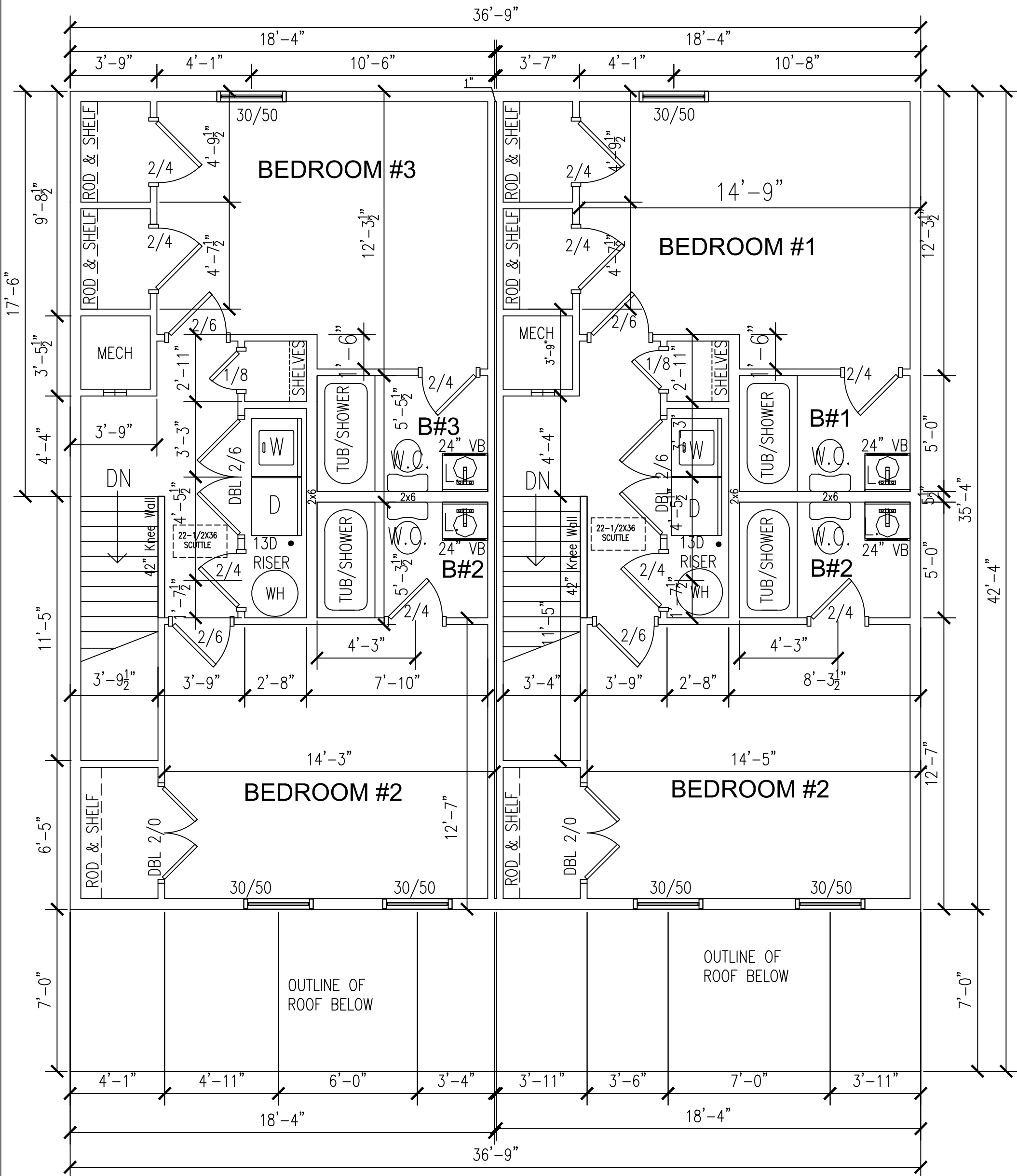


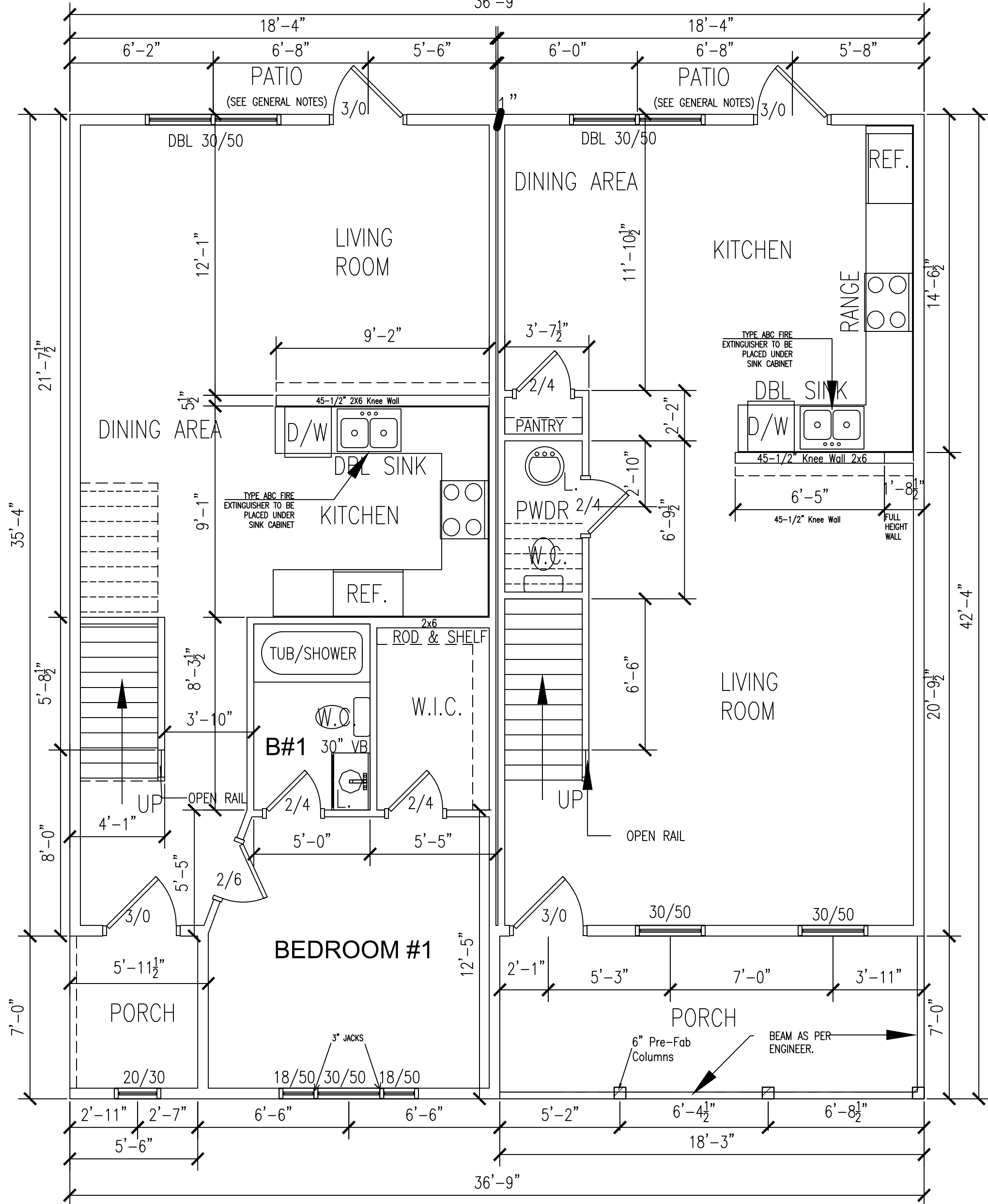
2ND FLOOR PLAN - A

THE BIRCHMORE (5) - SCALE: 1/4"=1'-0"



1ST FLOOR PLAN - A

THE BIRCHMORE (5) - SCALE: 1/4"=1'-0"



FRAMING NOTES:

NOTE: ALL EXTERIOR WALLS ARE 2X6 - U.N.O.

- 2X6 WALLS SHALL BE 2X6 WOOD STUDS AT 16" O.C. WITH DOUBLE TOP PLATE, SINGLE BOTTOM PLATE.
- 2X4 WALLS SHALL BE 2X4 WOOD STUDS AT 16" O.C. WITH DOUBLE TOP PLATE, SINGLE BOTTOM PLATE.
- ALL STUDS SHALL BE SPF STUD GRADE OR BETTER.
- ALL WALL PLATES SHALL BE #2 YP, BOTTOM PLATES ON CONCRETE SHALL BE PRESSURE TREATED. SILL SEALER SHALL BE PLACED UNDER ALL EXT WALLS AT SLAB.
- U.N.O. STUD LENGTHS SHALL BE 9' PRE-CUT AT 1ST FLOOR, 8' PRE-CUT AT FLOORS ABOVE 1ST FLOOR.
- ALL PLATES & JACKS SHALL BE ORDERED AS 14' LENGTH MATERIAL (#2 YP), JACKS SHALL BE CUT FROM SAME 14' LENGTH MATERIAL AS PLATES.
- CORNICIE FRAMING, DEADWOOD, TRUSS BRACING, ETC SHALL BE ORDERED AS 2X4 #3 SPF, 16' LENGTHS.
- LOAD BEARING HEADERS SHALL BE PER ENGINEERED STRUCTURAL PLANS, MINIMUM DBL 2X10 IF STRUCTURAL PLANS SHOW A SMALLER SIZE. NON LOAD BEARING HEADERS SHALL BE SINGLE FLAT 2X4 / 2X6. ALL JACKS, STUDS, ETC THAT SUPPORT HEADERS, BEAMS, POINT LOADING, ETC SHALL BE CARRIED THROUGH CONTINUOUS TO THE FOUNDATION WITH A MINIMUM OF 2 STUDS, OR THE CORRESPONDING NUMBER OF STUDS AS APPLICABLE. ENGINEERED STRUCTURAL PLANS TAKE PRECEDENCE - IF THERE ARE ANY CONFLICTS CONTACT THE GENERAL CONTRACTOR.
- WOOD FLOOR AND ROOF TRUSSES, BEAMS SUPPORTING TRUSSES, SHALL BE DESIGNED BY STATE LICENSED ENGINEER OR STATE AUTHORIZED TRUSS MANUFACTURING COMPANY.
- "STICK FRAMED" COMPONENTS, WHEN NEEDED, SHALL BE SIZED AND SPACED PER THE CODES LISTED IN THE PLANS COVER PAGE. ENGINEERED STRUCTURAL PLANS TAKE PRECEDENCE - IF THERE ARE ANY CONFLICTS CONTACT THE GENERAL CONTRACTOR.
- MINIMUM SHEAR REQUIREMENTS - EXTERIOR WALLS SHALL BE FULLY SHEATHED WITH 7/16" OSB. ALL EDGES SHALL HAVE SOLID BLOCKING. PANEL EDGES SHALL HAVE MIN 6D NAILS AT 6" O.C. FIELD AREA SHALL HAVE MIN 6D NAILS AT 12" O.C.
- MINIMUM UPLIFT REQUIREMENTS - EXTERIOR WALLS SHALL BE ANCHORED TO FOUNDATION WITH SIMPSON MASEB STRAPS @ 4' MAX SPACING. EXTERIOR WALL SHEATHING SHALL BE INSTALLED TO SPAN ACROSS FLOOR TRUSSES, TYING THE WALLS ACROSS THE FLOOR TRUSSES. SHEATHING SHALL BE FASTENED TO ALL STUDS, AND TOP / BOTTOM PLATES AS SPECIFIED FOR EDGE AND FIELD AREA NAILING FOR SHEAR REQUIREMENTS, TYING ALL WALL FRAMING TOGETHER. SIMPSON H2.5 HURRICANE CLIPS SHALL BE INSTALLED AT EACH ROOF TRUSS TO TOP PLATE CONNECTION. ENGINEERED STRUCTURAL PLANS TAKE PRECEDENCE - IF THERE ARE ANY CONFLICTS CONTACT THE GENERAL CONTRACTOR.
- ROOF SHALL BE SHEATHED WITH 7/16" OSB. PANEL EDGES SHALL HAVE MIN 8d NAILS AT 6" O.C. FIELD AREA SHALL HAVE MIN 8d NAILS AT 12" O.C. STEEL H-CLIPS SHALL BE USED WHERE FRAMING MEMBERS EXCEED 16' O.C. AND SHALL BE PLACED AT MID-POINT BETWEEN FRAMING MEMBERS AT ALL PANEL-TO-PANEL LOCATIONS.
- THESE NOTES SHALL BE MINIMUM STANDARDS. WHERE STRUCTURAL PLANS ARE REQUIRED, THE STRUCTURAL DETAILS SHALL TAKE PRECEDENCE OVER THE CORRESPONDING DETAIL(S) IN THESE NOTES. IF THERE ARE ANY CONFLICTS CONTACT THE GENERAL CONTRACTOR.

WOOD TRUSS NOTES:

- WOOD FLOOR AND ROOF TRUSSES, BEAMS SUPPORTING TRUSSES, SHALL BE DESIGNED BY STATE LICENSED ENGINEER OR STATE AUTHORIZED TRUSS MANUFACTURING COMPANY.
- TRUSSES SHALL BE DESIGNED TO MEET THE CODES LISTED ON THE PLANS COVER PAGE, AND SHALL BE DESIGNED TO MEET THE STRUCTURAL ENGINEER SPECIFICATIONS WHEN PROVIDED.
- TRUSS DESIGNER SHALL SIZE ALL BEAMS THAT SUPPORT TRUSSES, DIRECT OR INDIRECT, AND PROVIDE ENGINEERING FOR ALL BEAMS.
- TRUSS DESIGNER SHALL SPECIFY ALL HANGERS, CONNECTORS, ETC THAT ARE REQUIRED FOR THE FUNCTIONAL SYSTEM. LEDGERS, ETC ARE ACCEPTABLE FOR BEARING WHERE ALLOWED BY THE CODES OR GOVERNING SPECS, AND SHALL BE FULLY DETAILED WHEN UTILIZED.
- TRUSS DESIGNS SHALL BE SUBMITTED TO THE GENERAL CONTRACTOR FOR REVIEW, AND THEN SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR FOR STRUCTURAL ENGINEER REVIEW.
- AFTER REVIEWS ARE APPROVED, TRUSS DESIGNS SHALL BE SUBMITTED WITH ENGINEER SEALS FROM THE STATE WHERE THE DEVELOPMENT IS LOCATED.
- FLOOR TRUSSES FOR UNIT TYPES 12, 14, 15, 16, 17 SHALL BE 18" HEIGHT. ALL OTHER UNIT TYPES SHALL BE 14" HEIGHT.
- FLOOR TRUSS DESIGNS SHALL PRIORITIZE CHASES AS MUCH AS POSSIBLE.
- ORDER TRUSSES ARE PREFERABLE OVER SOLID BEAMS WHEN POSSIBLE.
- TRUSS DESIGNS SHALL IDENTIFY PLUMBING AND MECHANICAL CLOSET LOCATIONS AND AVOID CONFLICTS.
- ROOF TRUSS OVERHANGS SHALL BE CANTILEVER TYPE.
- THERE ARE NO HVAC UNITS IN THE ATTICS.

WINDOW / EXT DOOR NOTES:

- WINDOW SIZES SHOWN ON FLOOR PLANS ARE IN FT, INCHES WIDTH / FT, INCHES HEIGHT - 30/50 = 3'0" WIDTH X 5'0" HEIGHT.
- ALL 30/50 BEDROOM WINDOWS SHALL MEET EMERGENCY EGRESS REQUIREMENTS PER CODES LISTED ON PLANS COVER PAGE.
- WINDOWS WHICH REQUIRE FALL PROTECTION SHALL HAVE SASH OPENING LIMITER DEVICES INSTALLED PER CODES LISTED ON PLANS COVER PAGE.
- WINDOWS WHICH REQUIRE TEMPERED GLASS ARE MARKED ON THE FLOOR PLANS. ALL GLASS IN DOORS SHALL BE TEMPERED.
- U / SHGC ENERGY FACTORS SHALL MEET THE REQUIRED ENERGY CODE AND SHALL BE VERIFIED WITH THE GENERAL CONTRACTOR.
- ALL EXTERIOR DOORS ON MAIN LEVEL SHALL HAVE H.C. HEIGHT THRESHOLDS. EXTERIOR DOORS ON UPPER LEVELS SHALL HAVE STANDARD RAISED THRESHOLDS.
- PROCEDURES FOR SETTING WINDOWS & EXTERIOR DOORS SHALL BE VERIFIED WITH THE GENERAL CONTRACTOR.
- IF THERE ARE ANY CONFLICTS OR QUESTIONS CONTACT THE GENERAL CONTRACTOR.

STAIR / GUARDRAIL NOTES:

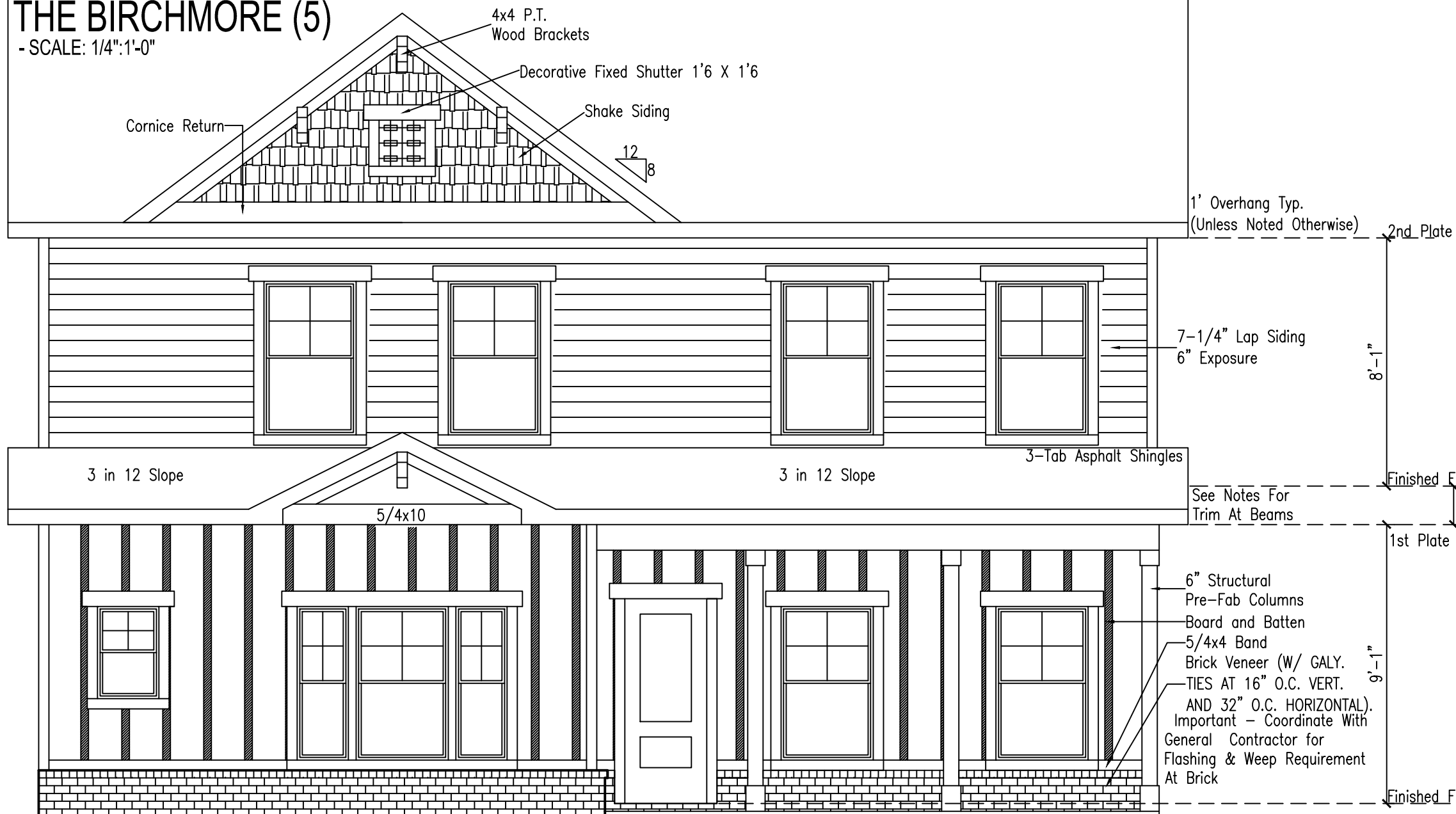
- MINIMUM 68" HEAD CLEARANCE (AFTER ALL FINISHES) - 7' MIN IS PREFERENCE
- MAXIMUM 7-3/4" RISERS (FINISH TREAD-TO-TREAD)
- MINIMUM 10" TREADS (STRINGER CUT RISER-TO-RISER) - PREFERENCE IS TO MAINTAIN 10" REQUIREMENT, NOT TO EXCEED
- HANDRAILS REQUIRED ON 1 SIDE OF STAIRS. WALL MOUNTED HANDRAILS SHALL FULLY EXTEND FROM MIN 1" PAST BOTTOM TREAD TO 1" PAST EDGE OF TOP LANDING. WALL MOUNTED HANDRAILS SHALL RETURN TO WALL.
- TOP OF HANDRAIL SHALL BE 34" TO 38" ABOVE NOSE OF TREAD TO TOP OF RAIL.
- GUARDRAILS REQUIRED AT DECKS, PORCHES, BALCONIES, STAIRS, WALKWAYS WHERE ADJACENT GRADE OR FLOOR BELOW IS 30" OR MORE. GUARDRAILS SHALL BE 42" HEIGHT TO TOP OF RAIL. MEMBERS OF GUARDRAIL ASSEMBLY (PICKETS) SHALL BE SPACED TO NOT ALLOW PASSAGE OF A 4" SPHERE.

GENERAL NOTES:

- ALL DIMENSIONS, U.N.O. ARE TO FACE OF STUD, OR FACE OF FRAMING MEMBER INDICATED.
- OPENINGS SHOWN NEXT TO AN ADJACENT WALL ARE TO BE 4-1/2" OFF ADJACENT WALL. OPENINGS SHOWN IN APPROX CENTER OF A WALL ARE TO BE PLACED AT CENTER U.N.O. IF OPENING LOCATIONS ARE IN QUESTION - CONTACT GENERAL CONTRACTOR.
- ALL WINDOW AND DOOR HEADER HEIGHTS ARE TO BE 83" HIGH, U.N.O.
- DO NOT SCALE DRAWINGS - USE DIMENSIONS ONLY. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, CONTACT GENERAL CONTRACTOR.
- ALL PRE-FAB COLUMNS SHALL BE DESIGNED FOR STRUCTURAL SUPPORT AND SHALL BE TREATED OR NON-ROT MATERIAL. 6X6 DIMENSIONAL LUMBER COLUMNS SHALL BE KDPT. ALL COLUMNS SHALL BE FASTENED TO CONCRETE FOUNDATION WITH SIMPSON POST ANCHOR DESIGNED FOR THE SPECIFIC COLUMN.
- ALL CORNICIE BRACKETS ARE NON-STRUCTURAL, AND SHALL BE MADE OF 4X4 PT.
- REAR PATIOS ARE NON-STRUCTURAL, AND SHALL BE 4" THICK 3000 PSI CONCRETE. TYPICAL SIZE IS 12X12' WITH 45DEG MITERED CORNERS - VERIFY SIZE WITH GENERAL CONTRACTOR. IF PATIO IS MORE THAN A SINGLE STEP DOWN (MAX 7" FROM TOP OF THRESHOLD TO PATIO), COORDINATE WITH GENERAL CONTRACTOR. STEPS/LANDINGS WHEN REQUIRED SHALL BE PER CODES LISTED ON PLANS COVER PAGE.
- ALL CONSTRUCTION SHALL BE MIN PER CODES LISTED ON PLANS COVER PAGE. ENGINEERED STRUCTURAL PLANS TAKE PRECEDENCE - IF THERE ARE ANY QUESTIONS OR CONFLICTS CONTACT THE GENERAL CONTRACTOR.

FRONT ELEVATION - A

THE BIRCHMORE (5)
- SCALE: 1/4"=1'-0"



REAR ELEVATION - A

THE BIRCHMORE (5) - SCALE: 1/4"=1'-0"



LANDMARK COTTAGE
CONSTRUCTION, LLC
CONSTRUCTION OPERATIONS:
455 EPPS BRIDGE PKWY | BLDG 100, STE 201
ATHENS, GA 30606 | 706-543-1910

THE STATION
PATTON TOWNSHIP - CENTRE COUNTY, PA
CENTRE REGION CODE AUTHORITY
5 - THE BIRCHMORE

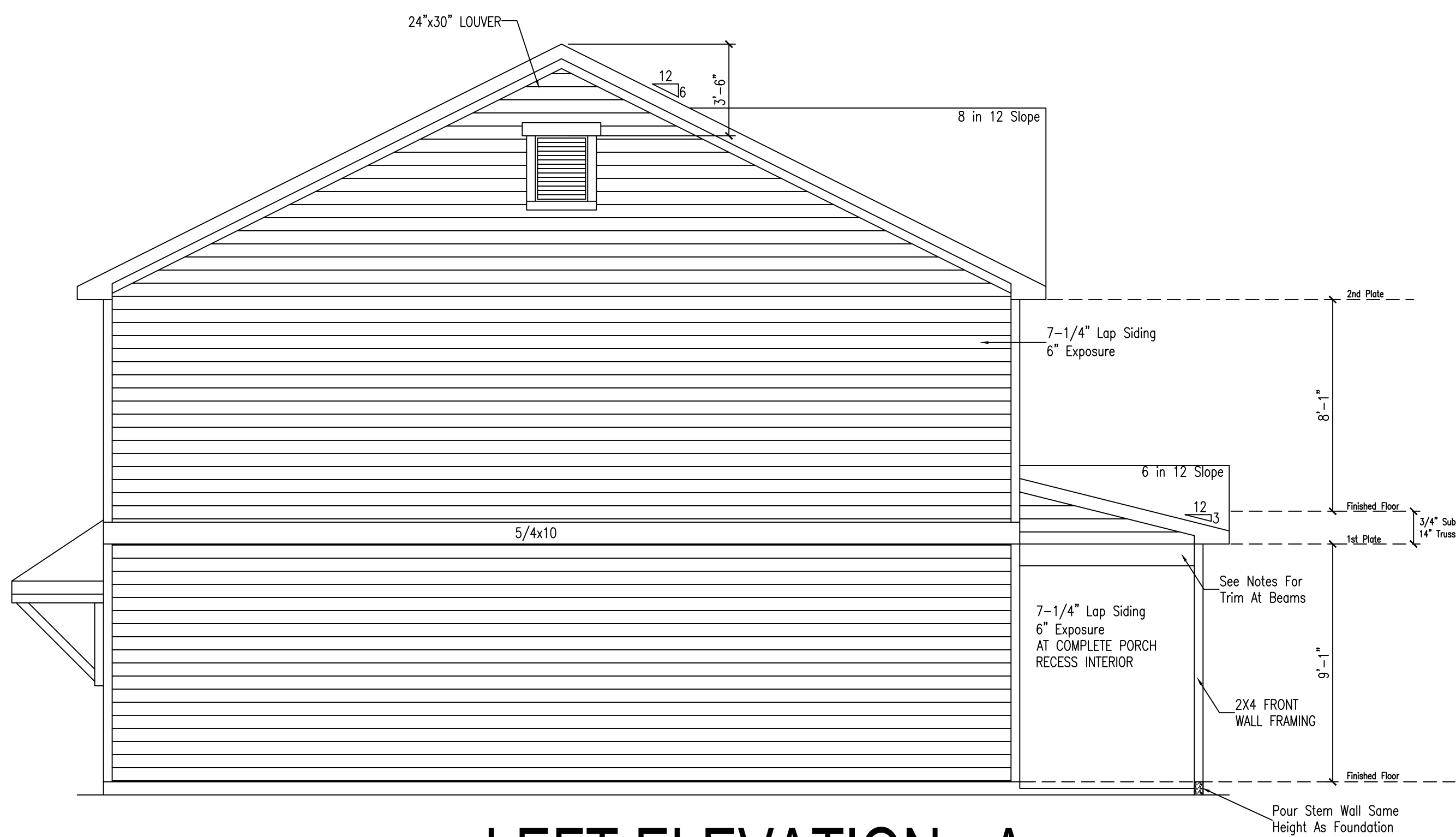
FLOOR PLANS
&
ELEVATIONS

SHEET TITLE:

DATE:
MAY 18, 2017
REVISIONS:

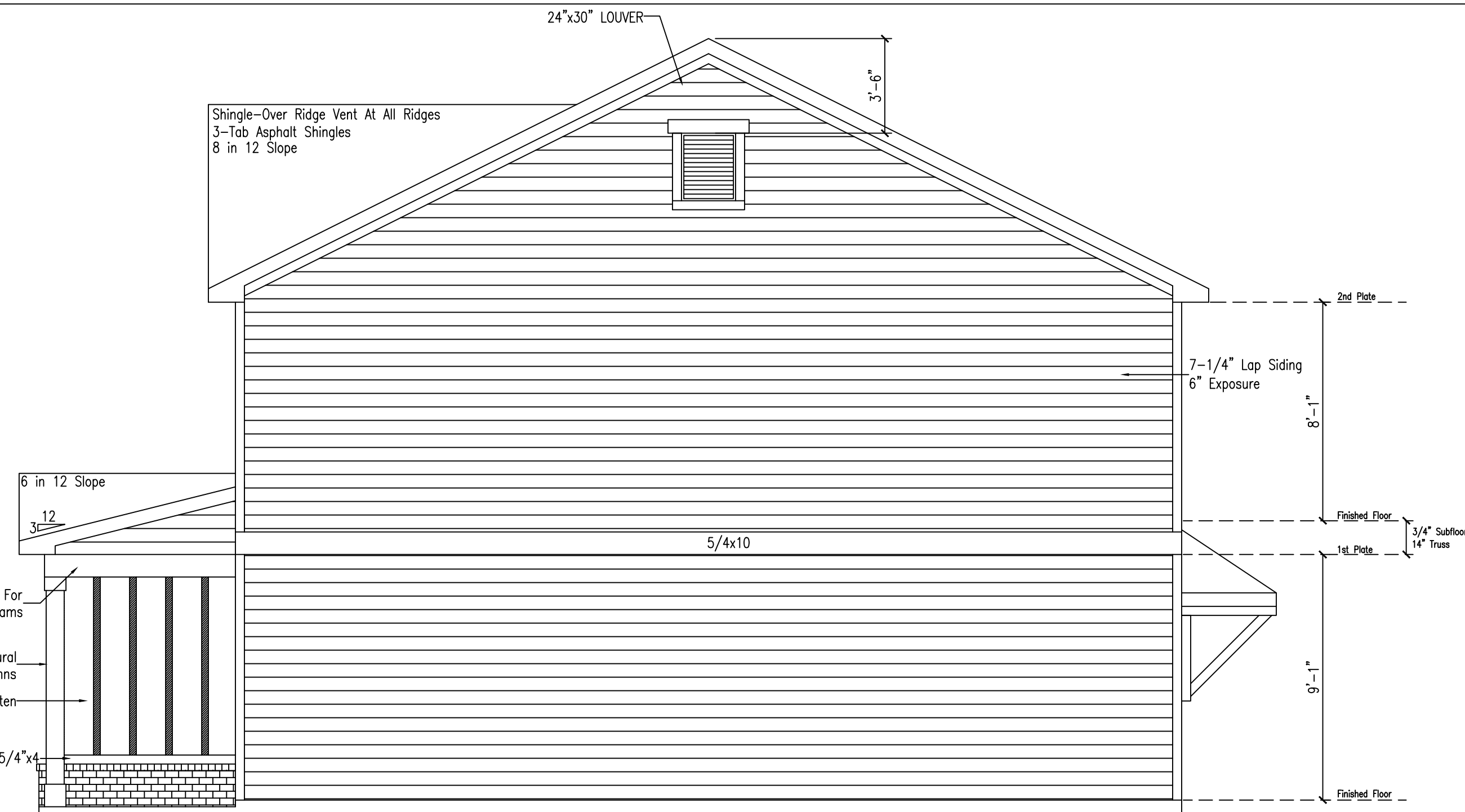
SHEET NUMBER:
5 - BIRCHMORE

A-1.0



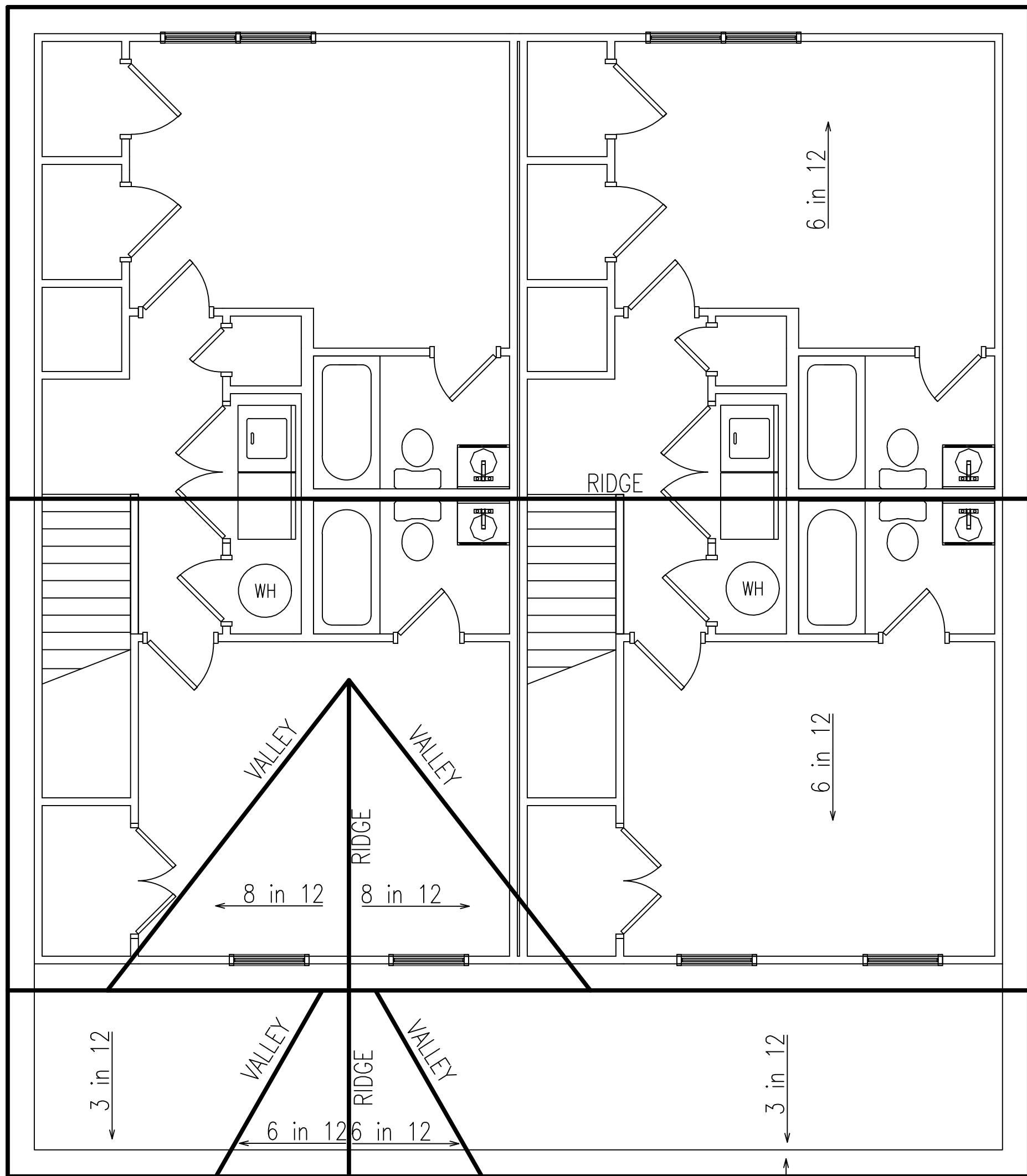
LEFT ELEVATION - A

THE BIRCHMORE (5) - SCALE: 1/4"=1'-0"



RIGHT ELEVATION - A

THE BIRCHMORE (5) - SCALE: 1/4"=1'-0"



ROOF PLAN - A

THE BIRCHMORE (5) - SCALE: 1/4"=1'-0"

EXTERIOR SIDING / TRIM NOTES:

1. ALL EXTERIOR SIDING/TRIM COMPONENTS TO BE NON-ROT, CEMENT-FIBER TYPE.
2. CORNER BOARDS TO BE 5/4X4 & 5/4X6 PAIRED TOGETHER TO CREATE AN L-SHAPED CORNER, WITH 5/4X6 PLACED ON FRONT & REAR ELEVATIONS.
3. WINDOW & DOOR TRIM TO BE 5/4X4 SIDES & BOTTOM, HEAD TRIM TO BE 5/4X6 EXTENDED 2".
4. FASCIA TO BE 1X6, WITH EAVE DRIP FLASHING (WIDTH PER GEN CONTR).
5. FRIEZE BOARDS TO BE 1X4.
6. SOFFITS TO BE 5/16" PANELS, PERFORATED AT EAVES.
7. BOARD&BATTEN TO BE 5/16"x4' WIDE PANELS WITH 1X3 BATTENS 16" OC.
8. PORCH CEILINGS TO BE 5/16"x4' WIDE PANELS WITH 1X3 BATTENS AT JOINTS & PERIMETER.
9. COORDINATE WITH GENERAL CONTRACTOR FOR FLASHING PROFILES TO BE USED AT ALL LOCATIONS.
10. COORDINATE WITH GENERAL CONTRACTOR FOR THE FOLLOWING DETAILS:
 - +SPECIFIC SIZES OF TRIM BOARDS TO WRAP EXTERIOR BEAMS PER SPECIFIC LOCATIONS.
 - +SPECIFIC DESIGN OF BRACKETS AT GABLES & MISC LOCATIONS. ALL BRACKETS ARE P.T.
 - +COLUMN TRIM DETAILS.
 - +REAR PORCH ROOF DETAILS.

ROOF PLAN NOTES:

1. 'ICE & WATER' MEMBRANE SHALL BE APPLIED AT THE COMPLETE PERIMETER OF THE ROOF TO EXTEND MIN 24" INSIDE THE EXTERIOR WALL LINE OF THE BLDG. 36" WIDE 'ICE & WATER' MEMBRANE SHALL BE APPLIED AT ALL VALLEYS. ROOF PITCHES UNDER 4/12 SHALL BE COVERED COMPLETELY WITH 'ICE & WATER' MEMBRANE.
2. 4-1/2" WIDTH EAVE DRIP SHALL BE INSTALLED AT THE COMPLETE PERIMETER, WITH THE 'ICE & WATER' MEMBRANE LAPPING ONTO THE EAVE DRIP TO WITHIN 1" OF THE ROOF EDGE.
3. 30# ROOF FELT SHALL BE INSTALLED AT THE COMPLETE REMAINING ROOF AREA, LAPPING ONTO THE 'ICE & WATER' MEMBRANE MINIMUM 12". ROOF FELT SHALL BE FASTENED SECURELY WITH BUTT CAP NAILS SO AS TO BE SECURE FOR STANDARD WIND EVENTS, AND WITH CARE TO NOT DAMAGE THE 'ICE & WATER' MEMBRANE TO IMPAIR ITS FUNCTION.
4. ALL ROOF AREAS SHALL HAVE 3-TAB ASPHALT SHINGLES - VERIFY MFR & SPECS WITH GENERAL CONTRACTOR.
5. COORDINATE WITH GENERAL CONTRACTOR IF ANY UNITS / LOCATIONS ON SITE WILL HAVE DECORATIVE METAL ROOFING.
6. SHINGLE-OVER RIDGE VENT SHALL BE INSTALLED AT ALL RIDGES.
7. ROOFING CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR AS NEEDED TO ENSURE ALL INSTALLATIONS MEET THE MFR SPECIFICATIONS, AND THE CODES LISTED ON THE PLANS COVER PAGE.

*NOTE FOR TRUSS MFR: ROOF TRUSS OVERHANGS SHALL BE CANTILEVER TYPE.

The Station - Patton Township - Notes for Energy Requirements:

Energy Efficiency and Building Thermal Envelope Requirements shall meet the 2009 International Energy Conservation Code.

The following elements shall be incorporated, and shall be required for this Job:

- + Attics shall receive R-38 Blow-in Insulation, Batts shall be used for areas if inaccessible for Blow-in.
- + Air-Flow Baffles shall be installed at all locations where Airflow is required for proper Roof Ventilation, but may be restricted - such as Eaves, Attic Kneewalls, etc.
- + Exterior Walls shall receive R-21 Batt Insulation.
- + The Interior side of Exterior Walls at Concealed Spaces, that will not have Sheetrock applied, such as Tubs, HVAC Enclosures, Stair Cavities, etc shall have Insulation Batts installed, and Housewrap applied to the Interior Surface, before setting Tubs, Equipment, Stairs, etc.
- + Demising Walls in attached Units shall receive R-11 Batts in both Walls.
- + Sill Sealer shall be placed under all Exterior Wall Framing.
- + Housewrap shall be installed at complete Exterior of Building, lapped at Joints, and installed at Windows and Door Openings per Mfr specifications.
- + Windows and Ext Doors shall be caulked when set, Sill Sealer shall be placed under Ext Door Thresholds.
- + IMPORTANT - All details shall be verified with General Contractor for Housewrap installation, and procedures for setting Windows and Ext Doors .
- + All Penetrations of the Building Exterior Envelope must be sealed with foam or caulk by the Installer of the Penetration, and must be visually approved by the General Contractor.
- + Prior to installation of the Ext Wall Insulation, the Insulation Subcontractor shall be responsible to inspect the Interior Cavities of all Exterior Wall Framing, and foam or caulk as needed to meet the Air Sealing and Air Tightness requirements of the 2009 International Energy Conservation Code.

LANDMARK COTTAGE
CONSTRUCTION, LLC

CONSTRUCTION OPERATIONS:
455 EPPS BRIDGE PKWY | BLDG 100, STE 201
ATHENS, GA 30606 | 706-543-1910

THE RETREAT AT HARRISONBURG
ROCKINGHAM COUNTY, VIRGINIA

UNIT TYPE 5 - THE BIRCHMORE

ELEVATIONS
&
ROOF PLAN

SHEET TITLE:

DATE:
MAY 18, 2017

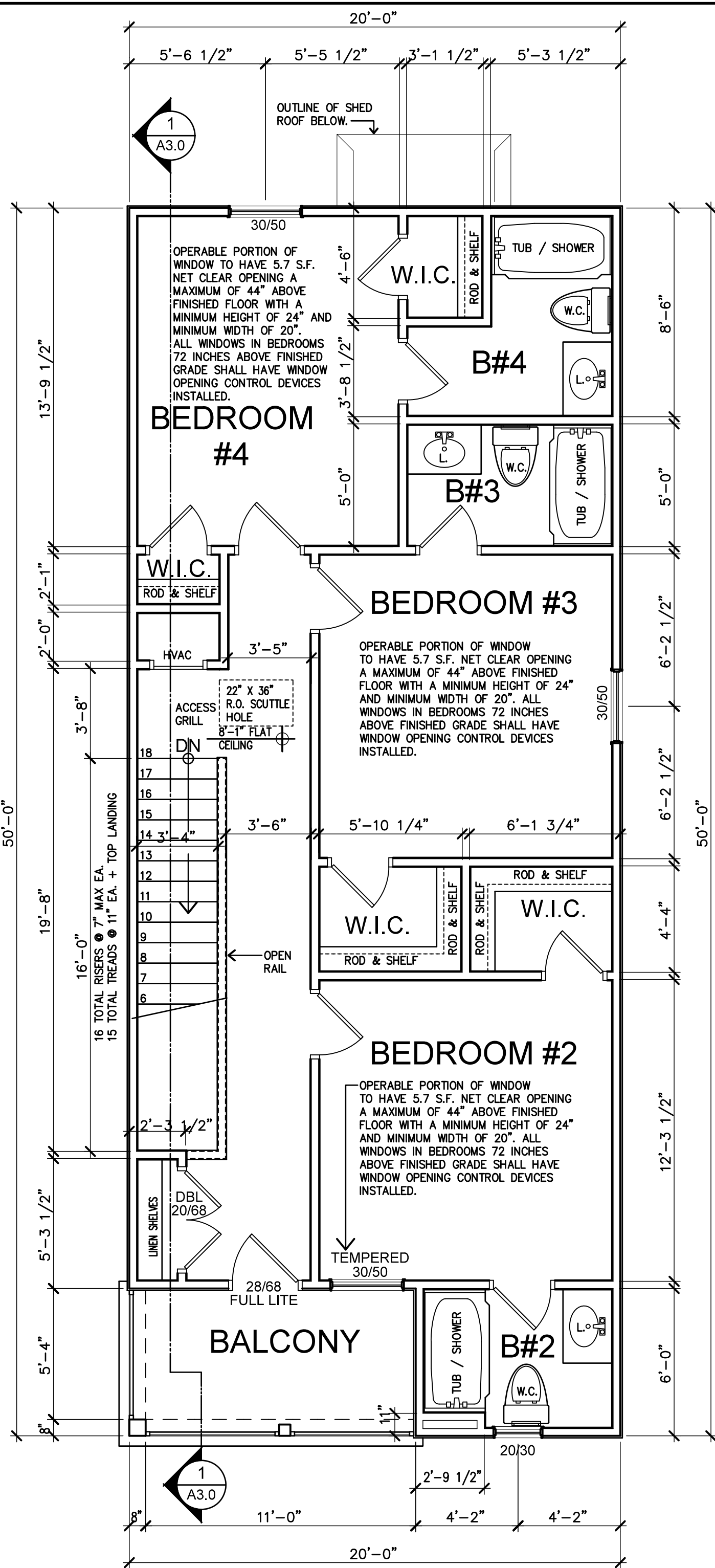
REVISIONS:
8.2.16 - PERMIT SET

SHEET NUMBER:
5 - BIRCHMORE

A-2.0

The Birchmore





2ND FLOOR PLAN

THE BLOOMFIELD

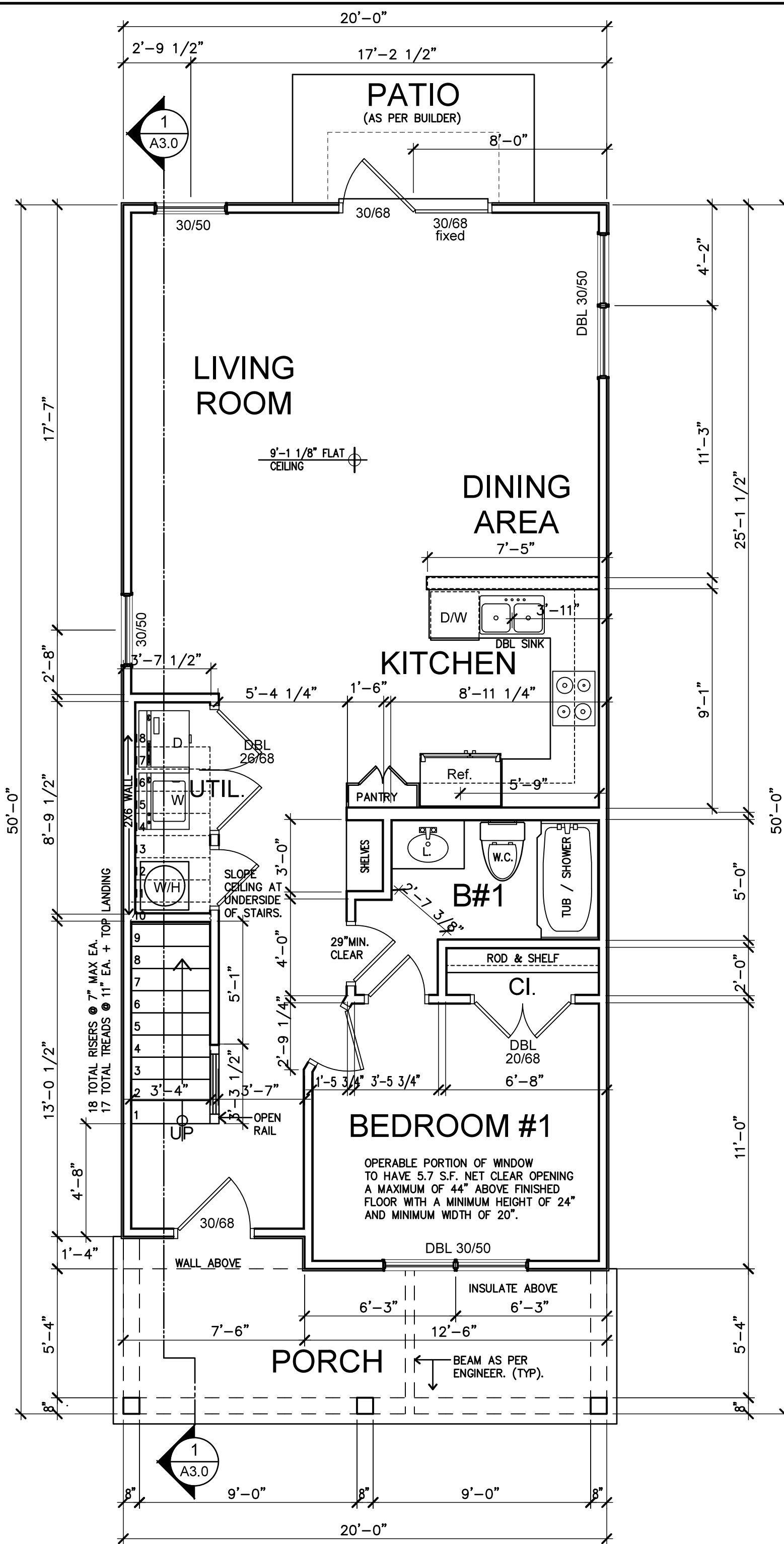
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GENERAL NOTES

- NOTE:** CONTRACTOR / OWNER TO PROVIDE ADDITIONAL ENGINEERING AND WIND LOAD ANALYSIS TO BUILDING DEPARTMENT AS REQ'D.
- NOTE:** SEE EXTERIOR ELEVATIONS FOR DOOR AND WINDOW STYLES. INTERIOR DOORS AS NOTED. STYLE AND FINISH AS PER OWNER. ALL BEDROOM DOORS SHALL BE 2'-6" x 6'-8" OR AS NOTED. ALL BATHROOM DOORS SHALL BE 2'-4"x6'-8" OR AS NOTED. ALL CLOSET DOORS SHALL BE 2'-4"x6'-8" OR AS NOTED.
- NOTE:** ALL INTERIOR DIMENSIONS ON DIMENSIONED FLOOR PLAN ARE TO THE FACE OF STUDS UNLESS OTHERWISE INDICATED.
- NOTE:** ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD WALL FRAMING UNLESS OTHERWISE INDICATED.
- NOTE:** ALL COLUMNS AND BRACKETS WILL BE DETERMINED ON SITE AND SHALL BE A MINIMUM OF 4X4 KDPT, FASTENED TO CONCRETE

WALL NOTES

- 2x4 WOOD STUDS AT 16" O.C. WITH 1 LAYER OF 1/2" G.W.B. ON EACH SIDE AT INTERIOR LOCATIONS. SEE WALL SECTIONS.

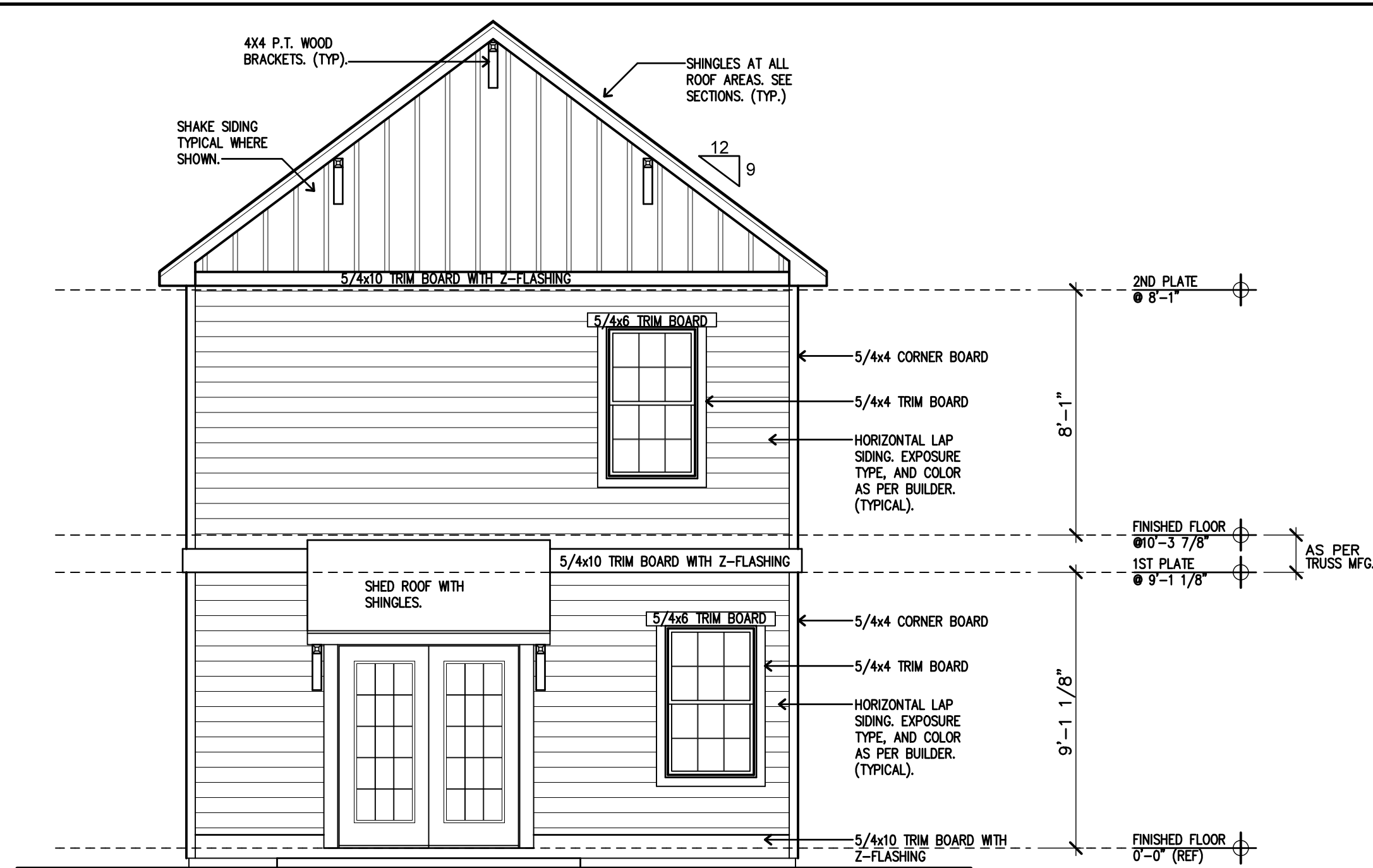


1ST FLOOR PLAN

THE BLOOMFIELD

SCALE: 1/4" = 1'-0"

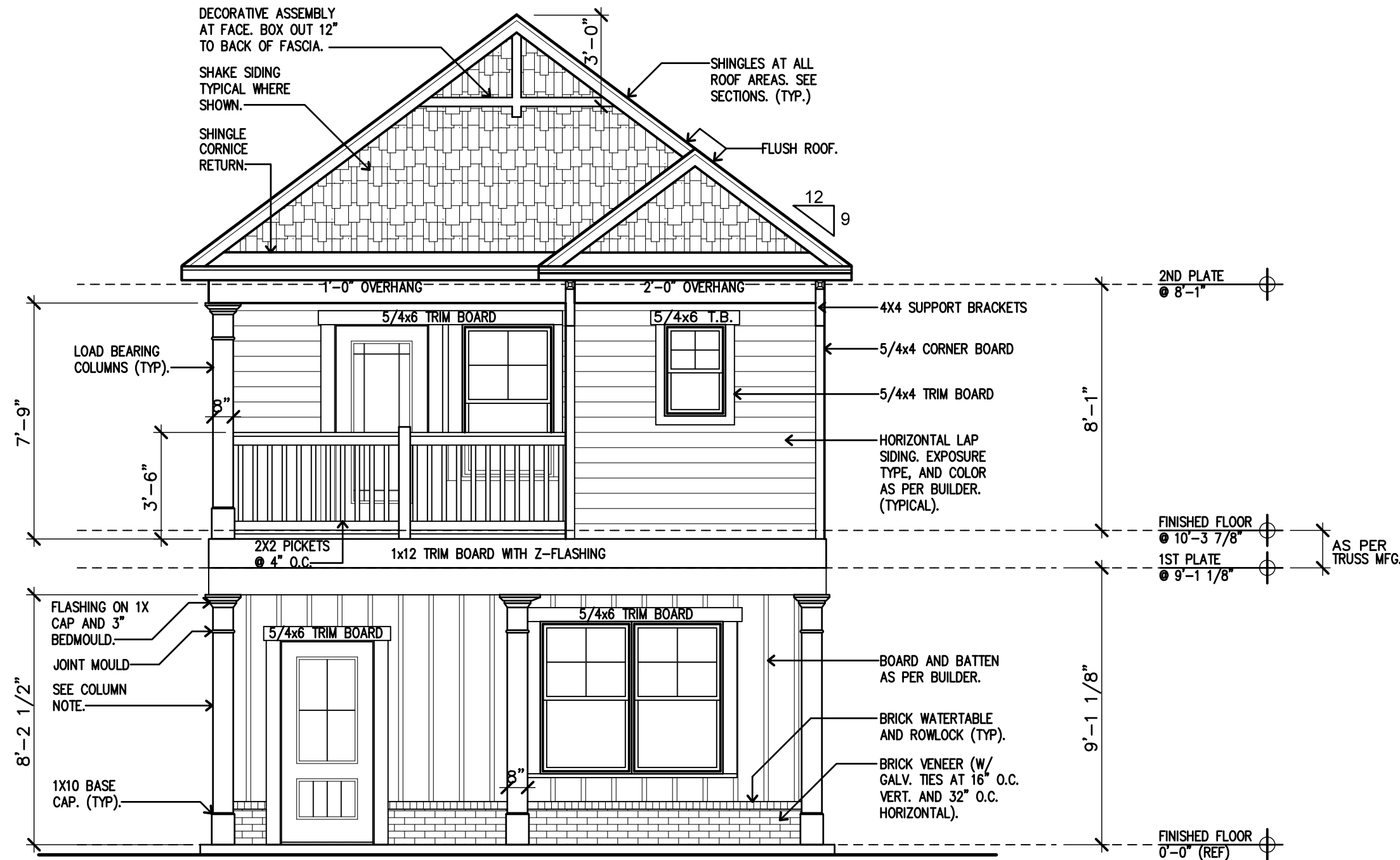
- NOTE:** ALL CONSTRUCTION SHALL BE AS PER CODES STATED ON THE COVER SHEET.
- NOTE:** FLOOR SURFACE ON BOTH SIDES OF THE DOOR SHALL NOT VARY MORE THAN 1/2" FOR A DISTANCE NOT LESS THAN THE WIDTH OF THE WIDEST LEAF. SEE FOUNDATION PLAN. EXTERIOR DOORS MAY HAVE 7" STEP-DOWN TO PORCH / PATIO / LANDING AT PATIO.
- NOTE:** EACH UNIT SHALL HAVE A MINIMUM OF ONE TYPE 2A 10B/C FIRE EXTINGUISHER LOCATED UNDER KITCHEN SINK OR OTHER NORMAL PATHS OF TRAVEL INCLUDING EXITS FROM AREAS.
- NOTE:** ALL LOAD BEARING HEADERS SHALL BE A MINIMUM OF DOUBLE 2X10 ALL NON-LOAD BEARING HEADERS SHALL BE A MINIMUM OF DOUBLE 2X4. ALL HEADERS THAT EXCEED ALLOWABLE SPANS AS PER CODE SHALL BE LVL AS ENGINEERED.
- NOTE:** REAR PATIO SHALL BE AS PER BUILDER AND WITH STEPS TO GRADE. PATIO AND STEPS SHALL BE CONSTRUCTED AS PER CODES LISTED ON COVERSHEET.



REAR ELEVATION

THE BLOOMFIELD

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

THE BLOOMFIELD

SCALE: 1/4" = 1'-0"

THE RETREAT - TAMPA
BLOOMFIELD BUILDING TYPE. TAMPA, FLORIDA

TYPE A - FLOOR PLANS / EXTERIOR ELEVATIONS



DATE APRIL 21, 2016

DRAWN BY B.H.

REVISED

JOB NO.

15-227 G

DATE

SHEET NUMBER

7-A1.0

The Bloomfield

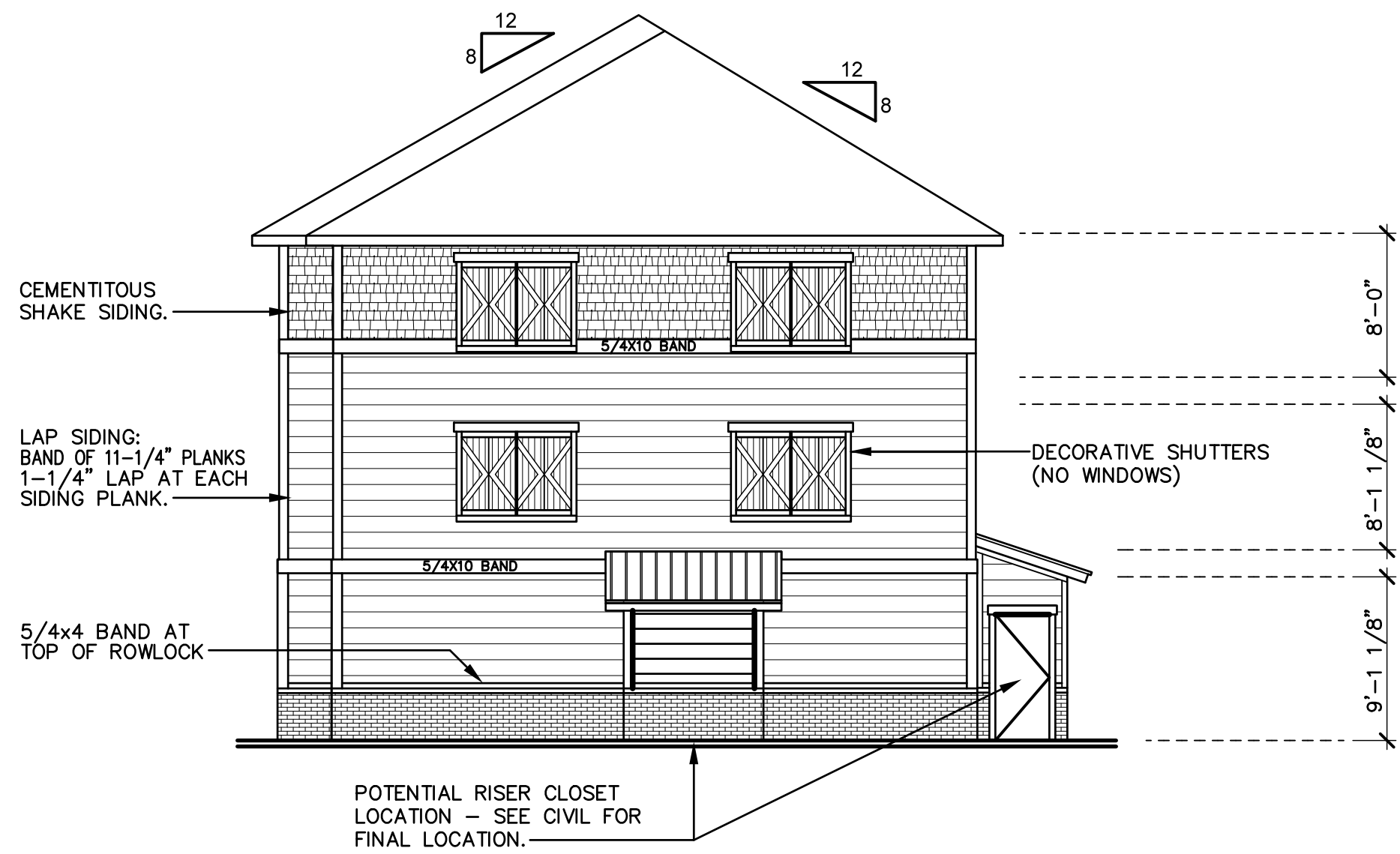




FRONT ELEVATION

THE CLOVERHURST

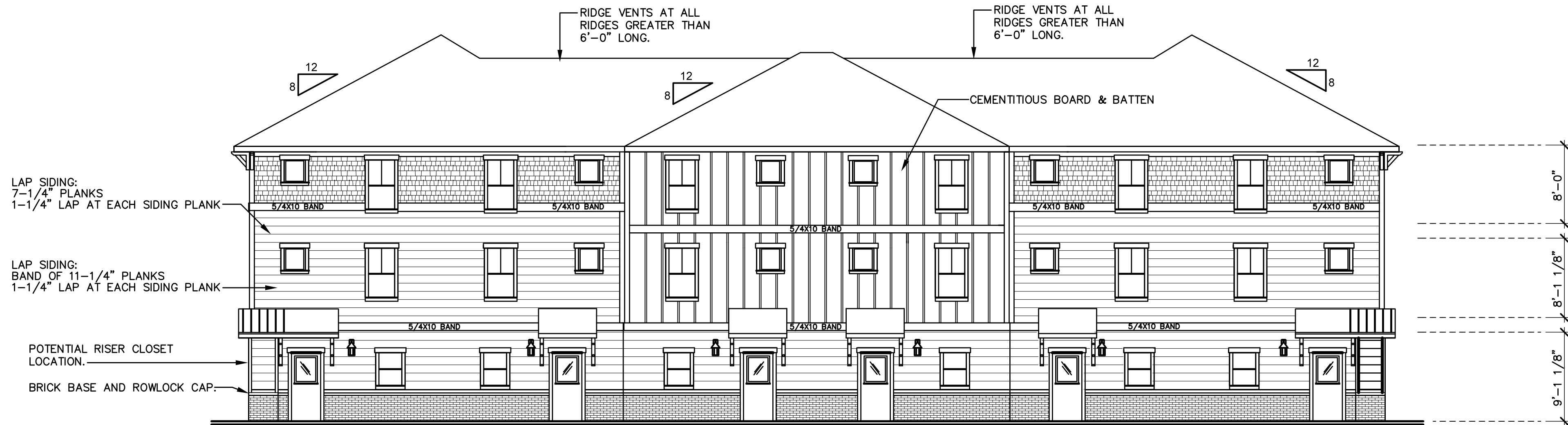
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SIDE ELEVATION

THE CLOVERHURST

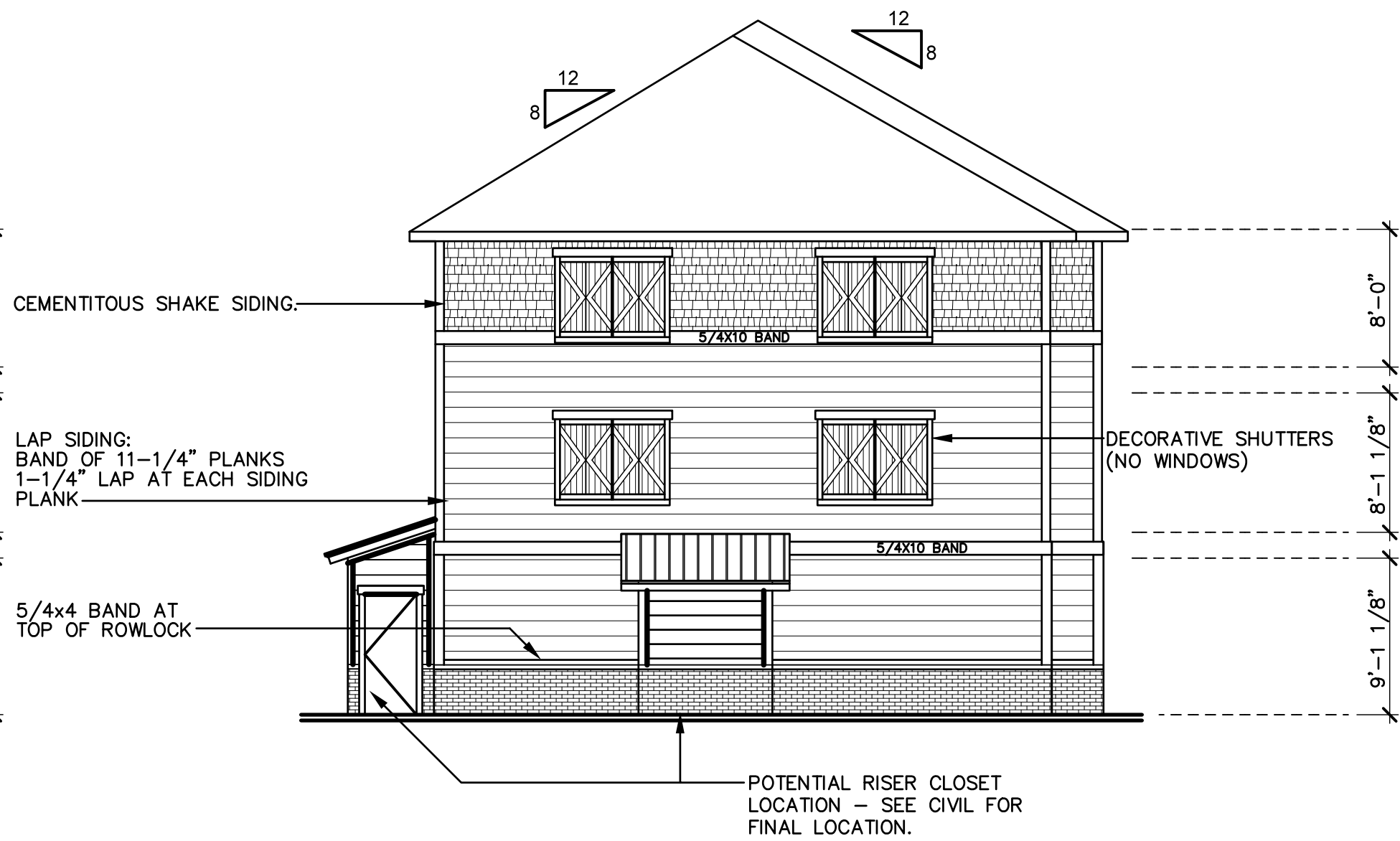
SCALE: 1/8" = 1'-0"



REAR ELEVATION

THE CLOVERHURST

SCALE: 1/8" = 1'-0"



SIDE ELEVATION

THE CLOVERHURST

SCALE: 1/8" = 1'-0"

THE RETREAT - TAMPA
THE CLOVERHURST - BUILDING TYPE. TAMPA, FLORIDA

EXTERIOR ELEVATIONS



DATE
APRIL 21, 2016

DRAWN BY
B.H.

REVISED

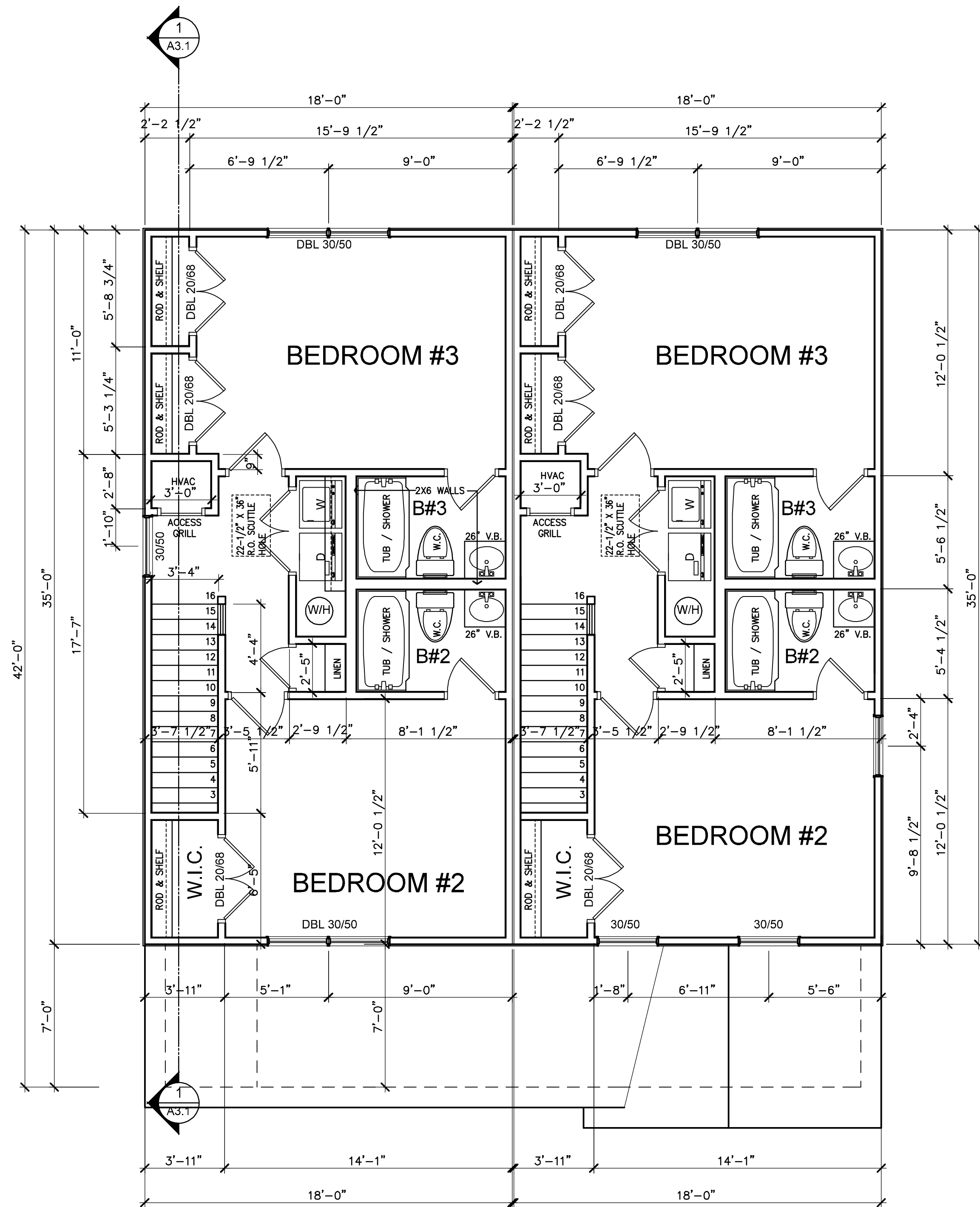
JOB NO.
15-227 L

DATE
SHEET NUMBER
12-A3.0

The Cloverhurst



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2ND FLOOR PLAN - B

THE FAIRVIEW

SCALE: 1/4" = 1'-0"

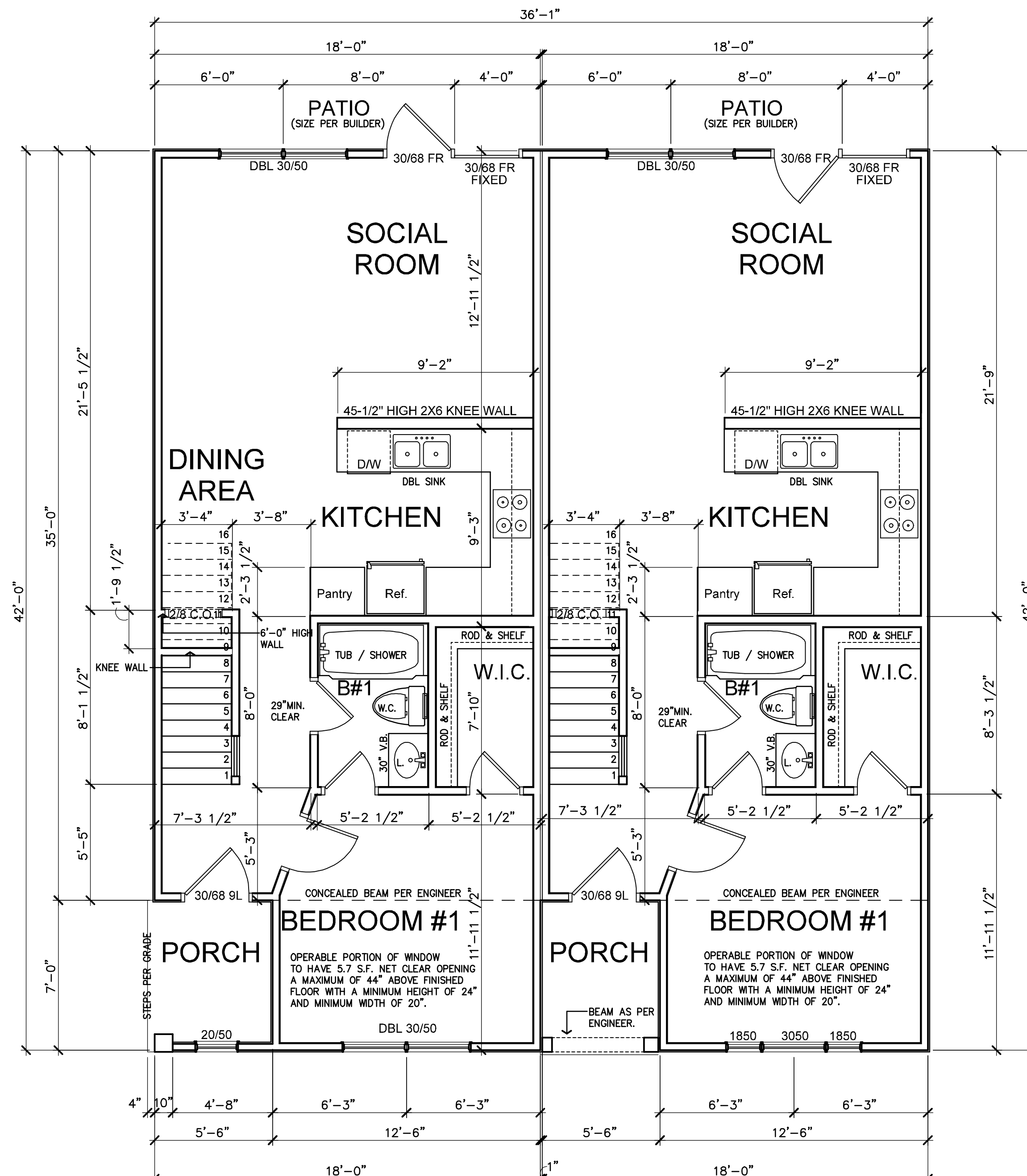
GENERAL NOTES

- NOTE:** CONTRACTOR / OWNER TO PROVIDE ADDITIONAL ENGINEERING AND WIND LOAD ANALYSIS TO BUILDING DEPARTMENT AS REQ'D.
- NOTE:** SEE EXTERIOR ELEVATIONS FOR DOOR AND WINDOW STYLES. INTERIOR DOORS AS NOTED. STYLE AND FINISH AS PER OWNER. ALL BEDROOM DOORS SHALL BE 2'-6" x 6'-8" OR AS NOTED. ALL BATHROOM DOORS SHALL BE 2'-4"x6'-8" OR AS NOTED. ALL CLOSET DOORS SHALL BE 2'-4"x6'-8" OR AS NOTED.
- NOTE:** ALL INTERIOR DIMENSIONS ON DIMENSIONED FLOOR PLAN ARE TO THE FACE OF STUDS UNLESS OTHERWISE INDICATED.
- NOTE:** ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD WALL FRAMING UNLESS OTHERWISE INDICATED.

WALL NOTES

- 2x4 WOOD STUDS AT 16" O.C. WITH 1 LAYER OF 1/2" G.W.B. ON EACH SIDE AT INTERIOR LOCATIONS. SEE WALL SECTIONS.
- NOTE:** THE CONTRACTOR SHALL CONSTRUCT SHEAR WALLS AS REQUIRED BY WIND LOAD ANALYSIS RESULTS.

- NOTE:** ALL COLUMNS AND BRACKETS WILL BE DETERMINED ON SITE AND SHALL BE A MINIMUM OF 4X4 KDPT, FASTENED TO CONCRETE DECK WITH SIMPSON HARDWARE AS PER WIND LOAD ANALYSIS.
- NOTE:** REAR PATIO SHALL BE AS PER BUILDER AND WITH STEPS TO GRADE. PATIO AND STEPS SHALL BE CONSTRUCTED AS PER CODES LISTED ON COVERSHEET.
- NOTE:** ALL LOAD BEARING HEADERS SHALL BE A MINIMUM OF DOUBLE 2X10 ALL NON-LOAD BEARING HEADERS SHALL BE A MINIMUM OF DOUBLE 2X4. ALL HEADERS THAT EXCEED ALLOWABLE SPANS AS PER CODE SHALL BE LVL AS ENGINEERED.
- NOTE:** ALL CONSTRUCTION SHALL BE AS PER CODES STATED ON THE COVER SHEET.



1ST FLOOR PLAN - B

THE FAIRVIEW

SCALE: 1/4" = 1'-0"

THE RETREAT - FAIRVIEW BUILDING TYPE
GAINESVILLE, FLORIDA

TYPE B - FLOOR PLANS / EXTERIOR ELEVATIONS



DATE: JUNE 05, 2015

DRAWN BY: B.H.

REVISED:

JOB NO:

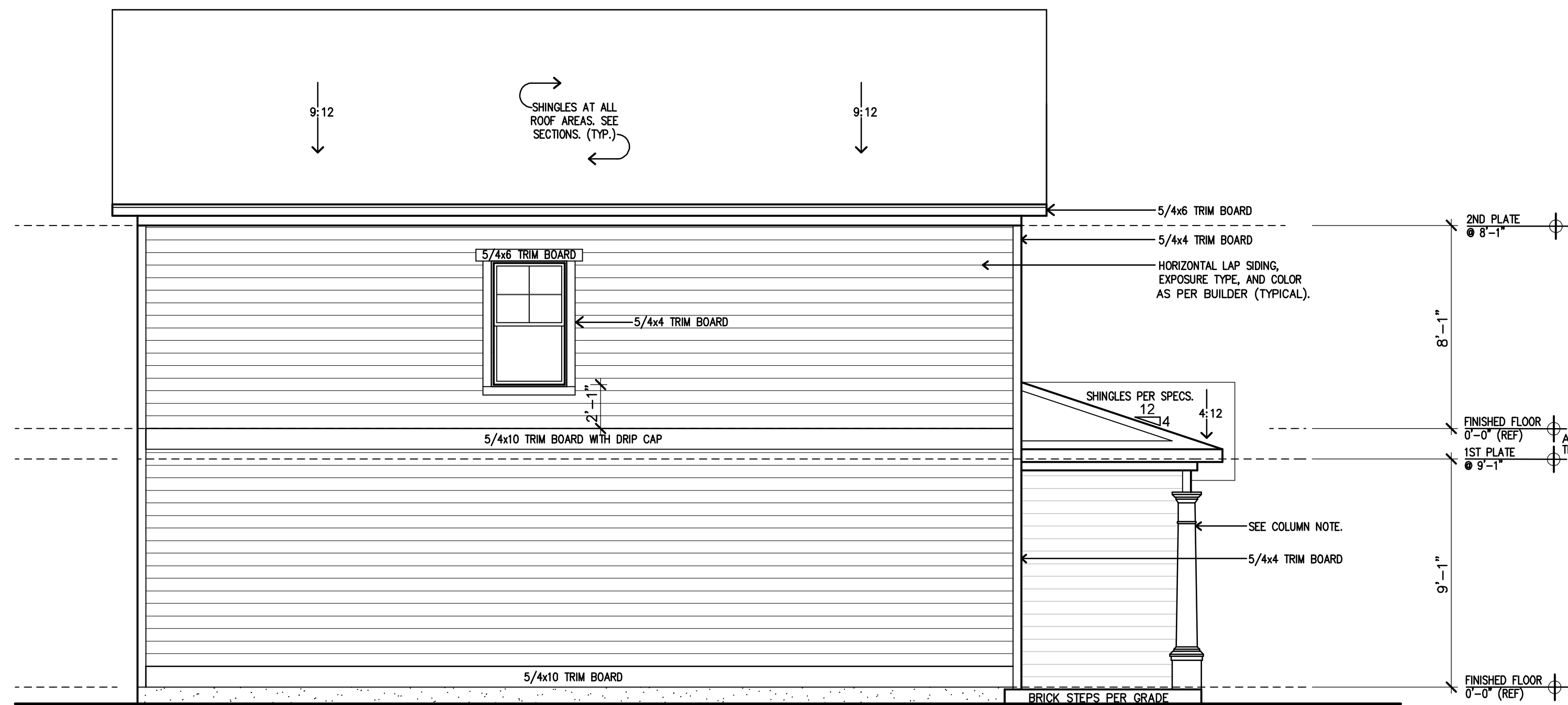
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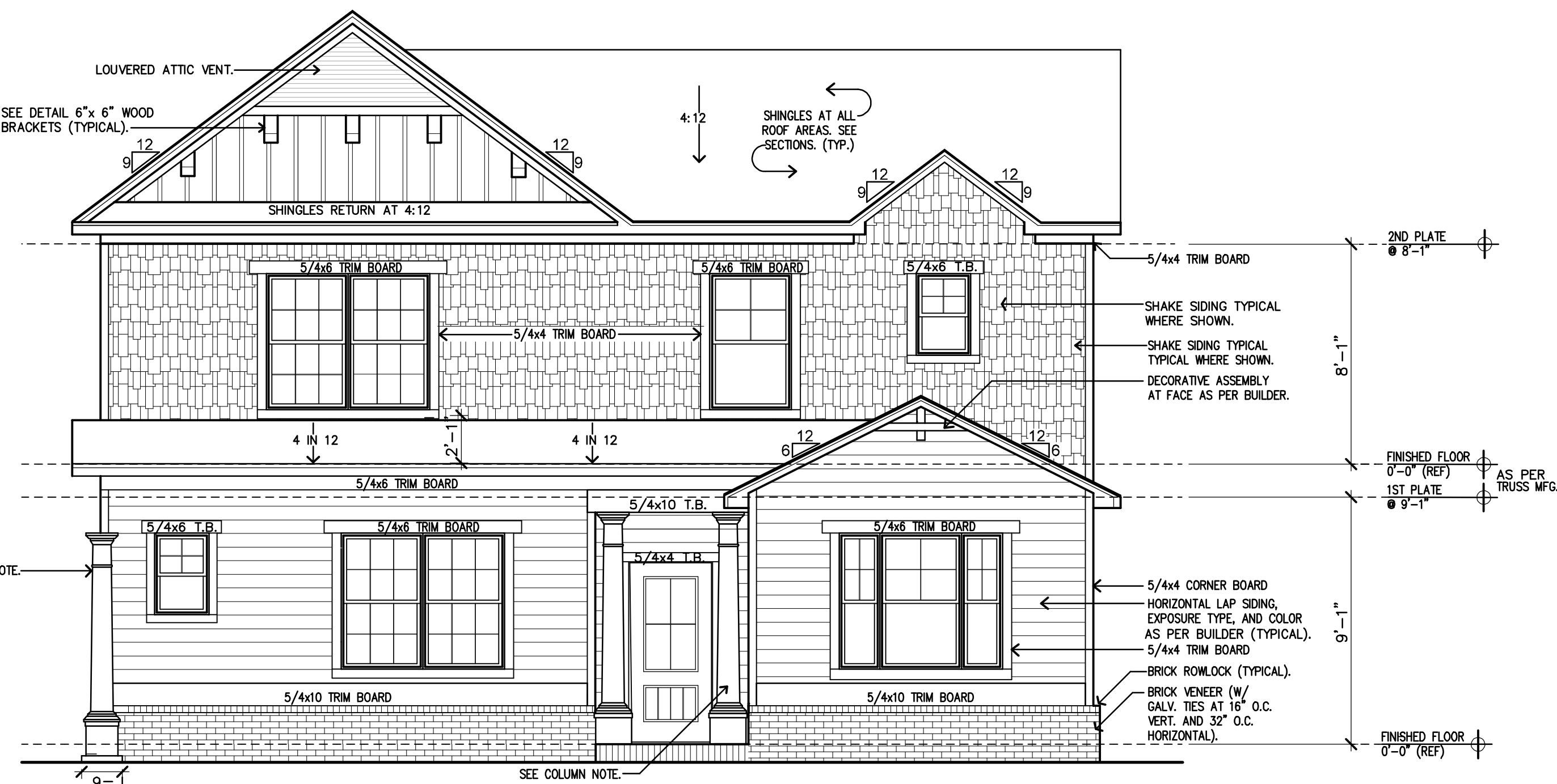
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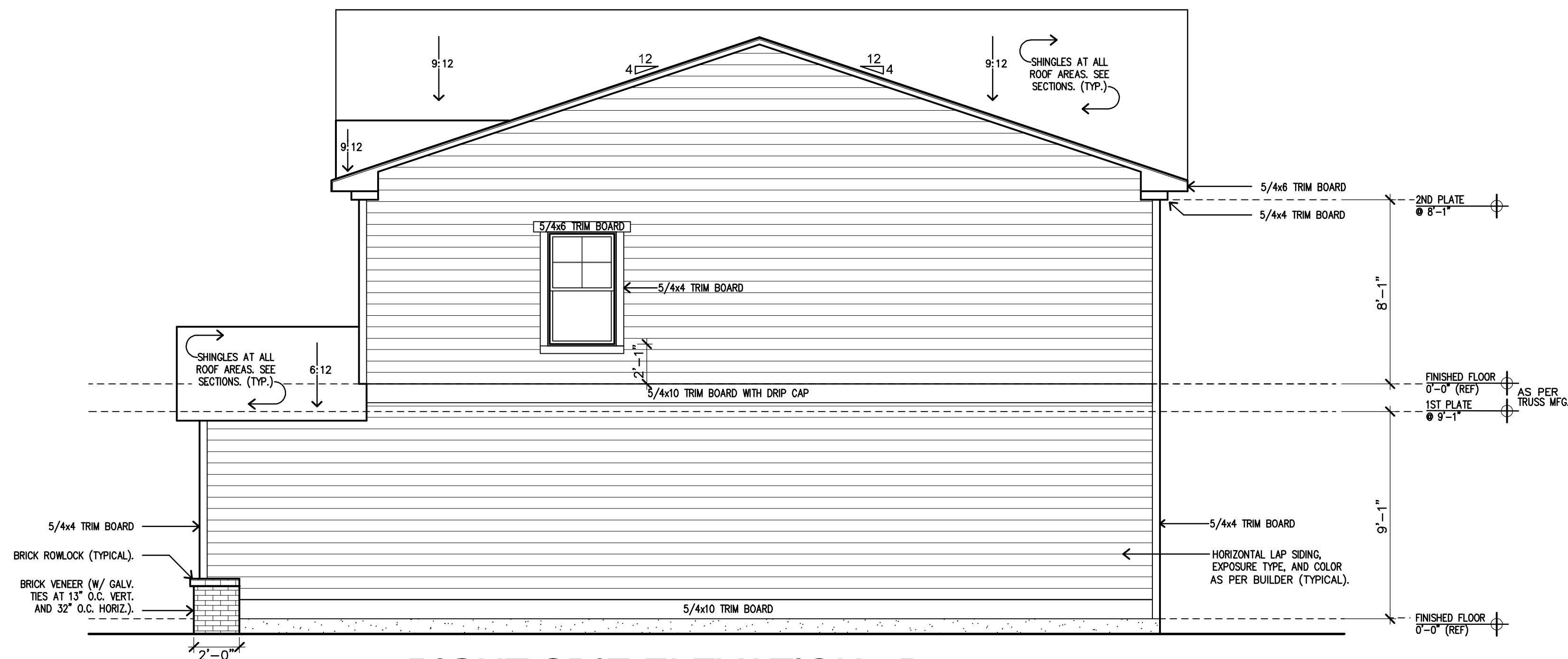
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LEFT SIDE ELEVATION - B
THE FAIRVIEW
SCALE: 1/4" = 1'-0"



FRONT ELEVATION - B
THE FAIRVIEW
SCALE: 1/4" = 1'-0"



RIGHT SDIE ELEVATION - B
THE FAIRVIEW
SCALE: 1/4" = 1'-0"



REAR ELEVATION - B
THE FAIRVIEW
SCALE: 1/4" = 1'-0"

THE RETREAT - FAIRVIEW BUILDING TYPE
GAINESVILLE, FLORIDA

TYPE B - EXTERIOR ELEVATIONS



DATE
JUNE 05, 2015

DRAWN BY
B.H.

REVISED

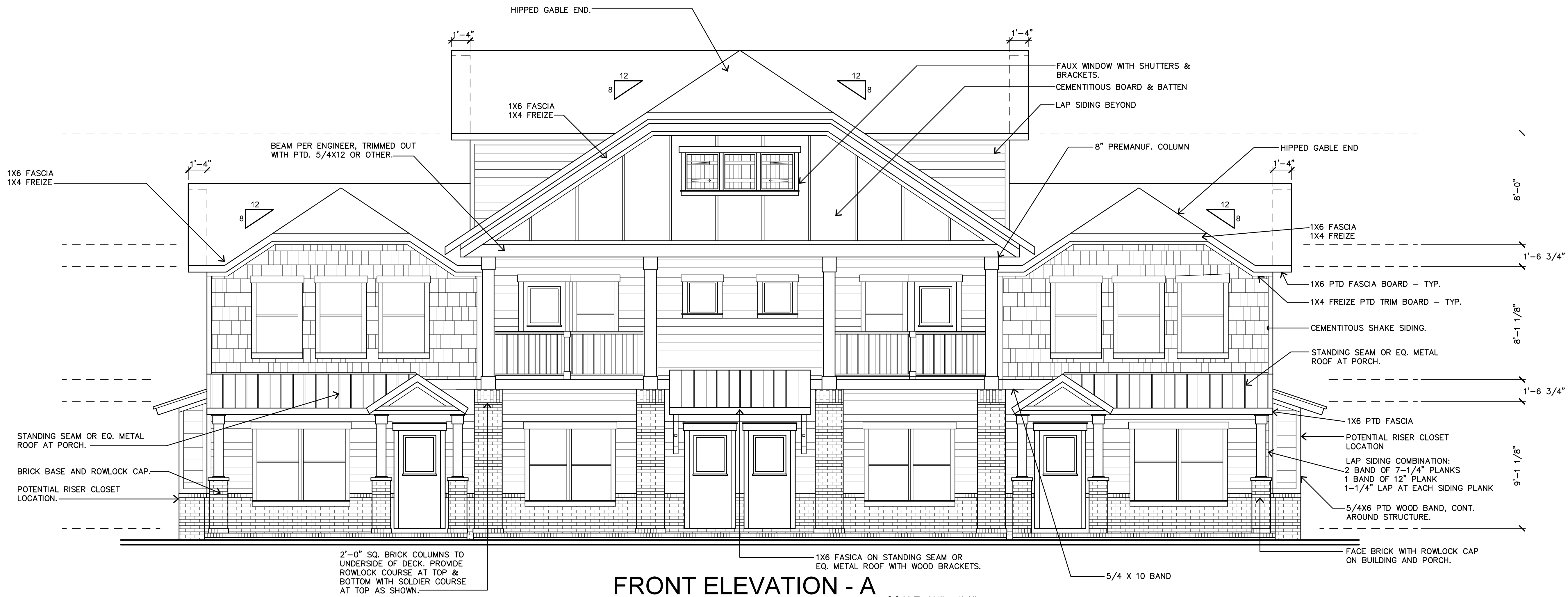
JOB NO.
14-285F

DATE
SHEET NUMBER
6-A2.1

The Fairview



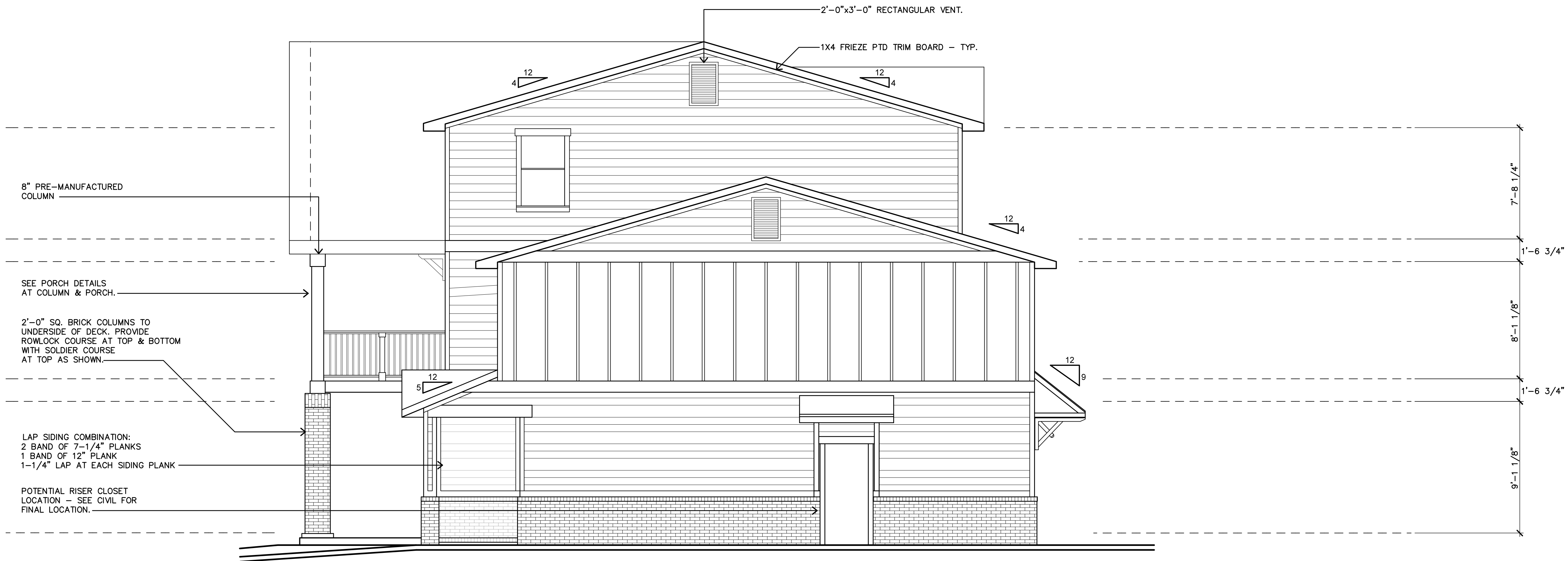
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FRONT ELEVATION - A

THE LUMPKIN

SCALE: 1/4" = 1'-0"



SIDE ELEVATION - A

THE LUMPKIN

SCALE: 1/4" = 1'-0"

THE RETREAT - TAMPA
THE LUMPKIN BUILDING TYPE. TAMPA, FLORIDA

EXTERIOR ELEVATIONS



DATE	APRIL 21, 2016
DRAWN BY	B.H.
REVISION	
JOB NO.	15-227 Q
DATE	
SHEET NUMBER	17-A3.0

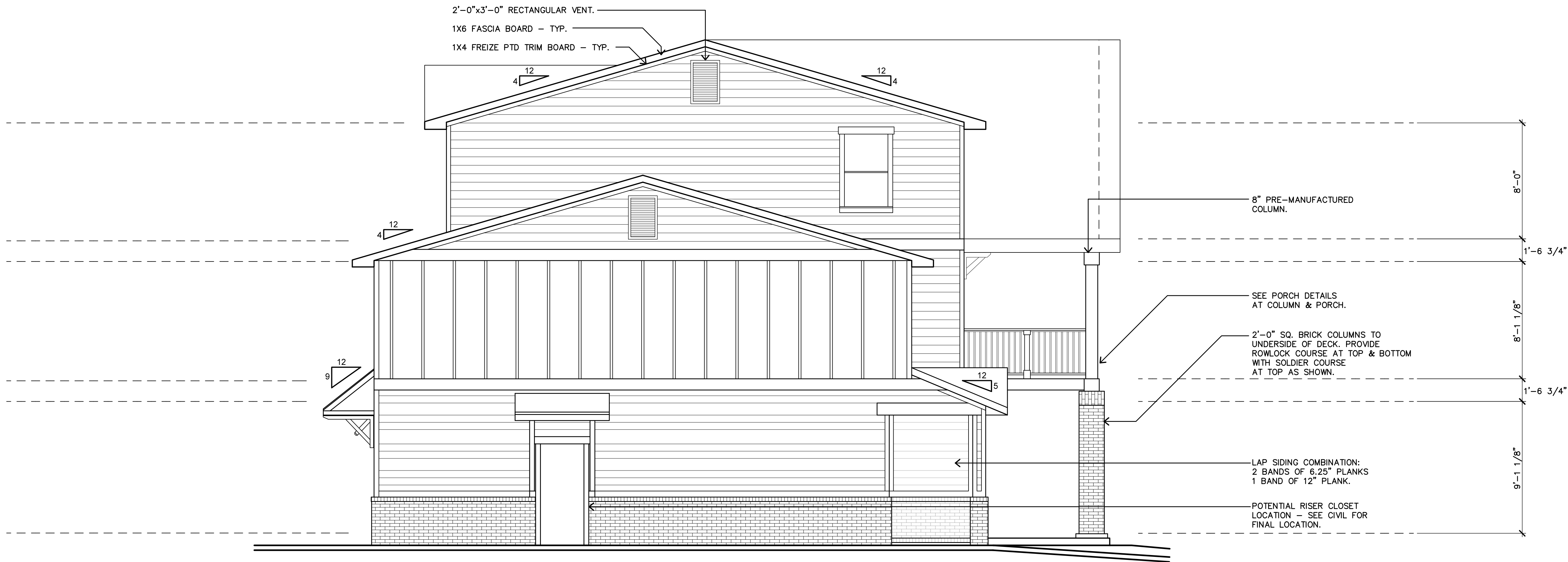
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REAR ELEVATION - A

SCALE: 1/4" = 1'-0"

THE LUMPKIN



SIDE ELEVATION - A

SCALE: 1/4" = 1'-0"

THE LUMPKIN

THE RETREAT - TAMPA
THE LUMPKIN BUILDING TYPE. TAMPA, FLORIDA

EXTERIOR ELEVATIONS



DATE	APRIL 21, 2016
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JOB NO.	15-227 Q
DATE	
SHEET NUMBER	17-A3.1

The Lumpkin



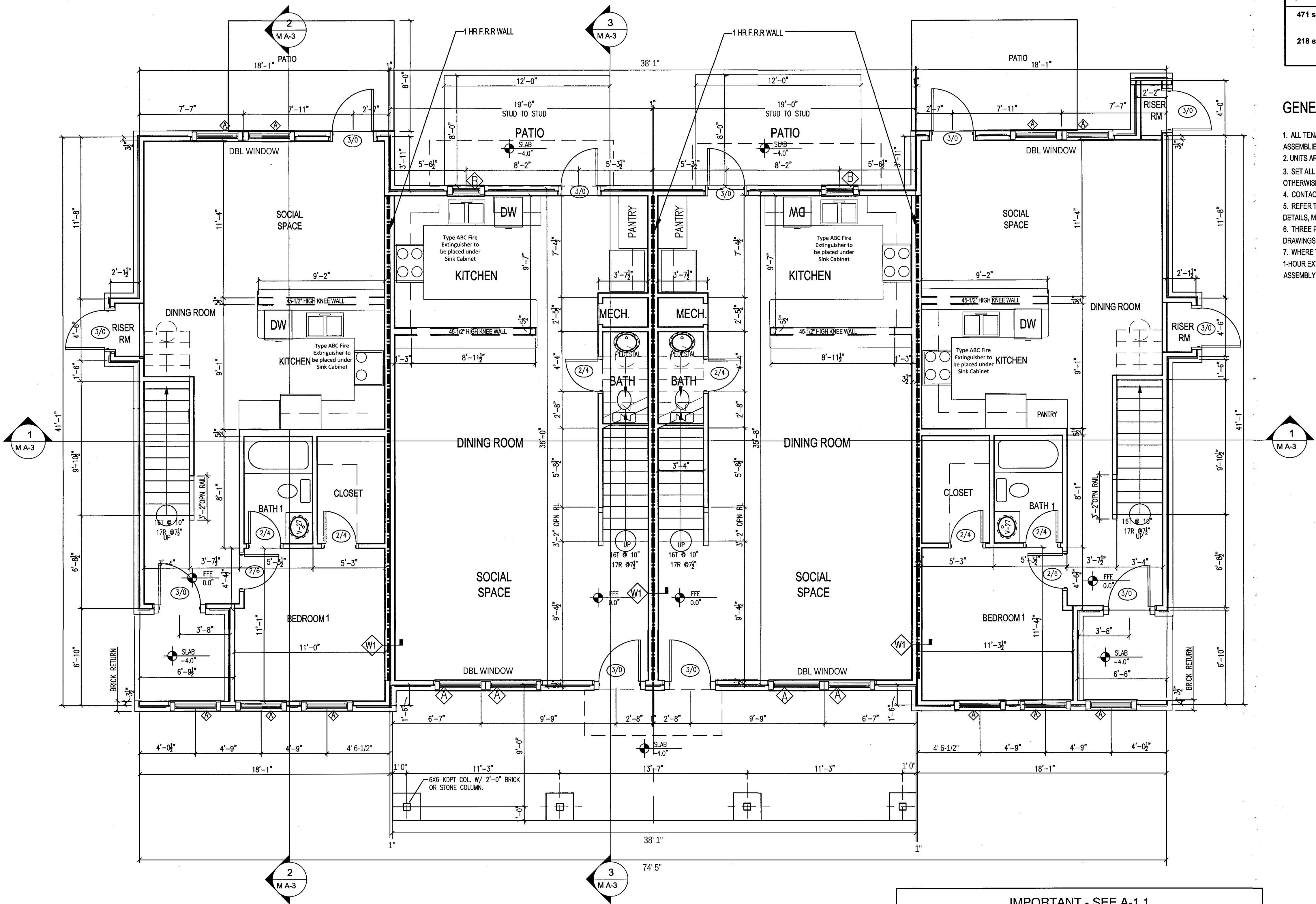
INTERIOR WALL TYPES:

REFER TO STRUCTURAL DRAWINGS FOR FRAMING SPECIFICS.

U.N.O.: 3 1/2" WOOD STUD WALL, BOTH SIDES FACED WITH ONE LAYER OF 1/2" GYP. BOARD.

W1 DOUBLE 5 1/2" WOOD STUD WALL, WITH 1" AIR SPACE. BOTH SIDES FACED WITH ONE SIDE OF 1/2" TYPE X GYP. BOARD.

W2 5 1/2" WOOD STUD WALL, BOTH SIDES OF STUD TO RECEIVE 1/2" OF GYP. BOARD.



1 FIRST FLOOR PLAN
1/4" = 1'-0"

IMPORTANT - SEE A-1.1
FRAMING NOTES, WOOD TRUSS NOTES,
STAIR / GUARDRAIL NOTES, WINDOW / EXT DOOR NOTES,
GENERAL NOTES

Unit 16 - The Milledge (4-Unit Bldg)			
(3BR 2-Story/4BR 3-Story/4BR 3-Story/ 3BR 2-Story)			
3BR End Units - Conditioned Area	1 st Floor		
698 SF	2 nd Floor		
651 SF			
1,349 SF	Total each 3BR End Unit		
x2	(2) 3BR End Units per 4-Unit Bldg		
2,698 SF	Sub-total 3BR End Units		
4BR Middle Units - Conditioned Area	1 st Floor		
678 SF	2 nd Floor		
678 SF	3 rd Floor		
2,034 SF	Total each 4BR Middle Unit		
x2	(2) 4BR Middle Units per 4-Unit Bldg		
4,068 SF	Sub-total 4BR Middle Units		
6,766 SF	Total Conditioned Area per 4-Unit Bldg		
471 sf	Total 1 st Floor Front Porches		
	(3BR End: 45 SF each Unit x 2 Units = 90 SF)		
	(4BR Middle: 381 SF Includes Both Units)		
218 sf	Total 2 nd Floor Front Porches		
	(3BR End: None)		
	(4BR Middle: 109 sf each Unit x 2 Units = 218 SF)		

GENERAL NOTES:

1. ALL TENANT SEPARATION SHALL BE 1 HR FIRE RATED BARRIERS. WALL ASSEMBLIES SHALL UTILIZE UL# U 341.
2. UNITS ARE FULLY SPRINKLED PER NFPA 13-R SYSTEMS.
3. SET ALL INTERIOR DOORS 4 1/2" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
4. CONTACT THE ARCHITECT PROMPTLY WITH DIMENSIONAL ISSUES.
5. REFER TO STRUCTURAL DRAWINGS AND TRUSS MANUF. DRAWINGS FOR DETAILS, MEMBER SIZING AND ALL FRAMING CONNECTIONS.
6. THREE POTENTIAL RISER ROOM LOCATIONS ARE SHOWN. REFER TO CIVIL DRAWINGS FOR ACTUAL RISER LOCATION ON EACH BUILDING.
7. WHERE THE SITE PLAN AND PLACEMENT OF ADJACENT BUILDINGS DICTATE A 1-HOUR EXTERIOR WALL ASSEMBLY, CONTRACTOR SHALL UTILIZE THE WALL ASSEMBLY AS DETAILED BELOW - IBC #15-1.16.

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3001 Taylor Springs Drive
Louisville, Kentucky 40220 (502) 459-8402

MECHANICAL ENGINEER:
Engineering Support Services
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Columbus, Ohio 43215 (614) 224-3331

ELECTRICAL ENGINEER:
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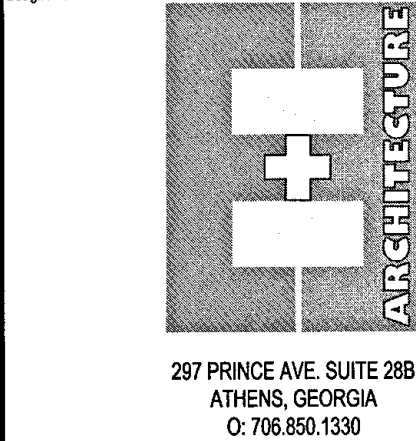
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THE RETREAT AT
STARKVILLE
STARKVILLE, MS
UNIT 16 THE MILLEDGE:
(2) 4-BED UNITS (2) 3-BED UNITS

COLLEGIATE
CONSTRUCTION, LLC
CONSTRUCTION OPERATIONS
1551 JENNINGS MILL ROAD, SUITE 2400A
WATKINSVILLE, GA 30677 | 706-355-9961

Seal:

	8.02.16	PLANS REVIEW SET (VE)
	10.4.16	FOR CONST
No.	Date	Issue Notes



297 PRINCE AVE. SUITE 288
ATHENS, GEORGIA
O: 706.850.1330

Drawing Title

FLOOR PLANS

Date	5.10.2016	Project Number	2016-11	Unit	16
CAD File Name	UNIT 16_2016_STARKVILLE.DWG				
Drawing Number					

MILLEDGE
A-1

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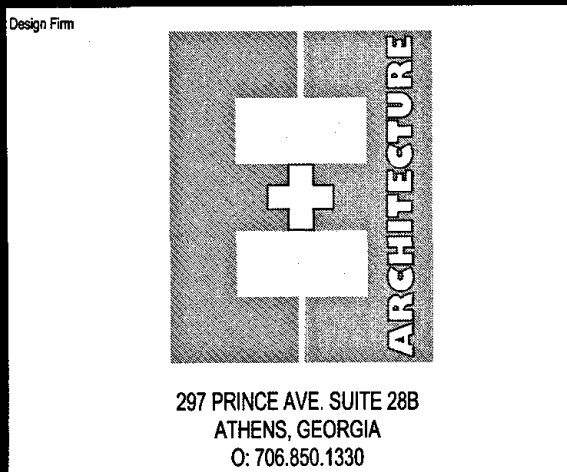
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130 East Chestnut Street, Suite 303
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Norcross, Georgia 30093 (770) 447-5547

**THE RETREAT AT
STARKVILLE**
STARKVILLE, MS
UNIT 16 THE MILLEDGE:
(2) 4-BED UNITS (2) 3-BED UNITS

**COLLEGIATE
CONSTRUCTION, LLC**
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Seal:

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No.	Date	Issue Notes



Drawing Title

**ELEVATION
VARIATIONS**

Date	5.10.2016	Project Number	Unit
CD/Rev Notes	AL UNIT 16 ELEV. 2016, STARKVILLE.DWG	2016-11	16

Drawing Number
**MILLEDGE
A-2**



1 FRONT ELEVATION
1/4" = 1'-0"

**ELEVATION
VARIATION A**



2 FRONT ELEVATION
1/4" = 1'-0"

**ELEVATION
VARIATION B**

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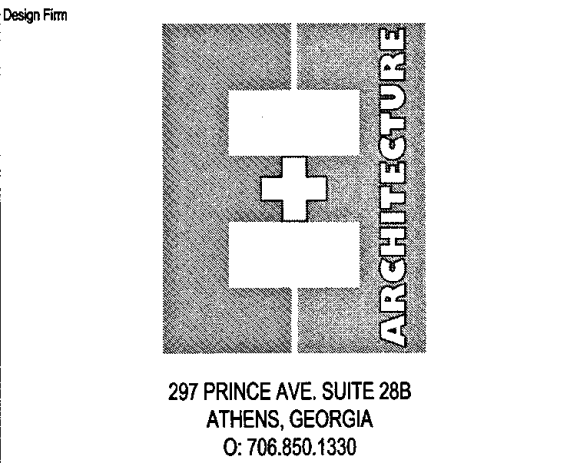
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**THE RETREAT AT
STARKVILLE**
STARKVILLE, MS
UNIT 16 THE MILLEDGE:
(2) 4-BED UNITS (2) 3-BED UNITS

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Seal:

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No.	Date	Issue Notes



**SIDE & REAR
ELEVATION
VARIATION A**

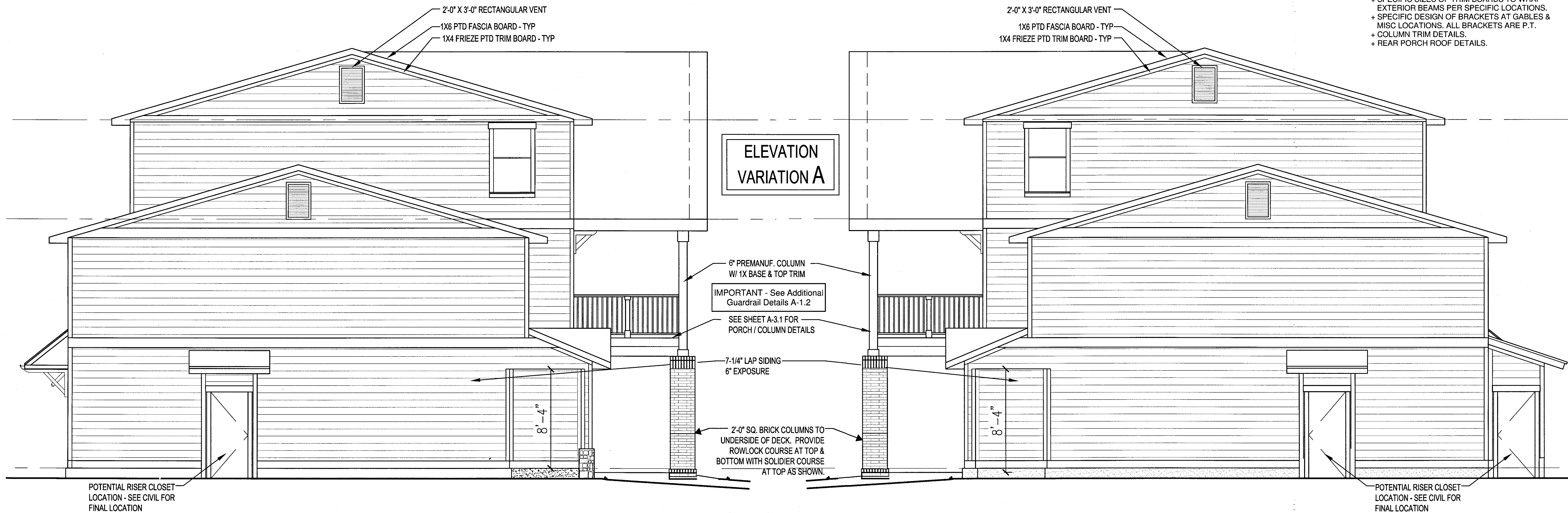
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CDP File Name	A-UNIT 16 ELEV_2016_STARKVILLE.DWG				

Drawing Number

MILLEDGE
A-2.1



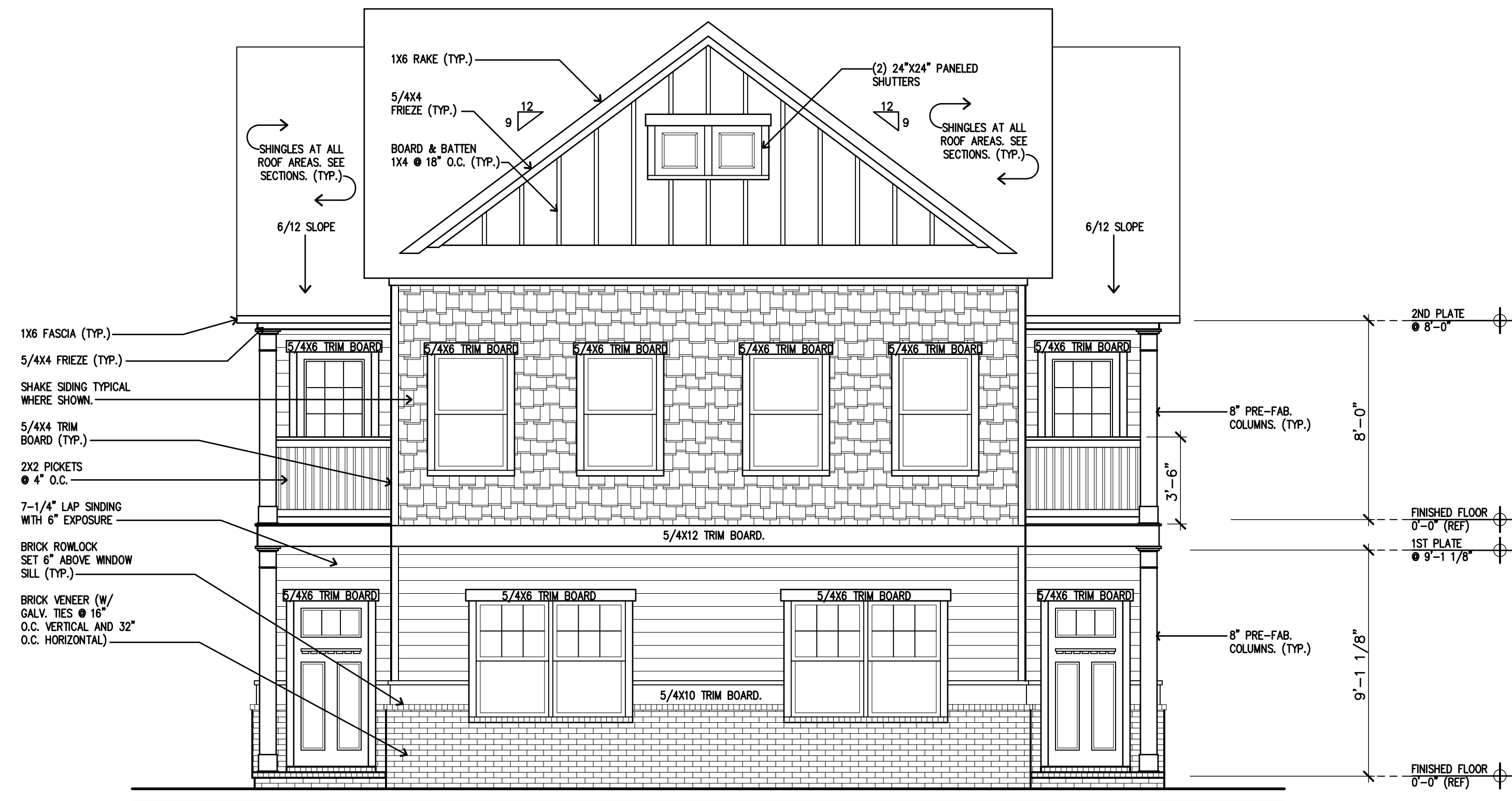
- EXTERIOR SIDING / TRIM NOTES:
1. ALL EXTERIOR SIDING/TRIM COMPONENTS TO BE NON-ROT, CEMENT-FIBER TYPE.
 2. CORNER BOARDS TO BE 5/4X4 & 5/4X6 PAIRED TOGETHER TO CREATE AN L-SHAPED CORNER, WITH 5/4X6 PLACED ON FRONT & REAR ELEVATIONS.
 3. WINDOW & DOOR TRIM TO BE 5/4X4 SIDES & BOTTOM, HEAD TRIM TO BE 5/4X6 EXTENDED 2".
 4. FASCIA TO BE 1X6, WITH EAVE DRIP FLASHING (4-1/2" WIDTH).
 5. FRIEZE BOARDS TO BE 1X4.
 6. SOFFITS TO BE 5/16" PANELS, PERFORATED AT EAVES.
 7. BOARD&BATTEN TO BE 5/16"x4" WIDE PANELS WITH 1X3 BATTENS 16" OC.
 8. PORCH CEILINGS TO BE 5/16"x4" WIDE PANELS WITH 1X3 BATTENS AT JOINTS & PERIMETER.
 9. COORDINATE WITH GENERAL CONTRACTOR FOR FLASHING PROFILES TO BE USED AT ALL LOCATIONS.
 10. COORDINATE WITH GENERAL CONTRACTOR FOR THE FOLLOWING DETAILS:
 - + SPECIFIC SIZES OF TRIM BOARDS TO WRAP EXTERIOR BEAMS PER SPECIFIC LOCATIONS.
 - + SPECIFIC DESIGN OF BRACKETS AT GABLES & MISC LOCATIONS. ALL BRACKETS ARE P.T.
 - + COLUMN TRIM DETAILS.
 - + REAR PORCH ROOF DETAILS.



The Milledge

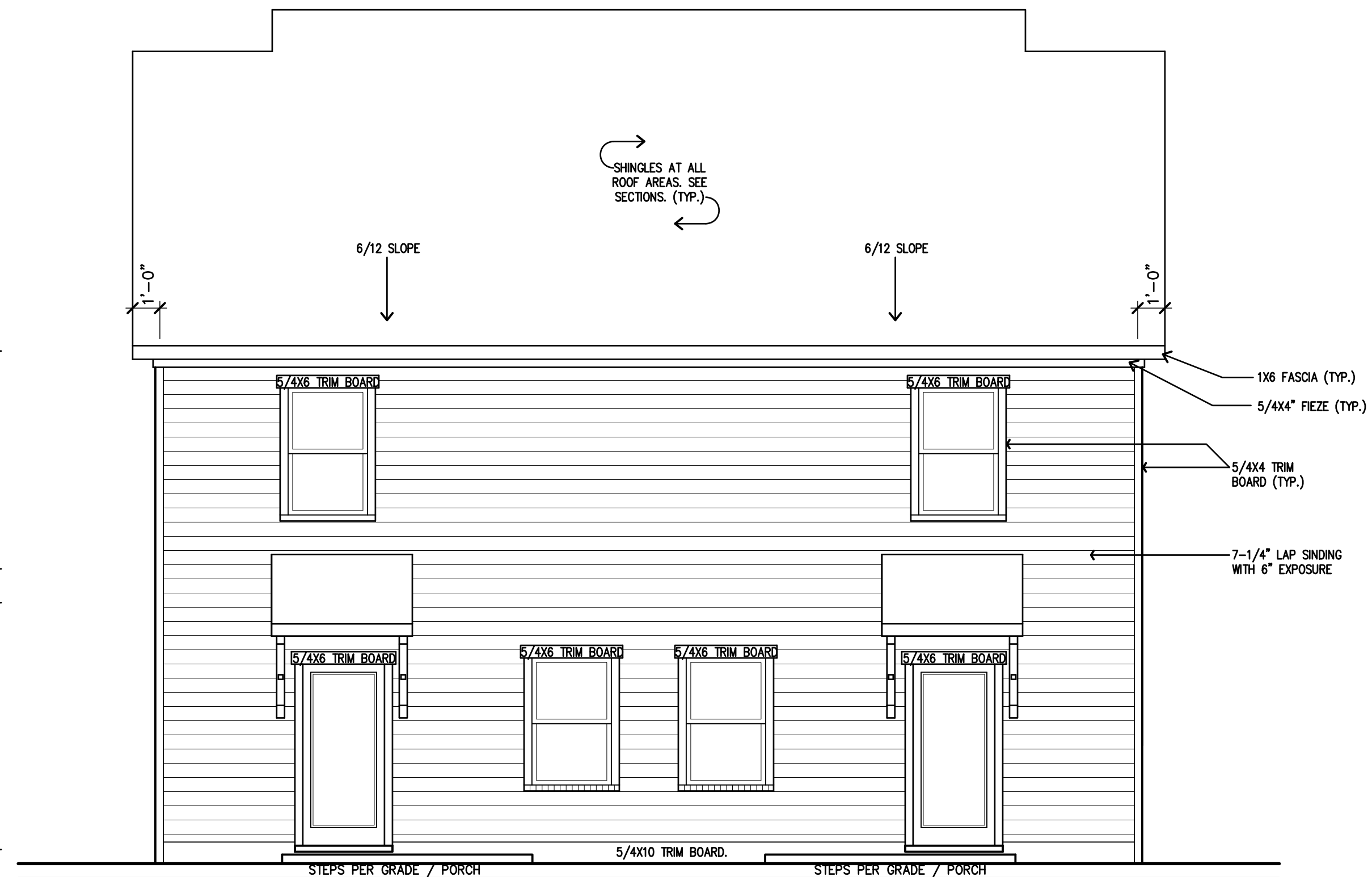


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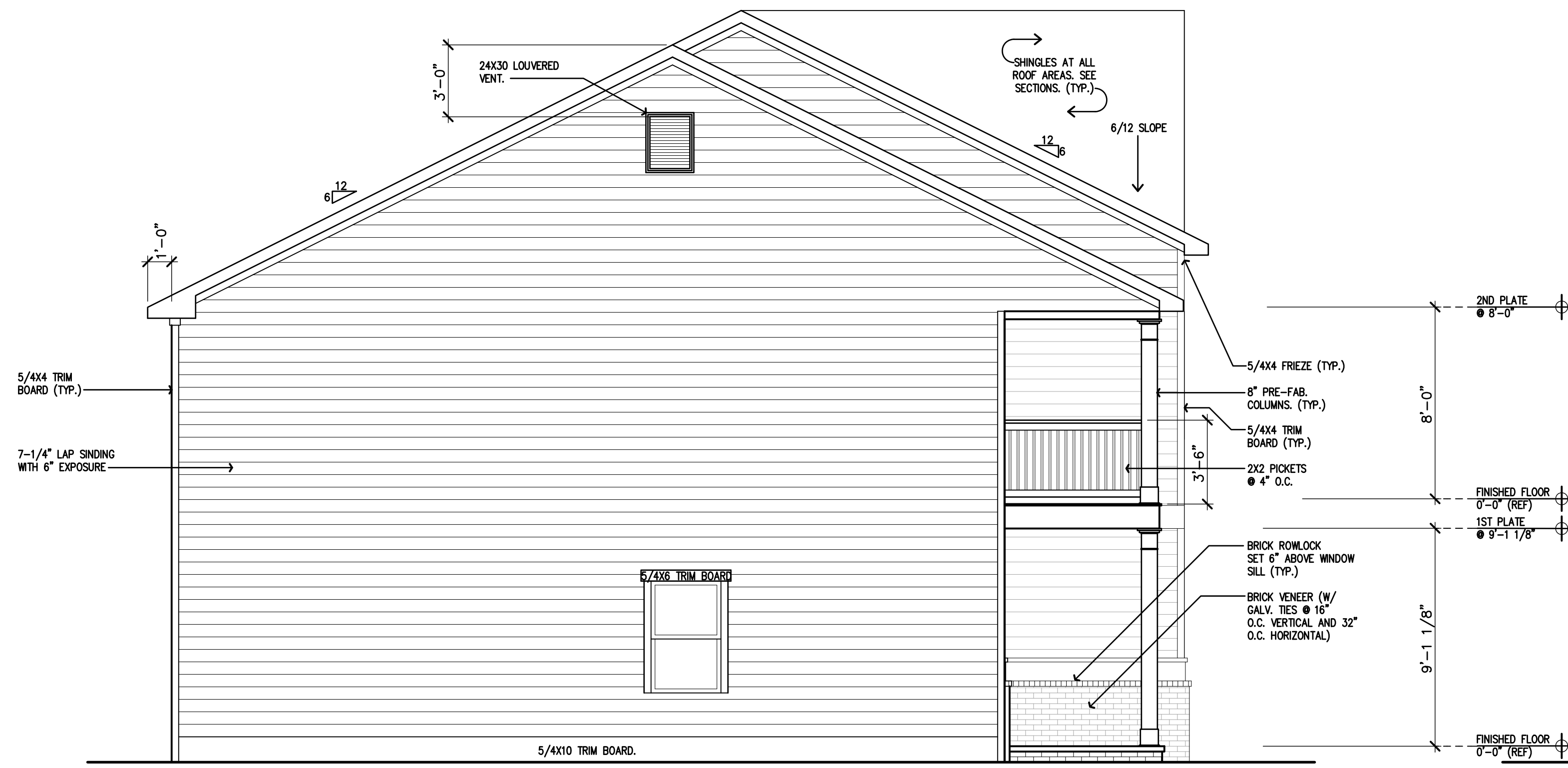
FRONT ELEVATION - A
THE OAKVIEW

SCALE: 1/4" = 1'-0"



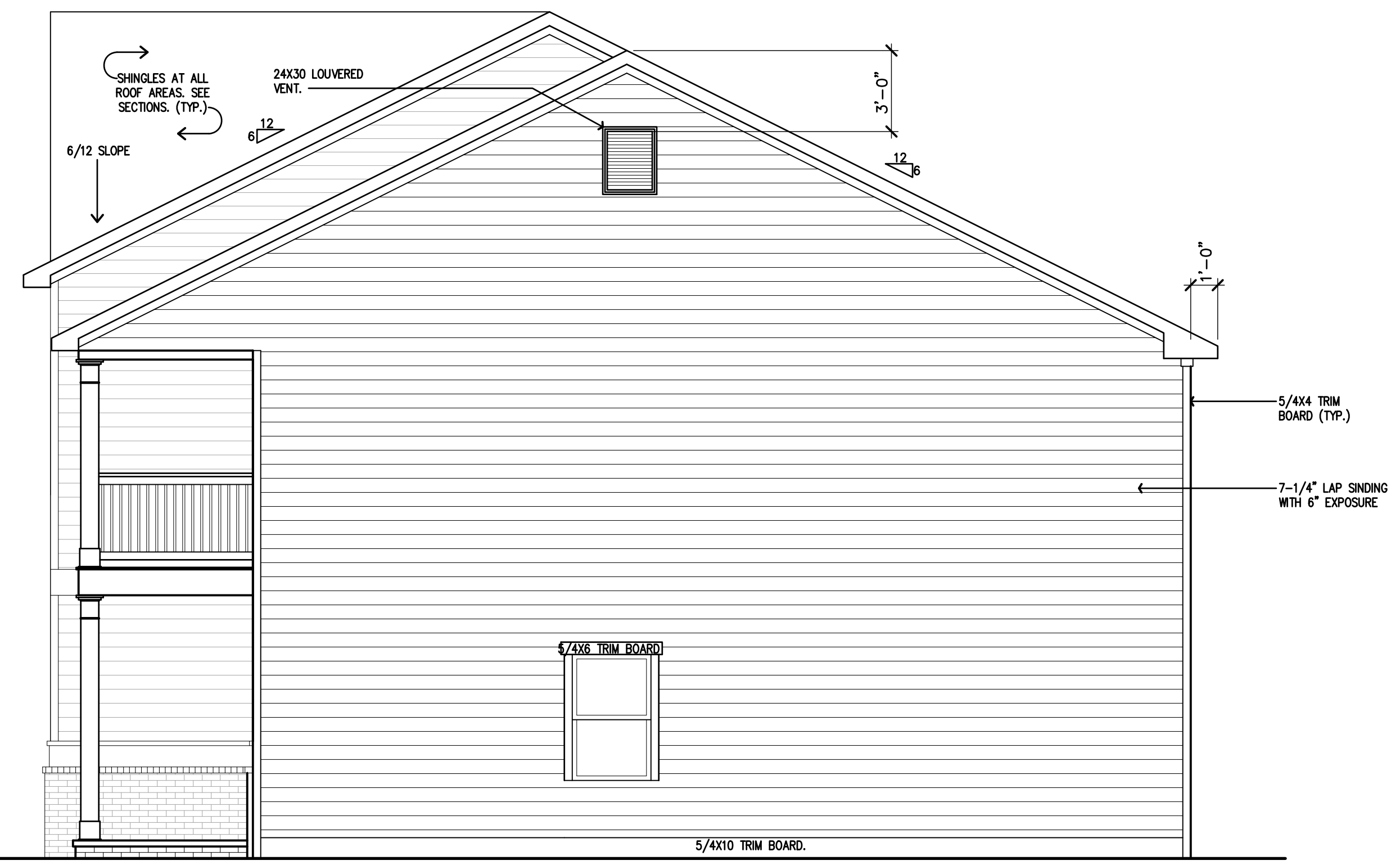
REAR ELEVATION - A
THE OAKVIEW

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION - A
THE OAKVIEW

SCALE: 1/4" = 1'-0"



LEFT ELEVATION - A
THE OAKVIEW

SCALE: 1/4" = 1'-0"

THE RETREAT - TAMPA
THE OAKVIEW - BUILDING TYPE: TAMPA, FLORIDA

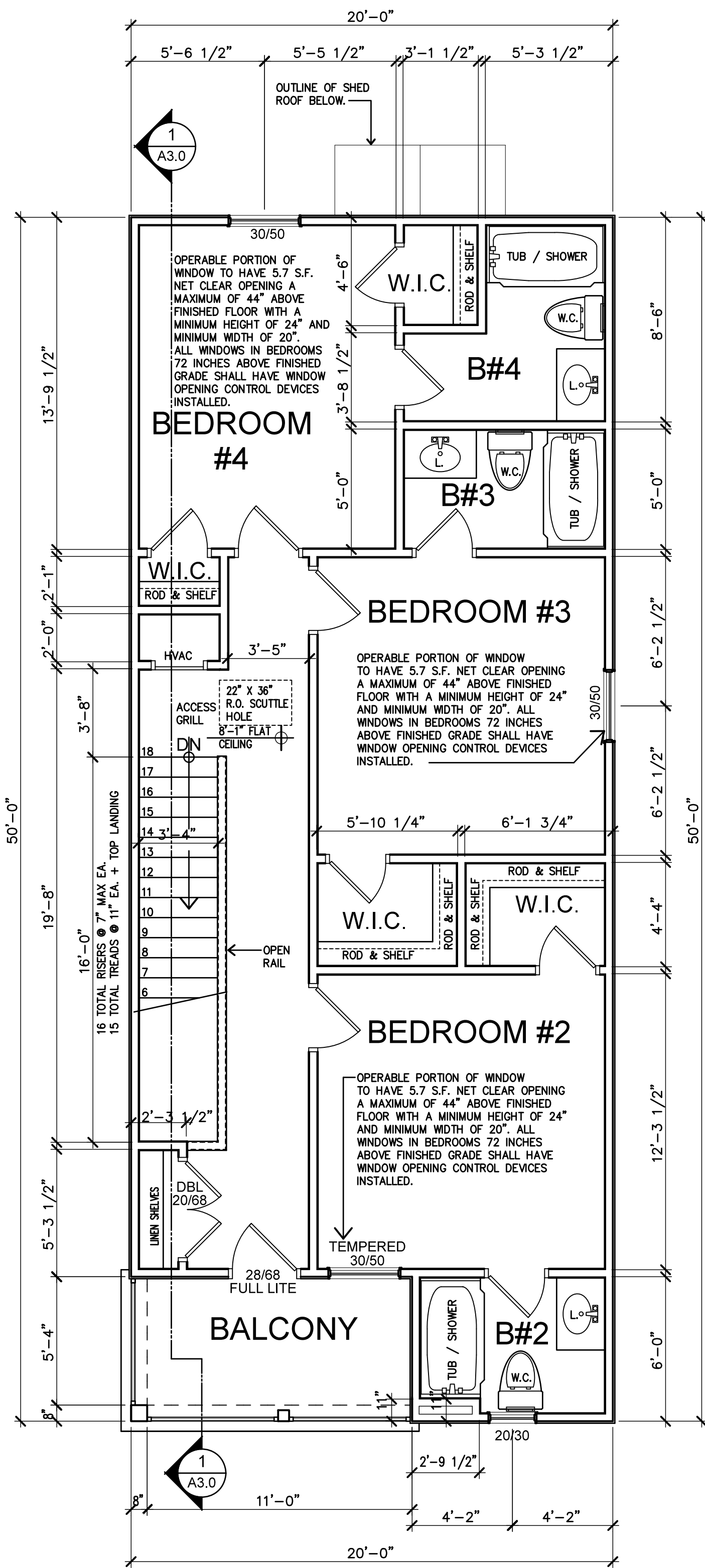
EXTERIOR ELEVATIONS



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JOB NO.	15-227 Z
DATE	
SHEET NUMBER	26-A3.0

The Oakview





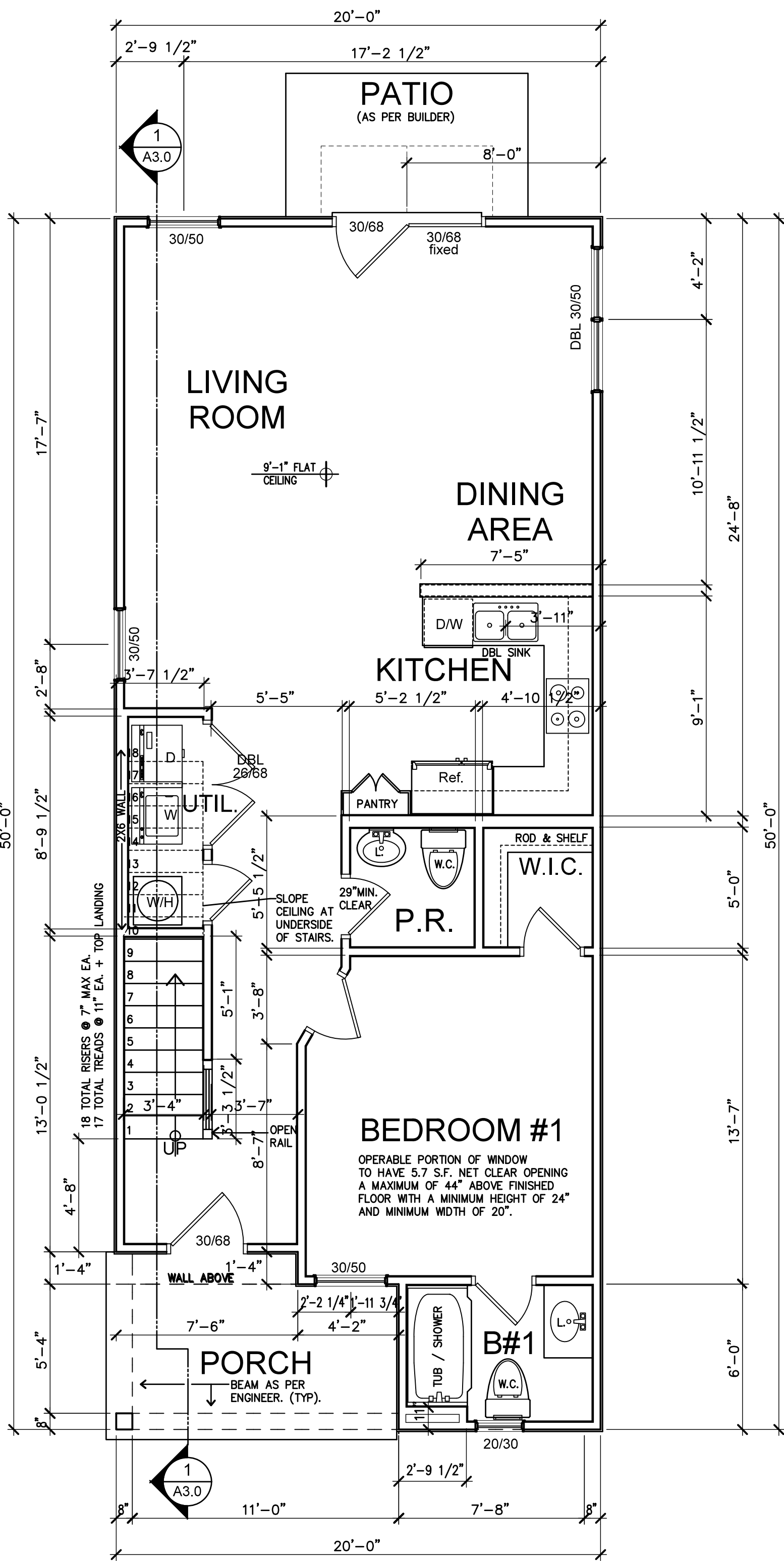
2ND FLOOR PLAN
THE SPRINGMORE
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- NOTE:** CONTRACTOR / OWNER TO PROVIDE ADDITIONAL ENGINEERING AND WIND LOAD ANALYSIS TO BUILDING DEPARTMENT AS REQ'D.
- NOTE:** SEE EXTERIOR ELEVATIONS FOR DOOR AND WINDOW STYLES. INTERIOR DOORS AS NOTED. STYLE AND FINISH AS PER OWNER. ALL BEDROOM DOORS SHALL BE 2'-8" x 6'-8" OR AS NOTED. ALL BATHROOM DOORS SHALL BE 2'-6"x6'-8" OR AS NOTED. ALL CLOSET DOORS SHALL BE 2'-4"x6'-8" OR AS NOTED.
- NOTE:** ALL INTERIOR DIMENSIONS ON DIMENSIONED FLOOR PLAN ARE TO THE FACE OF STUDS UNLESS OTHERWISE INDICATED.
- NOTE:** ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD WALL FRAMING UNLESS OTHERWISE INDICATED.
- NOTE:** ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF STUD WALL FRAMING UNLESS OTHERWISE INDICATED.

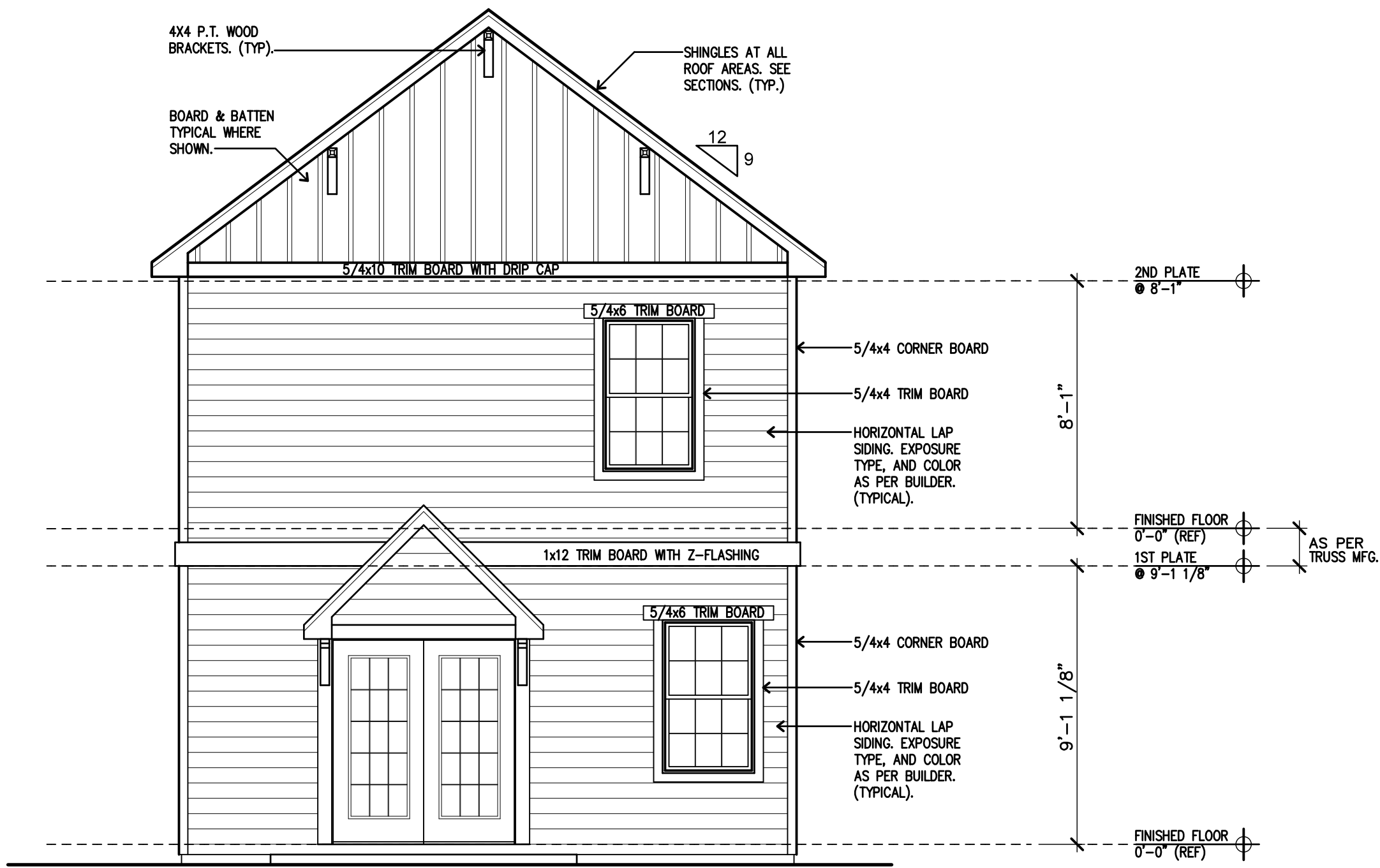
WALL NOTES

- 2x4 WOOD STUDS AT 16" O.C. WITH 1 LAYER OF 1/2" G.W.B. ON EACH SIDE AT INTERIOR LOCATIONS. SEE WALL SECTIONS.

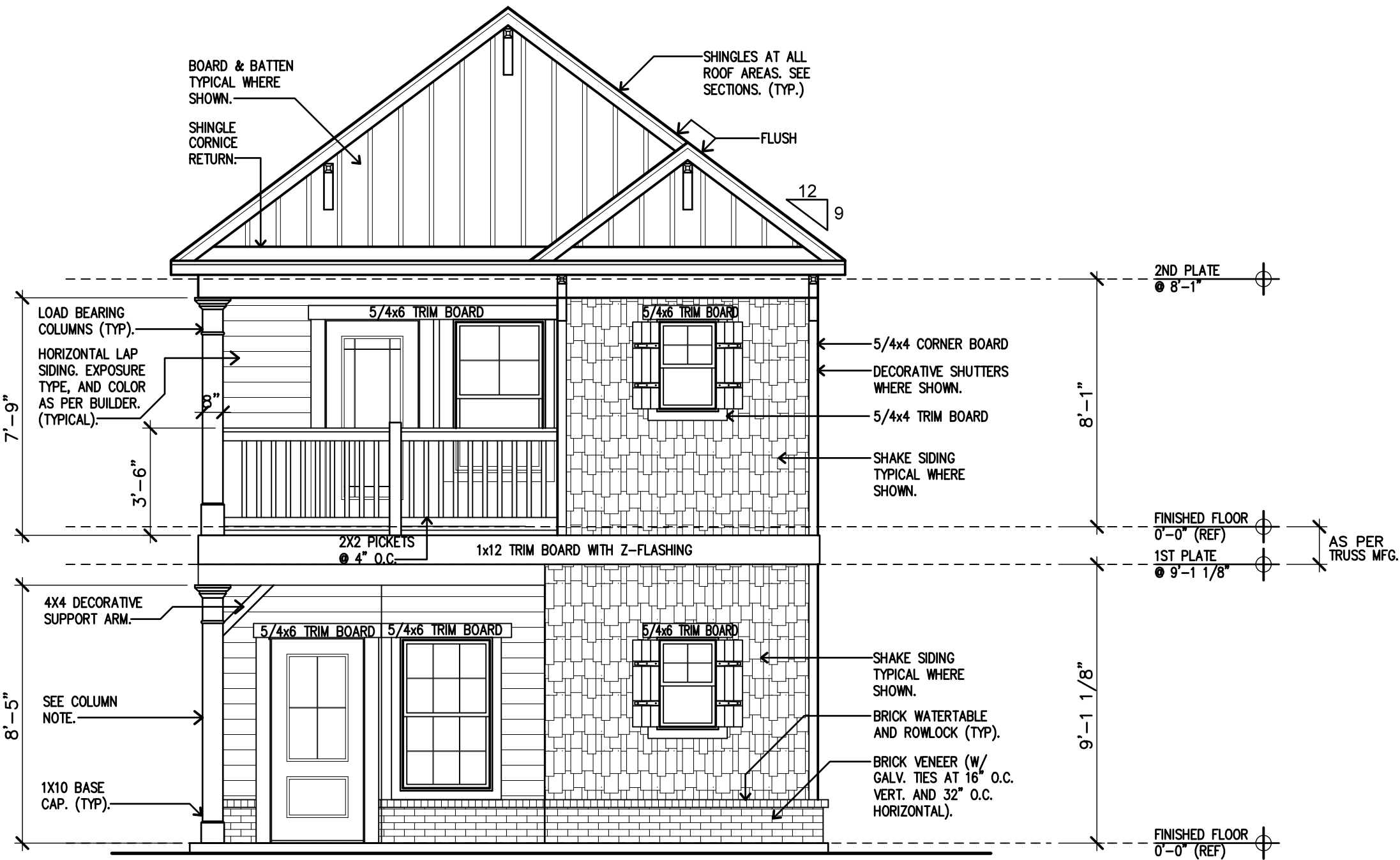


1ST FLOOR PLAN
THE SPRINGMORE
SCALE: 1/4" = 1'-0"

- NOTE:** ALL COLUMNS AND BRACKETS WILL BE DETERMINED ON SITE AND SHALL BE A MINIMUM OF 4X4 KDPT. FASTENED TO CONCRETE DECK WITH SIMPSON HARDWARE AS PER WIND LOAD ANALYSIS.
- NOTE:** REAR PATIO SHALL BE AS PER BUILDER AND WITH STEPS TO GRADE. PATIO AND STEPS SHALL BE CONSTRUCTED AS PER CODES LISTED ON COVERSHEET.
- NOTE:** ALL LOAD BEARING HEADERS SHALL BE A MINIMUM OF DOUBLE 2X10 ALL NONLOAD BEARING HEADERS SHALL BE A MINIMUM OF DOUBLE 2X4. ALL HEADERS THAT EXCEED ALLOWABLE SPANS AS PER CODE SHALL BE LVL AS ENGINEERED.
- NOTE:** ALL CONSTRUCTION SHALL BE AS PER CODES STATED ON THE COVER SHEET.
- NOTE:** ALL BUILDING SHALL HAVE A MINIMUM 6" ADDRESS NUMBER PLAINLY VISIBLE FROM STREET OR OTHER ELEVATION AND CONTRAST WITH BACKGROUND.
- NOTE:** FLOOR SURFACE ON BOTH SIDES OF THE DOOR SHALL NOT VARY MORE THAN 1/2" FOR A DISTANCE NOT LESS THAN THE WIDTH OF THE WIDEST LEAF. SEE FOUNDATION PLAN.
- NOTE:** EACH UNIT SHALL HAVE A MINIMUM OF ONE TYPE 2A 10B/C FIRE EXTINGUISHER LOCATED UNDER KITCHEN SINK OR OTHER NORMAL PATHS OF TRAVEL INCLUDING EXITS FROM AREAS.



REAR ELEVATION
THE SPRINGMORE
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
THE SPRINGMORE
SCALE: 1/4" = 1'-0"

THE RETREAT - TAMPA
THE SPRINGMORE BUILDING TYPE. TAMPA, FLORIDA

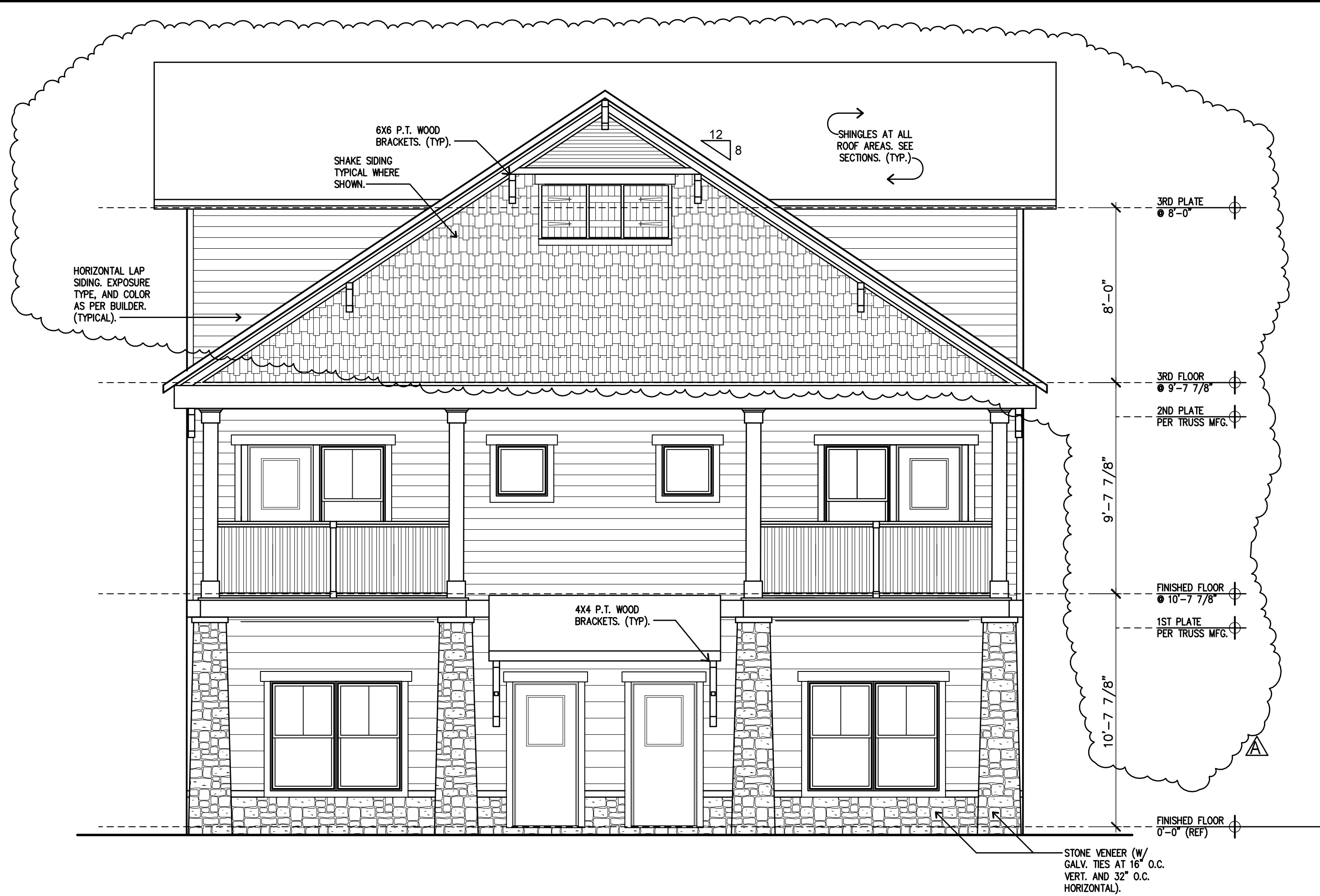
FLOOR PLANS / EXTERIOR ELEVATIONS



DATE	APRIL 21, 2016
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SHEET NUMBER	8-A1.0

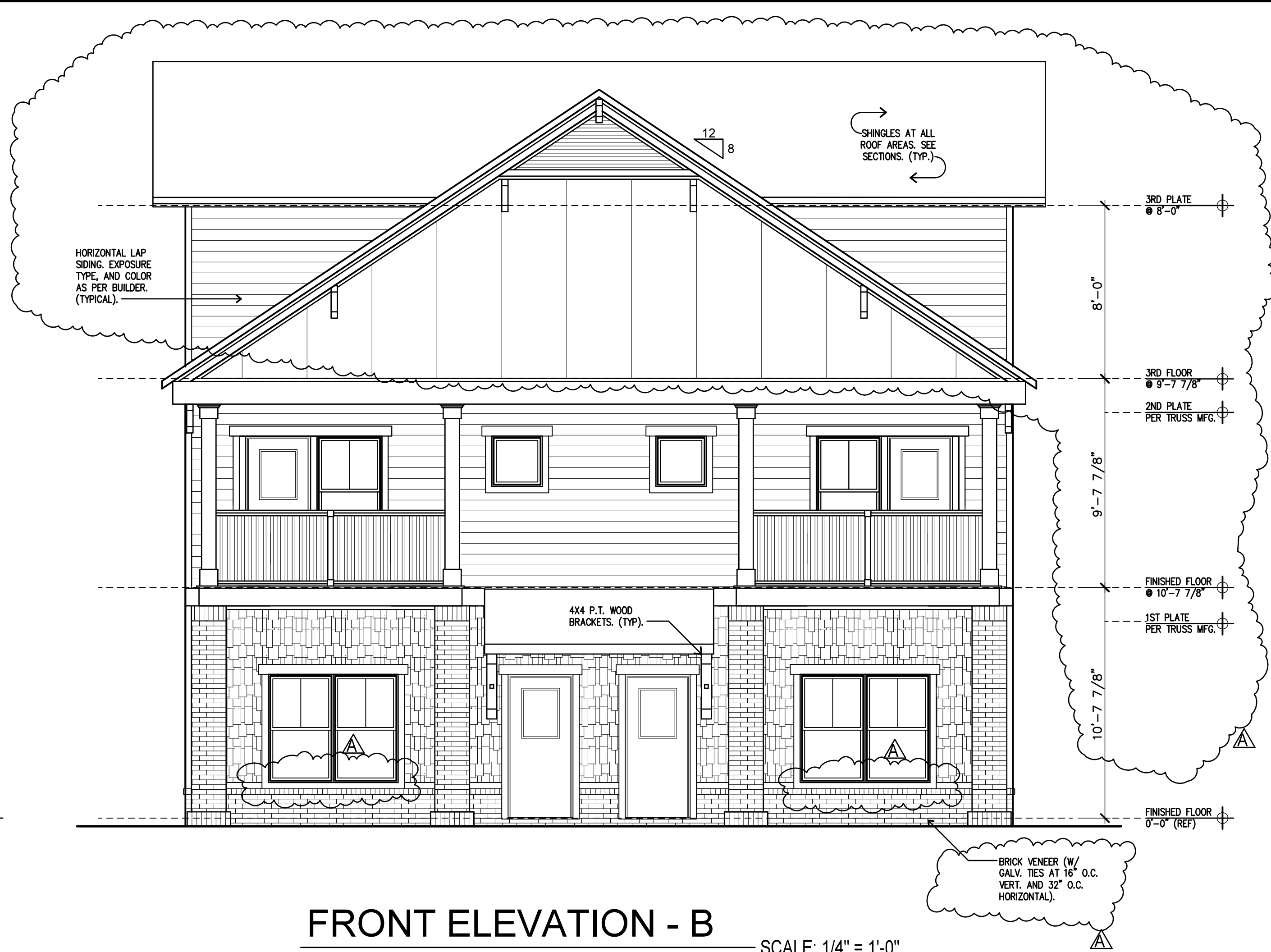
The Springmore





FRONT ELEVATION - A
THE STAFFORD

SCALE: 1/4" = 1'-0"



FRONT ELEVATION - B
THE STAFFORD

SCALE: 1/4" = 1'-0"



FRONT ELEVATION - C
THE STAFFORD

SCALE: 1/4" = 1'-0"

THE RETREAT - TAMPA
THE STAFFORD BUILDING TYPE. TAMPA, FLORIDA

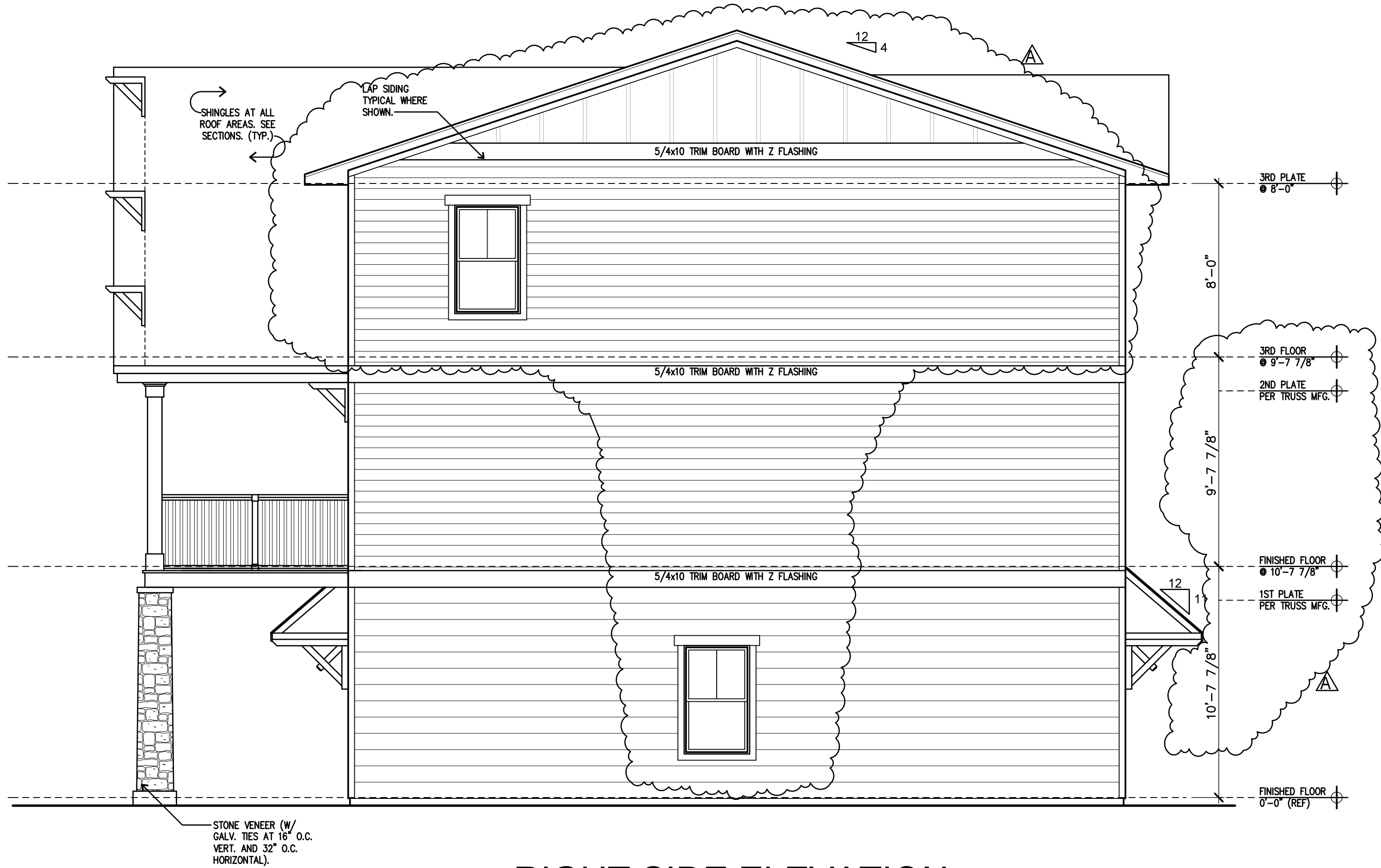
EXTERIOR ELEVATIONS



DATE: JUNE 05, 2015
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REVISED:
MARCH 24, 2016 (CITY OF TAMPA)
MARCH 30, 2016 (CLIENT REVISION)

JOB NO.: 15-227 O

DATE: SHEET NUMBER: 15-A2.0



RIGHT SIDE ELEVATION

THE STAFFORD

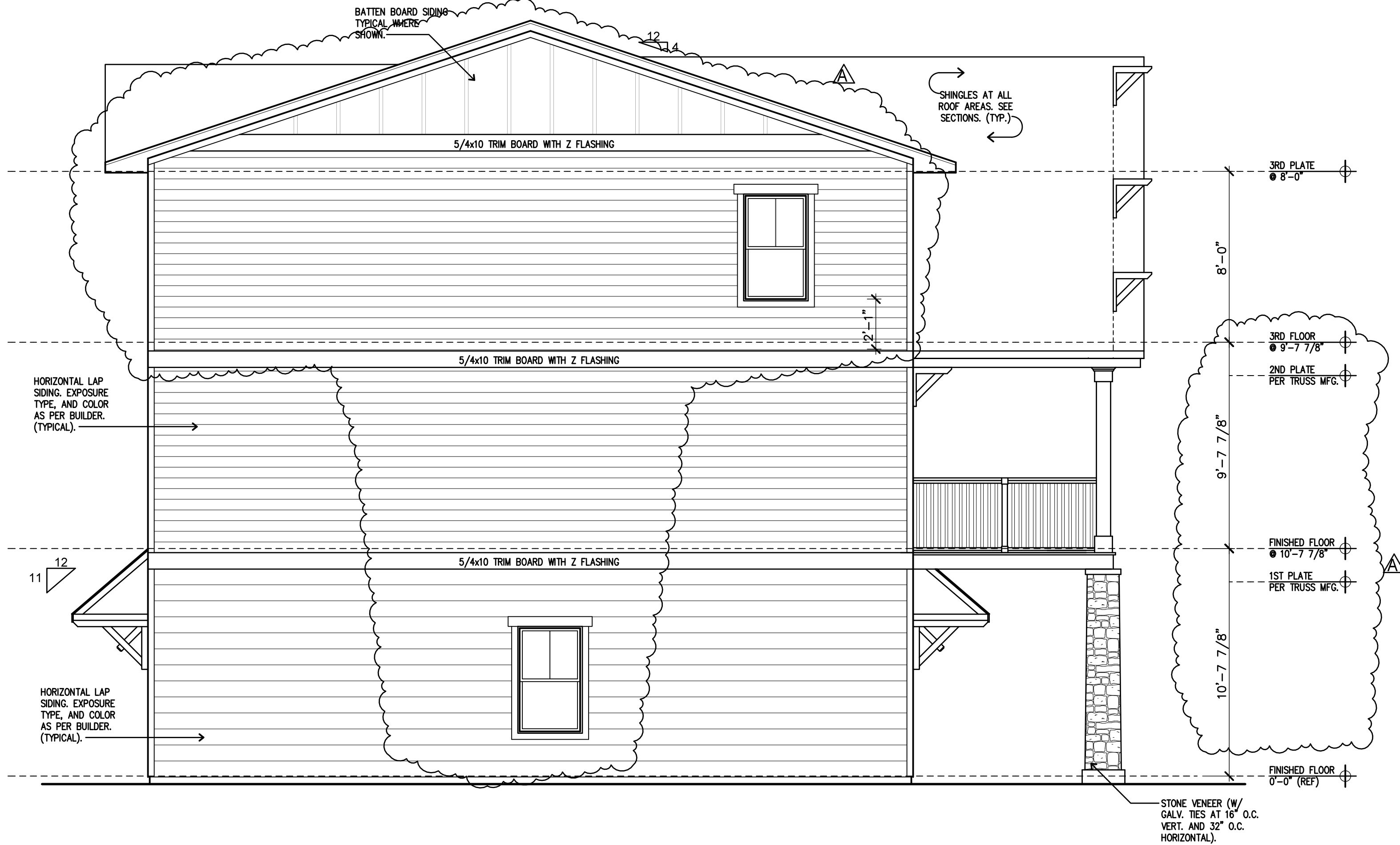
SCALE: 1/4" = 1'-0"



REAR ELEVATION

THE STAFFORD

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

THE STAFFORD

SCALE: 1/4" = 1'-0"

THE RETREAT - TAMPA
THE STAFFORD BUILDING TYPE. TAMPA, FLORIDA

EXTERIOR ELEVATIONS



DATE JUNE 05, 2015
DRAWN BY B.H.
REVISED
MARCH 24, 2016 (CITY OF TAMPA)
MARCH 30, 2016 (CLIENT REVISION)

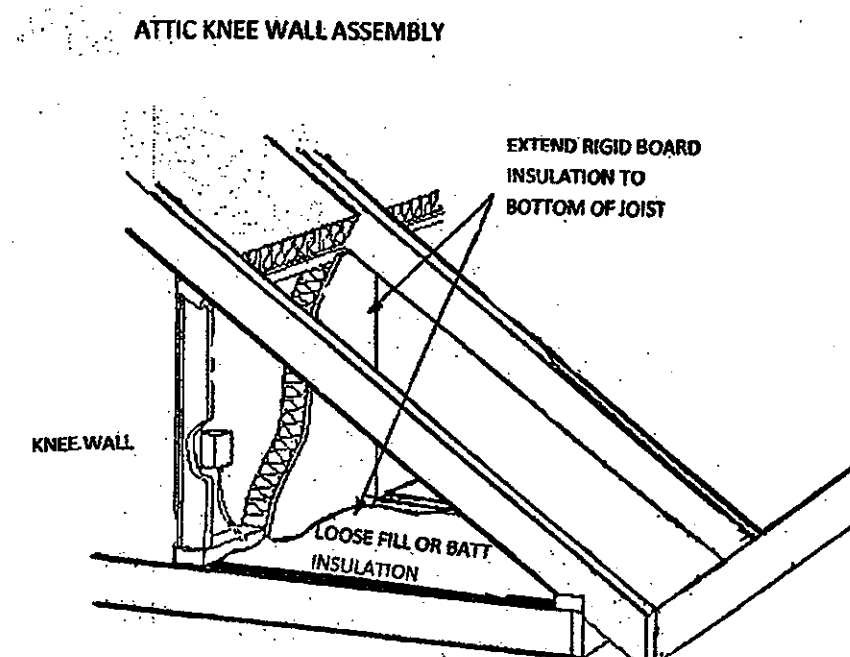
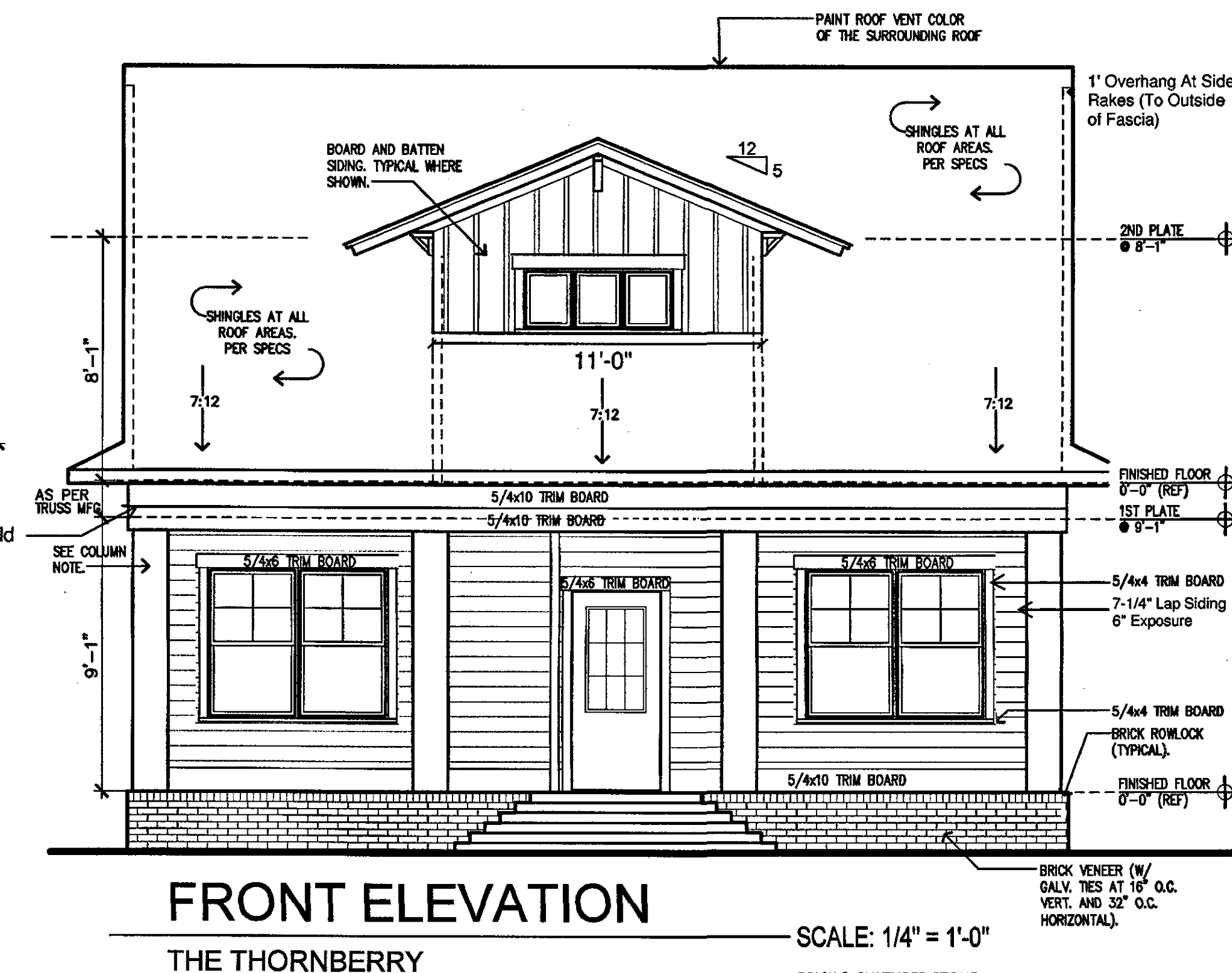
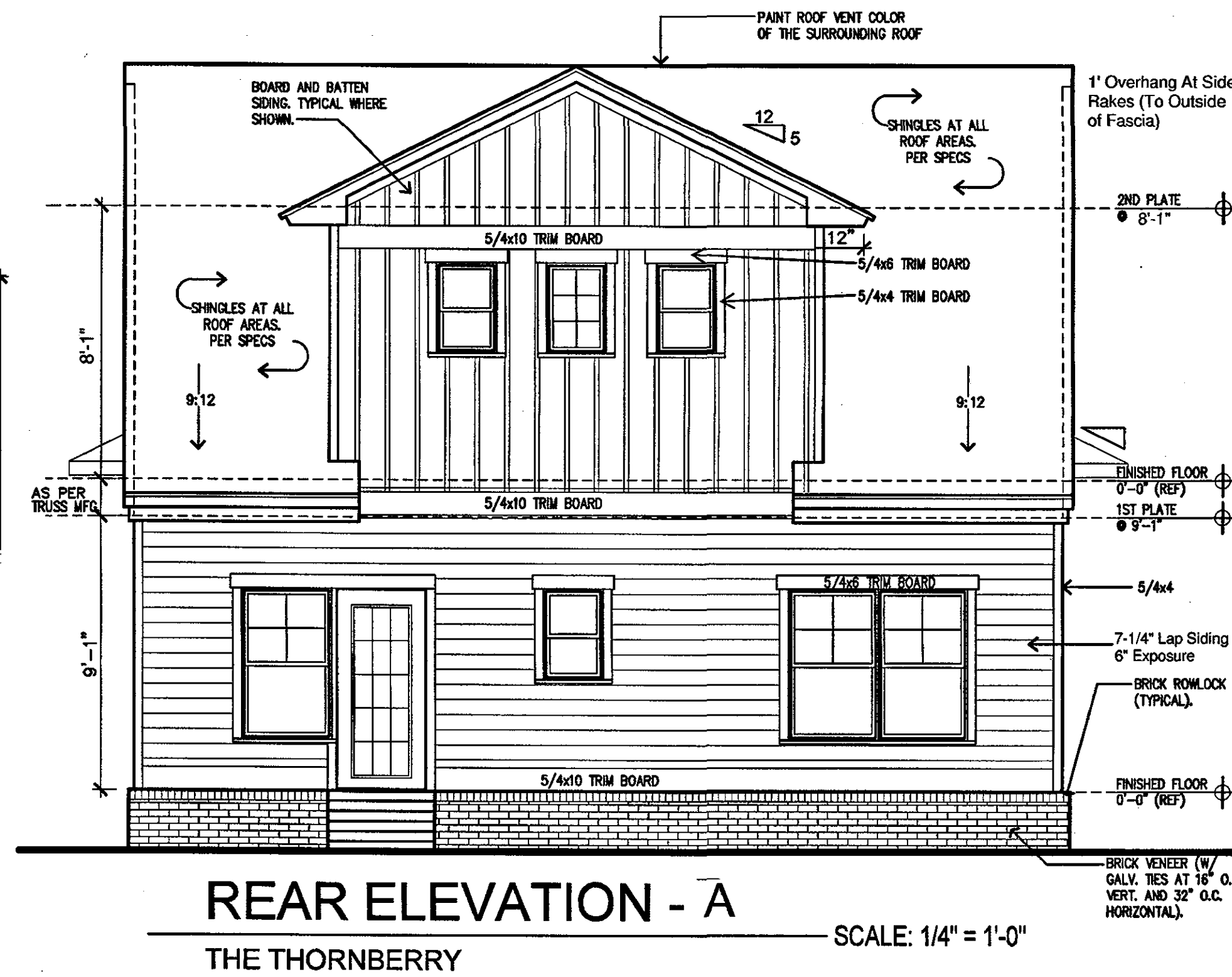
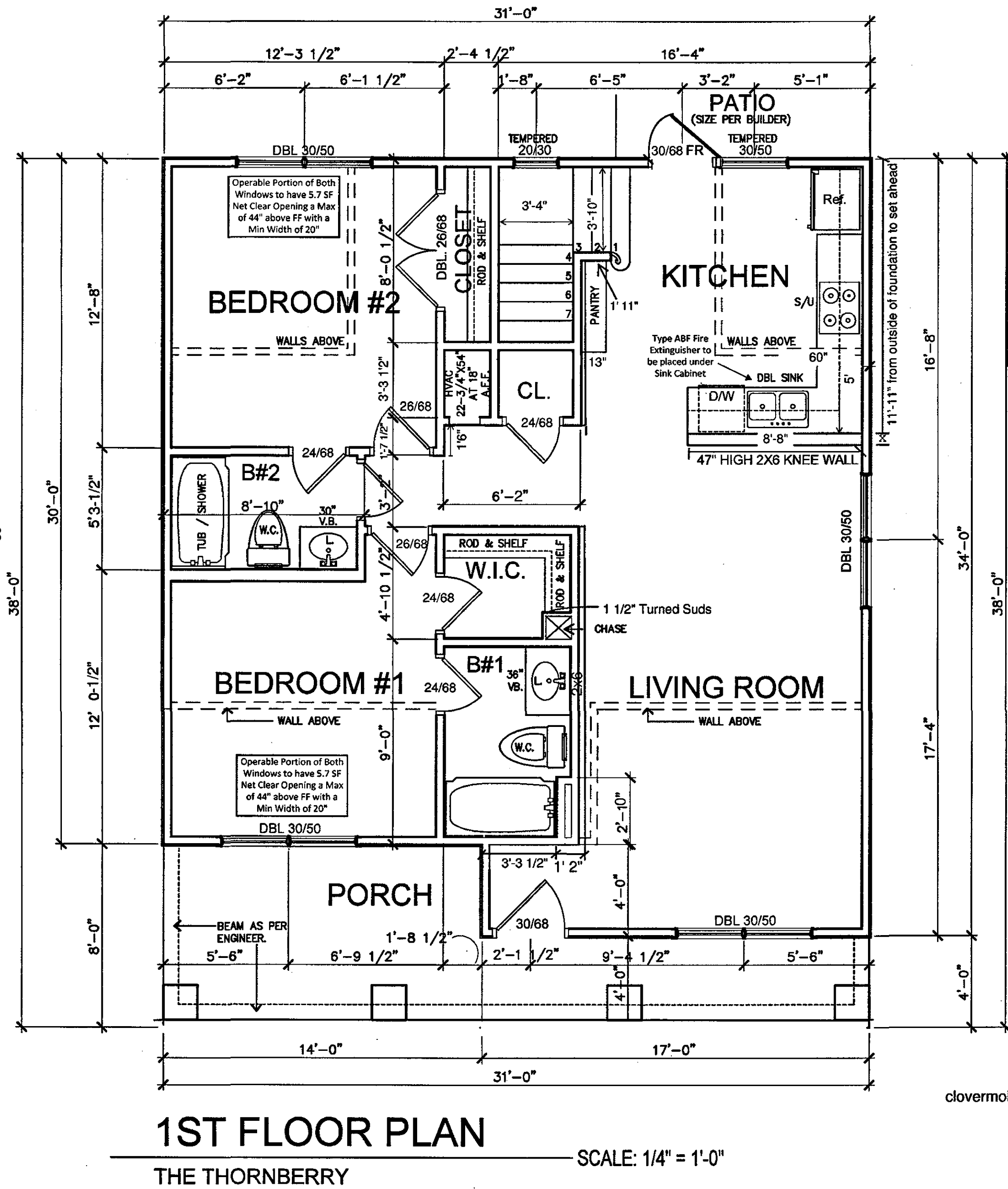
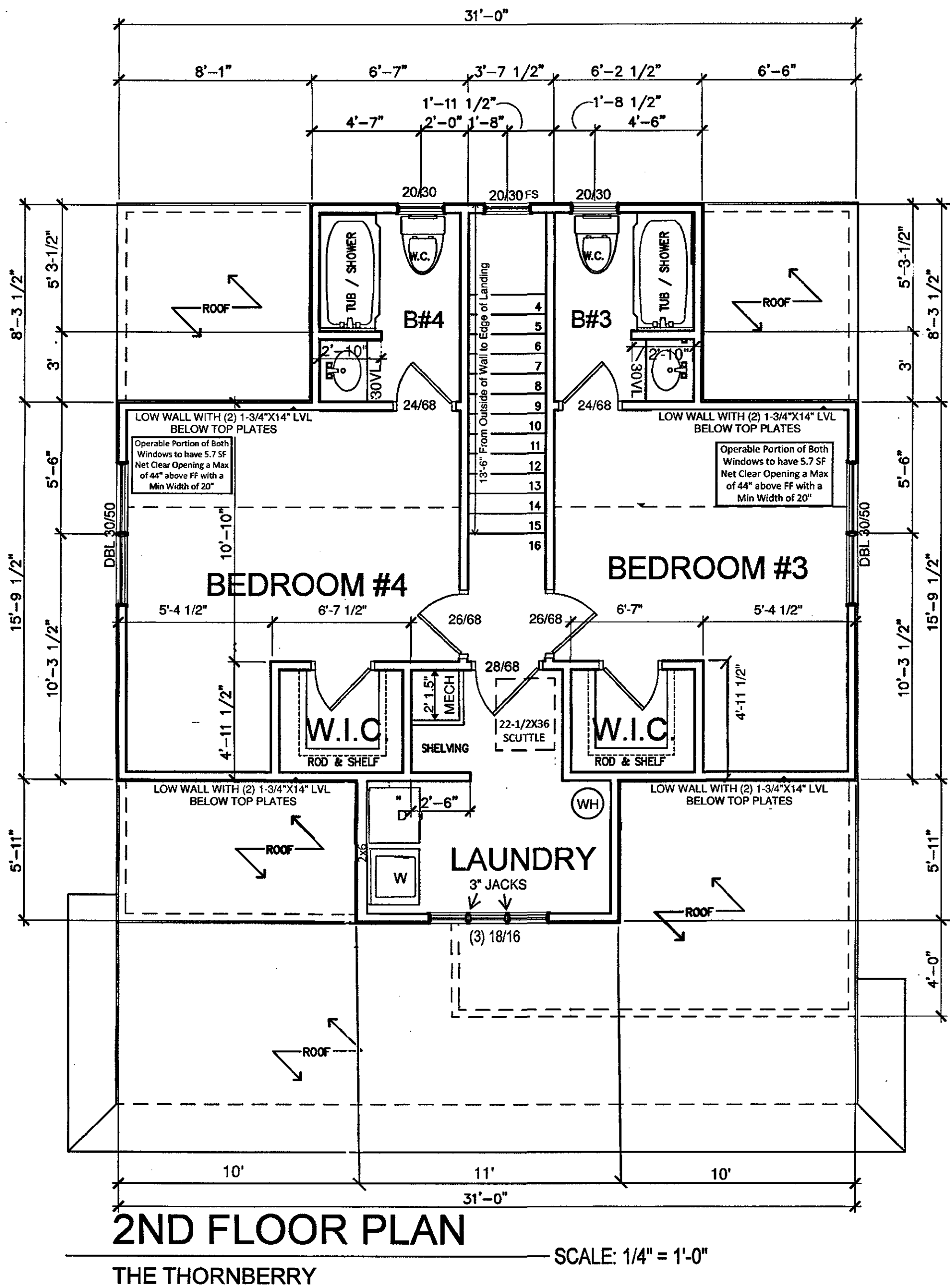
JOB NO. 15-227 O

DATE
SHEET NUMBER 15-A2.1

The Stafford



Note
All Window & Door
Headers are 83 " Tall



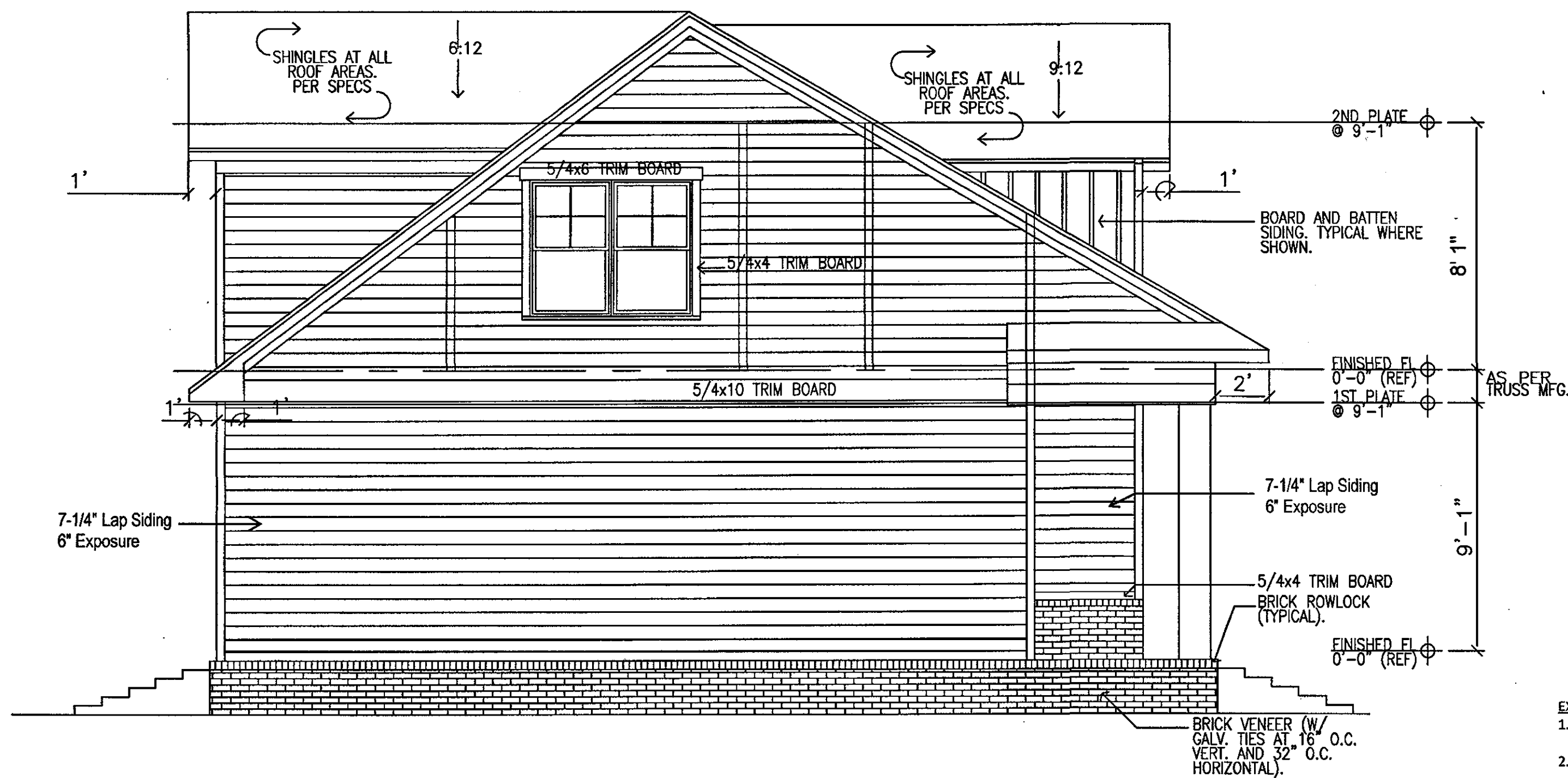
The Retreat - Unit Type #2	
The Thornberry	
SQUARE FOOTAGES	
S.F. - Conditioned Area	
1st Floor (Conditioned)	998 S.F.
2nd Floor (Conditioned)	691 S.F.
Total (Conditioned)	1,689 S.F.
S.F. - Front Porch	180 S.F.

- FRAMING NOTES:**
- 2X6 WALLS TO BE 2X6 WOOD STUDS AT 16" O.C. WITH DOUBLE TOP PLATE, SINGLE BOTTOM PLATE.
 - 2X4 WALLS TO BE 2X4 WOOD STUDS AT 16" O.C. WITH DOUBLE TOP PLATE, SINGLE BOTTOM PLATE.
 - ALL STUDS TO BE SPF 'STUD GRADE' OR BETTER.
 - ALL PLATES TO BE #2 YP, BOTTOM PLATES ON CONCRETE TO BE PRESSURE TREATED.
 - U.N.O. STUD LENGTHS TO BE 9' PRE-CUT AT 1ST FLOOR, 8' PRE-CUT AT FLOORS ABOVE 1ST FLOOR.
 - ALL PLATES & JACKS ARE TO BE ORDERED AS 14' LENGTH MATERIAL (#2 YP), JACKS ARE TO BE CUT FROM SAME 14' LENGTH MATERIAL AS PLATES.
 - CORNER FRAMING, DEADWOOD, TRUSS BRACING, ETC TO BE ORDERED AS 2X4 #3 SPF, 16' LENGTHS.
 - LOAD BEARING HEADERS TO BE PER ENGINEERED STRUCTURAL PLANS, MINIMUM DBL 2X10 IF STRUCTURAL PLANS SHOW A SMALLER SIZE, NON LOAD BEARING HEADERS TO BE SINGLE FLAT 2X4. ALL JACKS, STUDS, ETC THAT SUPPORT HEADERS, BEAMS, POINT LOADING, ETC MUST BE CARRIED THROUGH CONTINUOUS TO THE FOUNDATION WITH A MINIMUM OF 2 STUDS, OR THE CORRESPONDING NUMBER OF STUDS AS APPLICABLE. ENGINEERED STRUCTURAL PLANS TAKE PRECEDENCE - IF THERE ARE ANY CONFLICTS CONTACT THE GENERAL CONTRACTOR.
 - WOOD FLOOR AND ROOF TRUSSES, BEAMS SUPPORTING TRUSSES, TO BE DESIGNED BY STATE LICENSED ENGINEER OR STATE AUTHORIZED TRUSS MANUFACTURING COMPANY. ENGINEERED TRUSS DRAWINGS TO BE SUBMITTED TO BUILDING INSPECTION DEPT.
 - 'STICK FRAMED' COMPONENTS, WHEN NEEDED, TO BE SIZED AND SPACED PER IRC-CURRENT VERSION MINIMUM. ENGINEERED STRUCTURAL PLANS TAKE PRECEDENCE - IF THERE ARE ANY CONFLICTS CONTACT THE GENERAL CONTRACTOR.
 - EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB. ALL EDGES TO HAVE SOLID BLOCKING. PANEL EDGES TO HAVE MIN 6d NAILS AT 6" O.C. FIELD AREA TO HAVE MIN 6d NAILS AT 12" O.C.
 - MINIMUM UPLIFT REQUIREMENTS - EXTERIOR WALLS TO BE ANCHORED TO FOUNDATION WITH SIMPSON MAB5 STRAPS @ 3' MAX SPACING. EXTERIOR WALL SHEATHING TO BE INSTALLED TO SPAN ACROSS FLOOR TRUSSES, NAILING INTO TOP PLATE OF WALL BELOW AND BOTTOM PLATE OF WALL ABOVE, TYING THE 2 WALLS ACROSS THE FLOOR TRUSSES. SIMPSON H2.5 HURRICANE CLIPS TO BE INSTALLED AT EACH ROOF TRUSS TO TOP PLATE CONNECTION. ENGINEERED STRUCTURAL PLANS TAKE PRECEDENCE - IF THERE ARE ANY CONFLICTS CONTACT THE GENERAL CONTRACTOR.
 - ROOF TO BE SHEATHED WITH 7/16" OSB. PANEL EDGES TO HAVE MIN 8d NAILS AT 6" O.C. FIELD AREA TO HAVE MIN 8d NAILS AT 12" O.C. STEEL NAIL-UPS TO BE USED WHERE FRAMING MEMBERS EXCEED 16" O.C. AND TO BE PLACED AT MID-POINT BETWEEN FRAMING MEMBERS AT ALL PANEL-TO-PANEL LOCATIONS.
 - THESE NOTES SHALL BE MINIMUM STANDARDS, WHERE STRUCTURAL PLANS ARE REQUIRED, THE STRUCTURAL DETAILS SHALL TAKE PRECEDENCE OVER THE CORRESPONDING DETAIL(S) IN THESE NOTES. IF THERE ARE ANY CONFLICTS CONTACT THE GENERAL CONTRACTOR.

- STAIR / GUARDRAIL NOTES:**
- MINIMUM 68" HEAD CLEARANCE (AFTER ALL FINISHES)
 - MAXIMUM 7-3/4" RISERS (FINISH TREAD-TO-TREAD)
 - MINIMUM 10" TREADS (STRINGER CUT RISER-TO-RISER)
 - HANDRAILS REQUIRED ON 1 SIDE OF STAIRS. WALL MOUNTED HANDRAILS TO FULLY EXTEND FROM MIN 1" PAST BOTTOM TREAD TO 1" PAST EDGE OF TOP LANDING. WALL MOUNTED HANDRAILS TO RETURN TO WALL.
 - TOP OF HANDRAIL TO BE 34" TO 38" ABOVE NOSE OF TREAD TO TOP OF RAIL.
 - GUARDRAILS REQUIRED AT DECKS, PORCHES, BALCONIES, STAIRS, WALKWAYS WHERE ADJACENT GRADE OR FLOOR BELOW IS 30" OR MORE. GUARDRAILS TO BE 42" HEIGHT TO TOP OF RAIL. MEMBERS OF GUARDRAIL ASSEMBLY (PICKETS) TO BE SPACED TO NOT ALLOW PASSAGE OF A 4" SPHERE.

- GENERAL NOTES:**
- ALL DIMENSIONS, U.N.O. ARE TO FACE OF STUD, OR FACE OF FRAMING MEMBER INDICATED.
 - OPENINGS SHOWN NEXT TO AN ADJACENT WALL ARE TO BE 4-1/2" OFF ADJACENT WALL. OPENINGS SHOWN IN APPROX CENTER OF A WALL ARE TO BE PLACED AT CENTER U.N.O. IF OPENING LOCATIONS ARE IN QUESTION - CONTACT GENERAL CONTRACTOR.
 - ALL WINDOW AND DOOR HEADER HEIGHTS ARE TO BE 83" HIGH, U.N.O.
 - DO NOT SCALE DRAWINGS - USE DIMENSIONS ONLY. FOR DIMENSIONS NOT SHOWN OR IN QUESTION, CONTACT GENERAL CONTRACTOR.
 - ALL COLUMNS AND BRACKETS TO BE DETERMINED BY OWNER. COLUMNS SHALL BE A MINIMUM OF 4X4KDP, AND SHALL BE FASTENED TO CONCRETE FOUNDATION WITH SIMPSON POST ANCHOR DESIGNED FOR THE SPECIFIC COLUMN.
 - REAR PATIOS ARE NON-STRUCTURAL, AND SHALL BE SIZE AND CONFIGURATION PER GENERAL CONTRACTOR. STEPS AS REQUIRED SHALL BE PER IRC-CURRENT VERSION. IF 3 OR MORE STEPS (TOTAL RISERS TO FFE) ARE REQUIRED, COORDINATE WITH GENERAL CONTRACTOR.
 - ALL CONSTRUCTION SHALL BE MIN PER IRC-CURRENT VERSION, AND/OR CODES LISTED ON COVER SHEET. ENGINEERED STRUCTURAL PLANS TAKE PRECEDENCE - IF THERE ARE ANY QUESTIONS OR CONFLICTS CONTACT THE GENERAL CONTRACTOR.
 - THIS PLAN IS LICENSED FOR THIS JOB ONLY BY GARRELL & ASSOCIATES INC. 790 PEACHTREE IND BLVD SUITE 200 SUWANEE, GA 30024. 770-614-3239. WWW.GARRELLASSOCIATES.COM. CONTACT FOR ADDITIONAL USAGE AND LIABILITY.

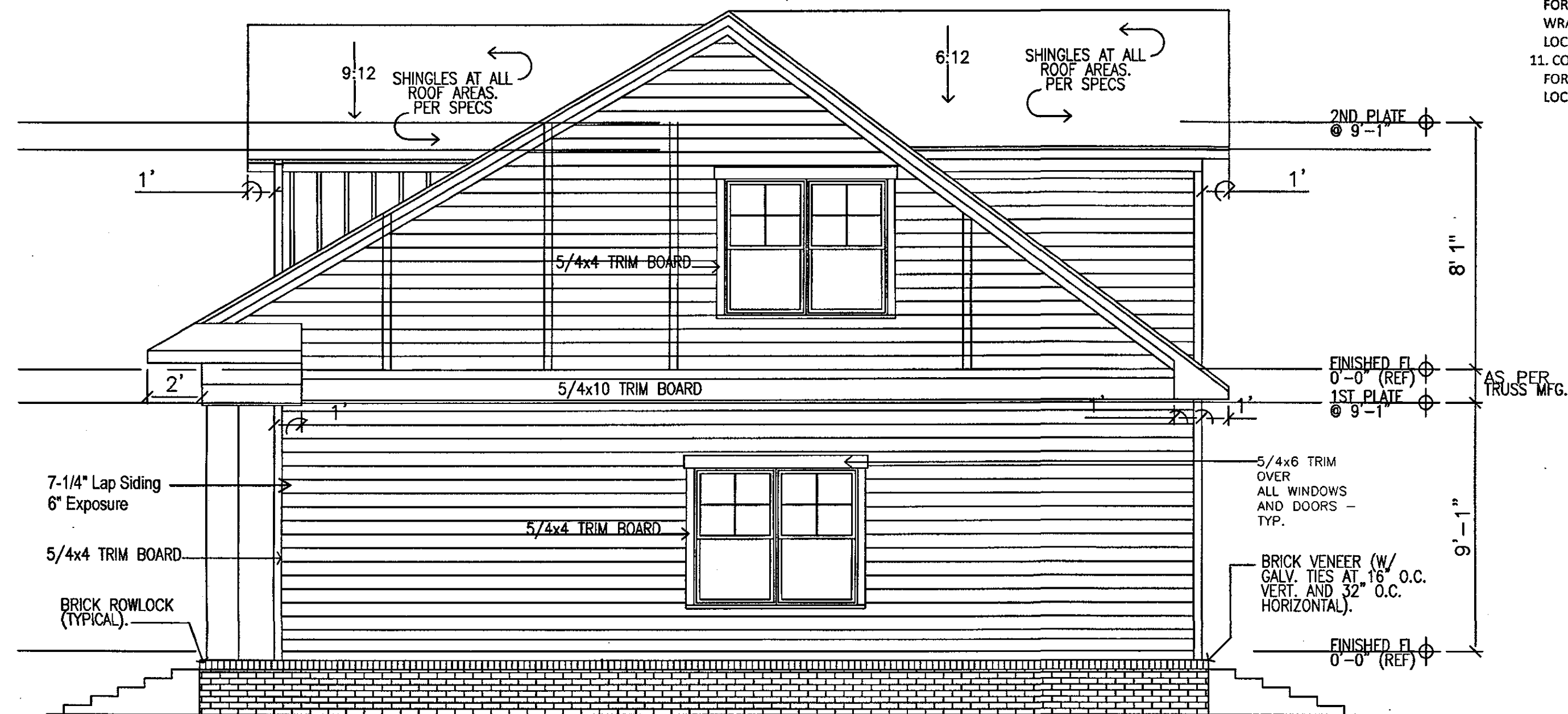
- EXTERIOR SIDING / TRIM NOTES:**
- ALL EXTERIOR SIDING/TRIM COMPONENTS TO BE NON-ROT, CEMENT-FIBER TYPE
 - CORNER BOARDS TO BE 5/4X4 & 5/4X6 PAIRED TOGETHER TO CREATE AN L-SHAPED CORNER, WITH 5/4X6 PLACED ON FRONT & REAR ELEVATIONS
 - WINDOW & DOOR TRIM TO BE 5/4X4, HEAD TRIM TO BE 5/4X6 EXTENDED 2"
 - FASCIA TO BE 1X6, WITH EAVE DRIP FLASHING
 - PORCH BOARDS TO BE 1X4
 - SOFFITS TO BE 5/16" PANELS, PERFORATED AT EAVES.
 - BOARD&BATTEN TO BE 5/16"X4" WIDE PANELS WITH 1X3 BATTENS 16" OC
 - PORCH CEILINGS TO BE 5/16"X4" WIDE PANELS WITH 1X3 BATTENS AT JOINTS & PERIMETER
 - COORDINATE WITH GENERAL CONTRACTOR FOR SPECIFIC DESIGN OF BRACKETS AT GABLES & MISC LOCATIONS, AND FOR FRONT PORCH COLUMN AESTHETIC ASSEMBLIES
 - COORDINATE WITH GENERAL CONTRACTOR FOR SPECIFIC SIZES OF TRIM BOARDS TO WRAP EXTERIOR BEAMS PER SPECIFIC LOCATIONS
 - COORDINATE WITH GENERAL CONTRACTOR FOR FLASHING PROFILES TO BE USED AT ALL LOCATIONS



LEFT SIDE ELEVATION

THE THORNBERRY

SCALE: 1/4" = 1'-0"

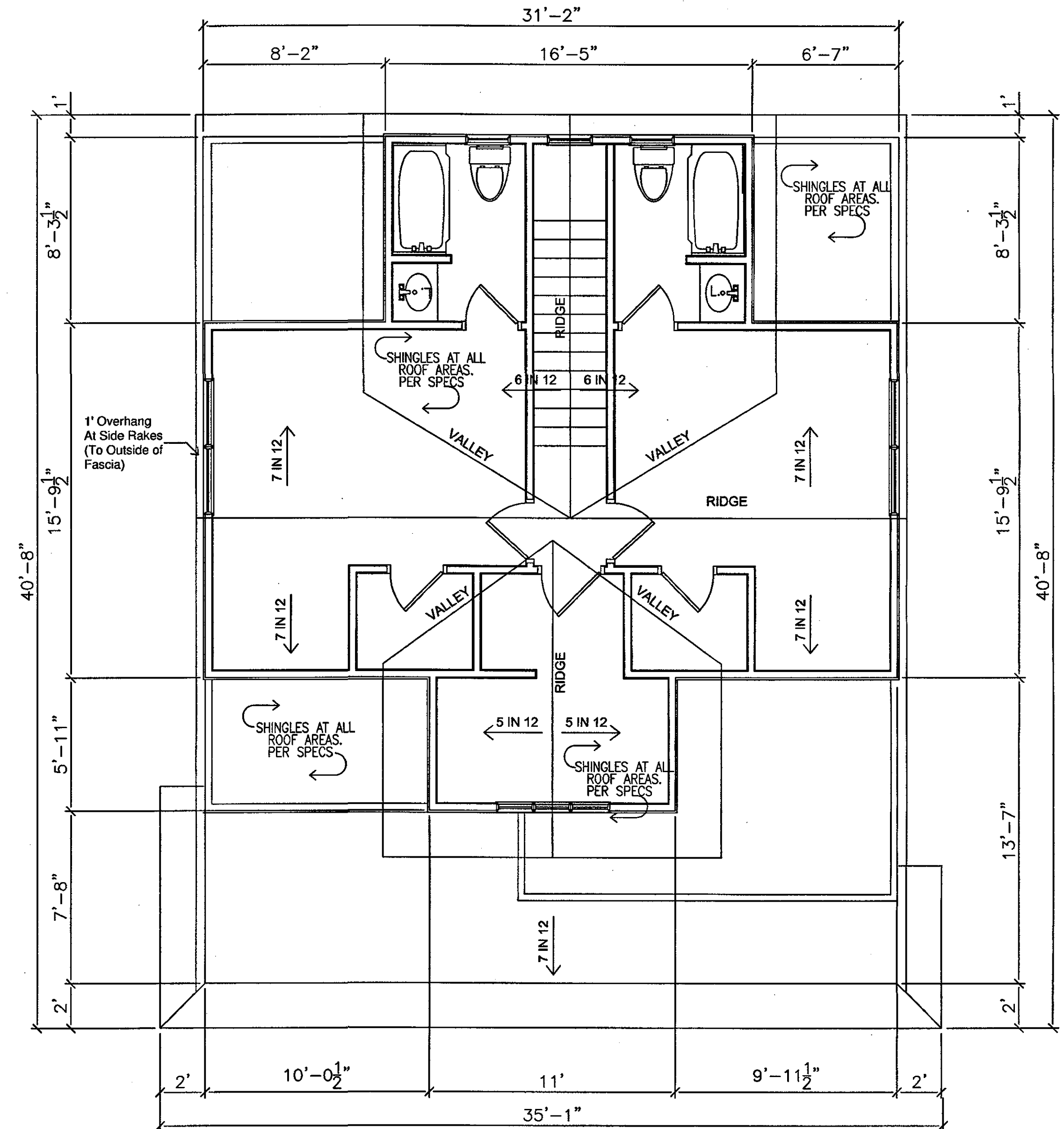


LEFT SIDE ELEVATION

THE THORNBERRY

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ROOF PLAN

THE THORNBERRY

SCALE: 1/4" = 1'-0"

LANDMARK COTTAGE
CONSTRUCTION, LLC

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THE RETREAT AT COLLEGE STATION
COLLEGE STATION, TEXAS

UNIT TYPE 2 - THE THORNBERRY

ELEVATIONS
&
ROOF PLAN

SHEET TITLE:

DATE:

APRIL 1, 2015

REVISIONS:

SHEET NUMBER:

2 - THORNBERRY

A-2.0

The Thornberry

