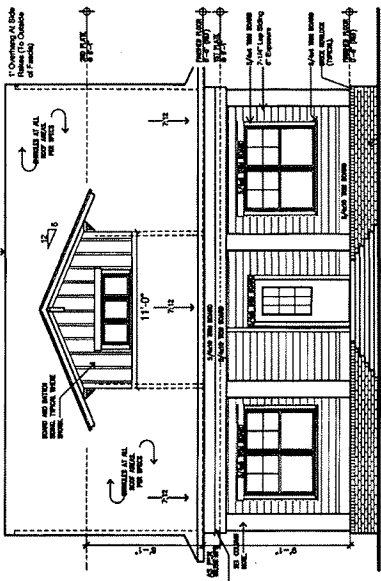
The Stafford



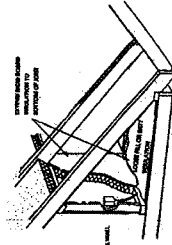
REAR ELEVATION - A



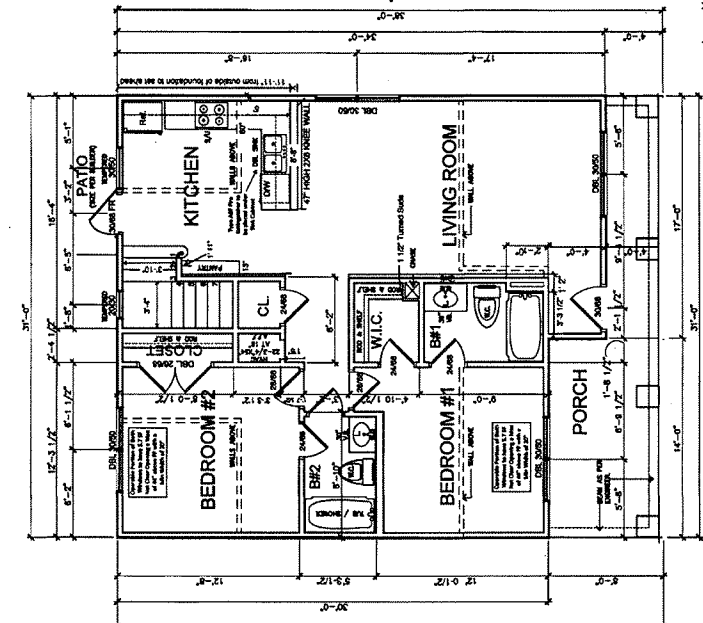
**FRONT ELEVATION**  
**THE THORNBERRY**



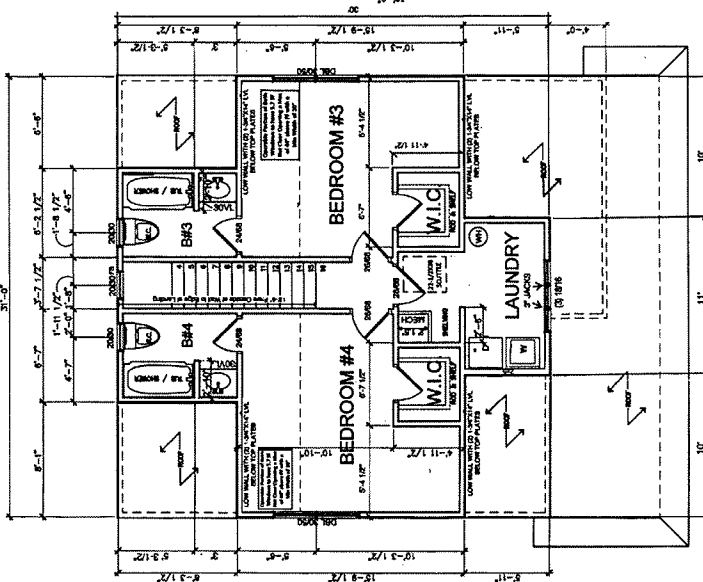
|                                   |                   |
|-----------------------------------|-------------------|
| <b>The Retreat - Unit Type #2</b> |                   |
| <b>The Thornberry</b>             |                   |
| <b>SQUARE FOOTAGES</b>            |                   |
| S.F. - Conditioned Area           |                   |
| 1st Floor (Conditioned)           | 998 S.F.          |
| 2nd Floor (Conditioned)           | 893 S.F.          |
| <b>Total (Conditioned)</b>        | <b>1,891 S.F.</b> |
| S.F. - Encl. Porch                | 1,803 S.F.        |



**1ST FLOOR PLAN**



2ND FLOOR PLAN



**Note**  
All Window & Door  
Leaders are 83" Tall

[illegible][illegible][illegible]



The Thornberry

