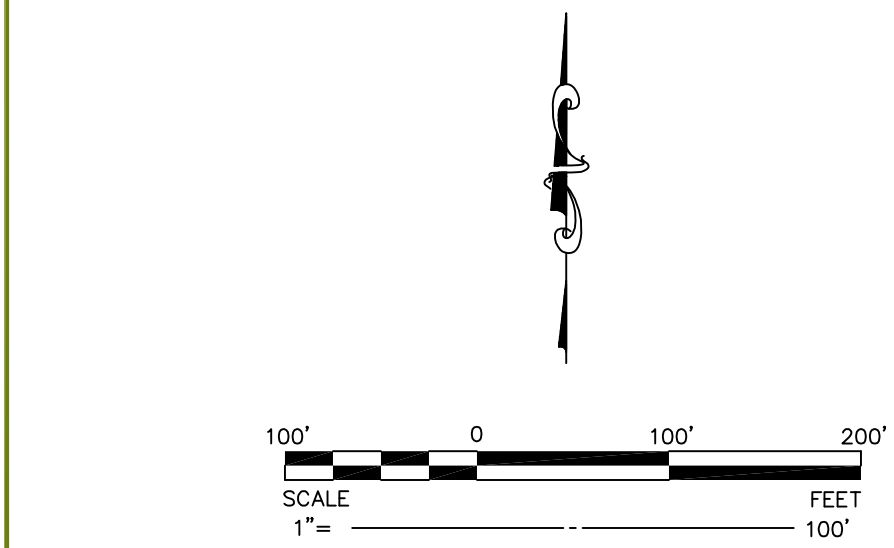




SURVEYOR/ENGINEER
DUNAWAY ASSOCIATES, L.P.
550 BAILEY AVE.
SUITE 400
FORT WORTH, TEXAS 76107
(817) 335-1121 (PHONE)
(817) 335-7437 (FAX)
FIRM REGISTRATION NUMBER: 10098100

OWNER/DEVELOPER
DB DENTON II, LLC
1 E. WASHINGTON STREET STE. 300
PHOENIX, AZ 85004-2513
(480) 556-7741 (PHONE)

OWNER/DEVELOPER
ALLEGIANCE HILLVIEW, LP
5221 N. O'CONNER BLVD.
DALLAS, TEXAS 75039
(972) 532-4300 (PHONE)



NOTES:

The basis of the bearings for this plat is the Conveyance Plat of Rayzor Ranch South, an addition to the City of Denton according to the plat recorded in Cabinet Y, Slide 470, Plat Records of Denton County, Texas.

All property corners are 5/8 inch iron rods with a yellow plastic cap stamped "Dunaway Assoc LP" found unless otherwise noted.

The City of Denton has adopted the National Electrical Safety Code (the "Code"). The Code generally prohibits structures within 17.5 feet on either side of the centerline of overhead distribution lines and within 30 feet on either side of the centerline of overhead transmission lines. In some instances the Code requires greater clearances. Building permits will not be issued for structures within these clearance areas. Contact the Building Official with specific questions.

Such clearance provisions shall be included in the design and construction when real property is developed or altered. Such clearances shall be recorded by the property developer or by the record owner on subdivision plats; or shall be evidence by written instrument, duly recorded, in the Public Records of Denton County, Texas. Unobstructed and adequate space shall be provided for all clearance areas in such way that will allow the ingress and egress for utility-related personnel and equipment to perform operations, maintenance and replacement of electrical supply and communications lines. Maintenance of clearance areas and or easements shown on this plat are responsibility of the individual property owners and do not constitute acceptance of same for maintenance purposes by the City of Denton.

Taps made to existing waterlines or relocations of fire hydrants shall be done by the City of Denton at the expense of the Contractor. Contact Kent Conkle with the Water Department at 940-349-7167.

Taps made to existing sewer lines shall be done by the City of Denton at the Contractor's expense. Contact Justin Divinye with the Wastewater Department at 940-349-8489.

According to graphical plotting of the Flood Insurance Map for Denton County, Texas, and Incorporated Areas, Panel 360 of 750, Map Number 4812100360 G, Map Revised Date: April 18, 2011, the subject property is located in Zone "X", defined as "areas determined to be outside the 0.2% annual chance floodplain". This statement does not reflect any type of flood study by this firm.

"Areas for Services Lines-to be conveyed by separate instrument agreement among property owners, any such instrument(s) to be filed of record and evidenced prior to issuance(s) of any Certificate of Occupancy"

The minimum finished floor elevations shall be provided when a building permit application is submitted. The minimum finished floor elevations shall be based on the current FEMA data. The minimum finished floor elevations shall be stated as mean sea level rather than relative based on NAVD 1988 datum.

I, Gregory S. Iffland, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments indicated hereon were properly placed under my supervision in accordance with the Subdivision Regulations of the City of Denton, Texas.

Preliminary, this document shall not be recorded for any purpose and shall not be relied upon as a final survey document.

Gregory S. Iffland
Registered Professional Land Surveyor No. 4351

Date



550 Bailey Avenue • Suite 400 • Fort Worth, Texas 76107
Tel: 817.335.1121
FIRM REGISTRATION 10098100

CITY OF DENTON, TEXAS

CERTIFICATE OF APPROVAL

Approved this _____ day of _____, 2017, by the Planning & Zoning Commission for the City of Denton.

SIGNED: _____ ATTEST: _____
P&Z Chair City Secretary



VICINITY MAP
NOT TO SCALE

SURVEYOR/ENGINEER

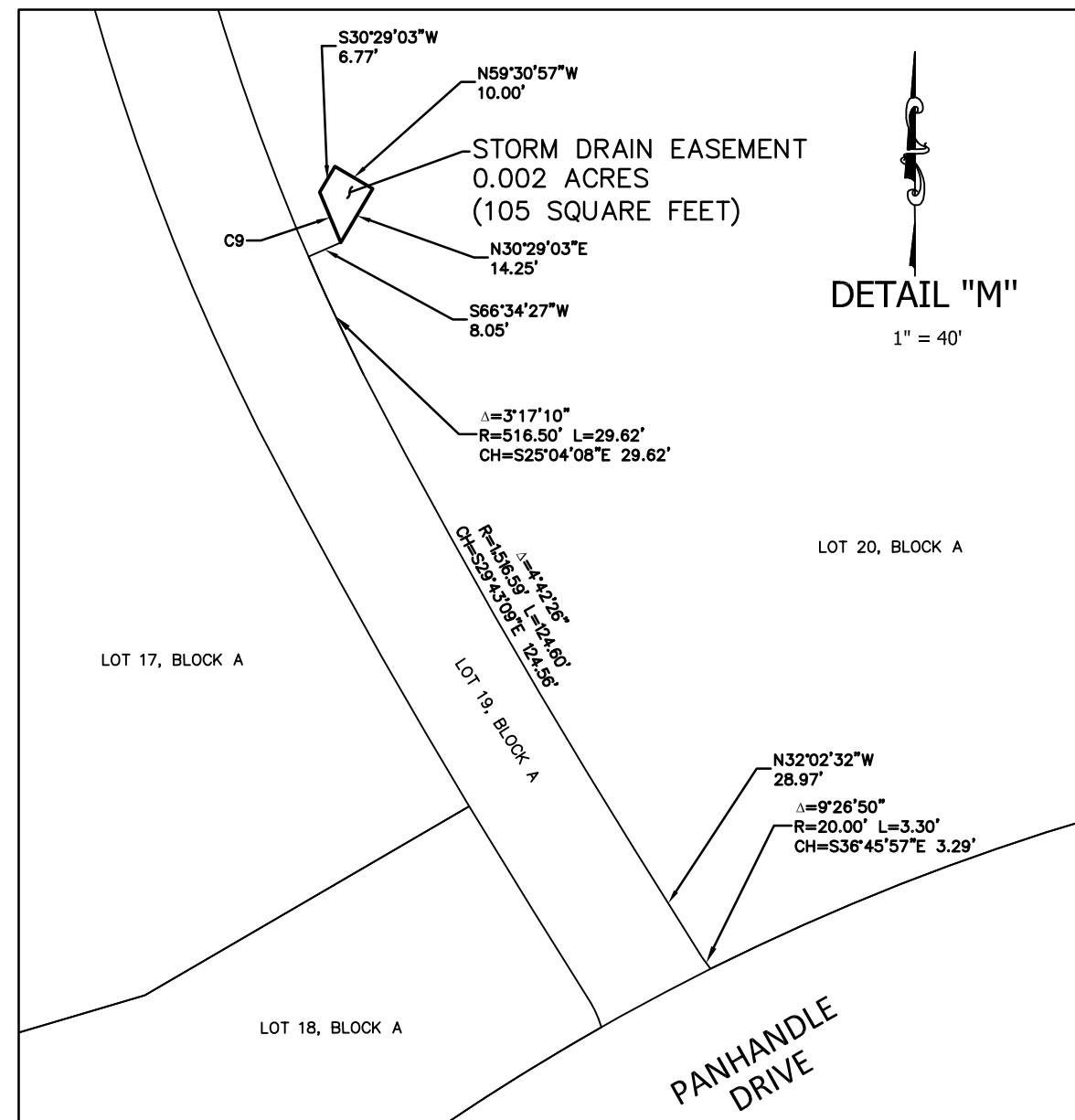
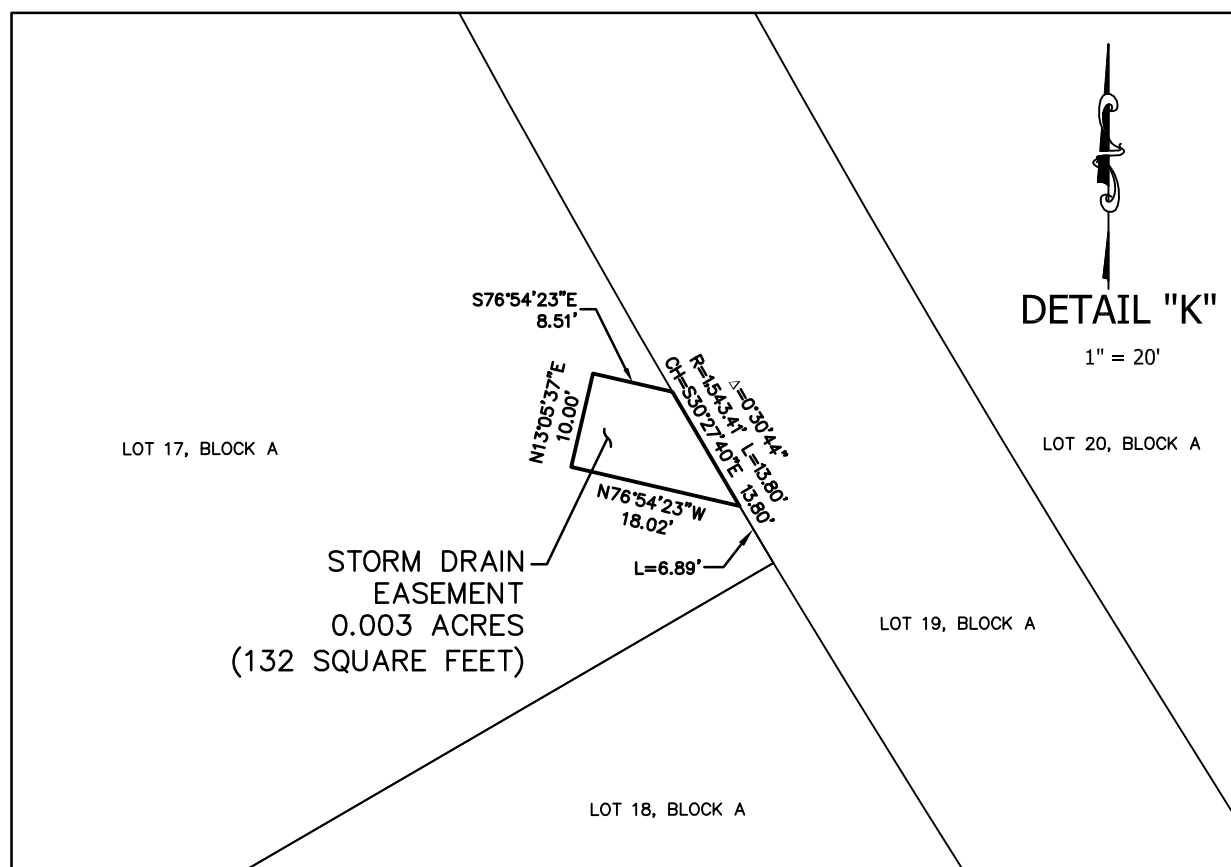
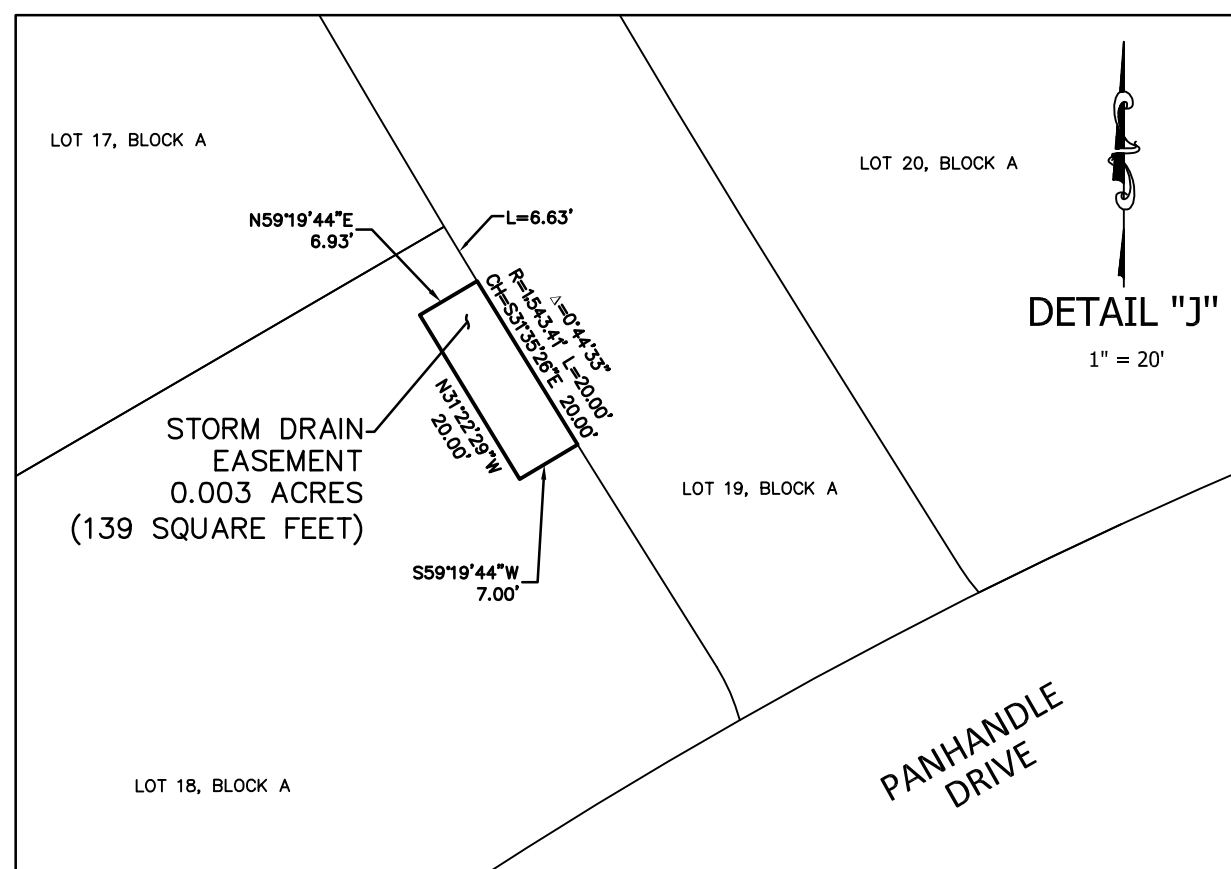
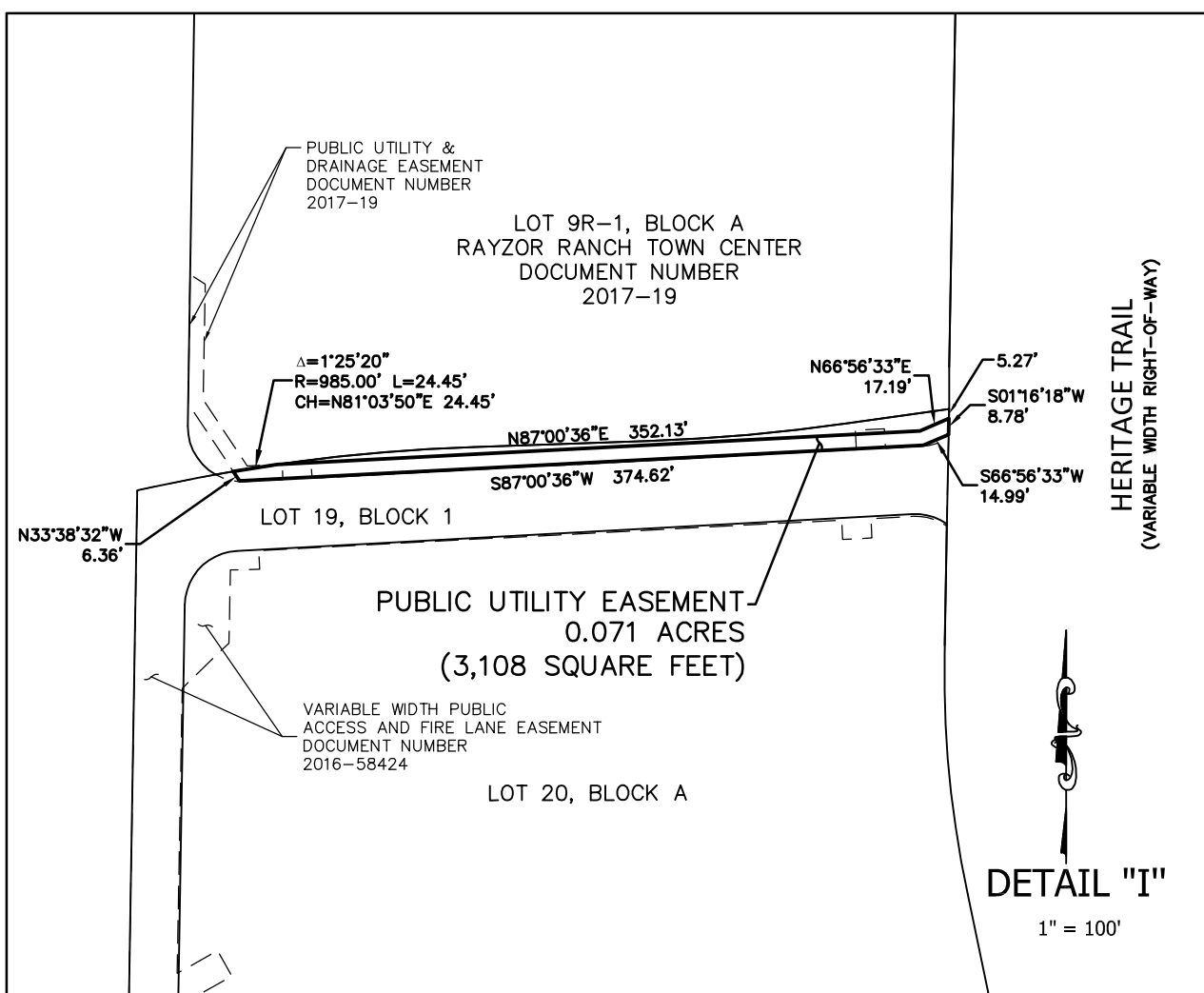
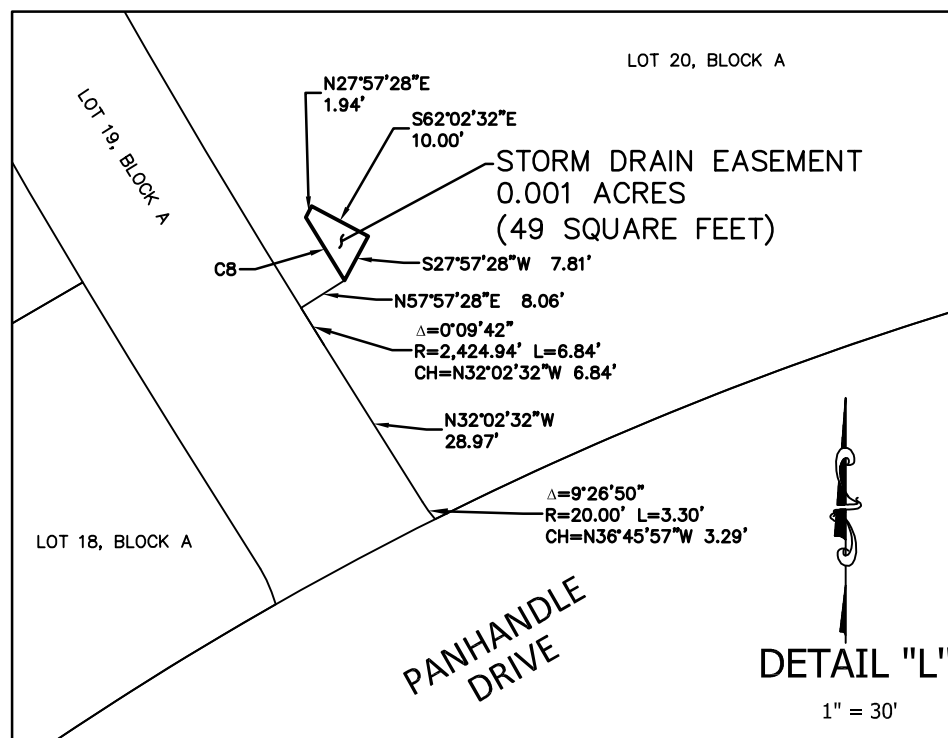
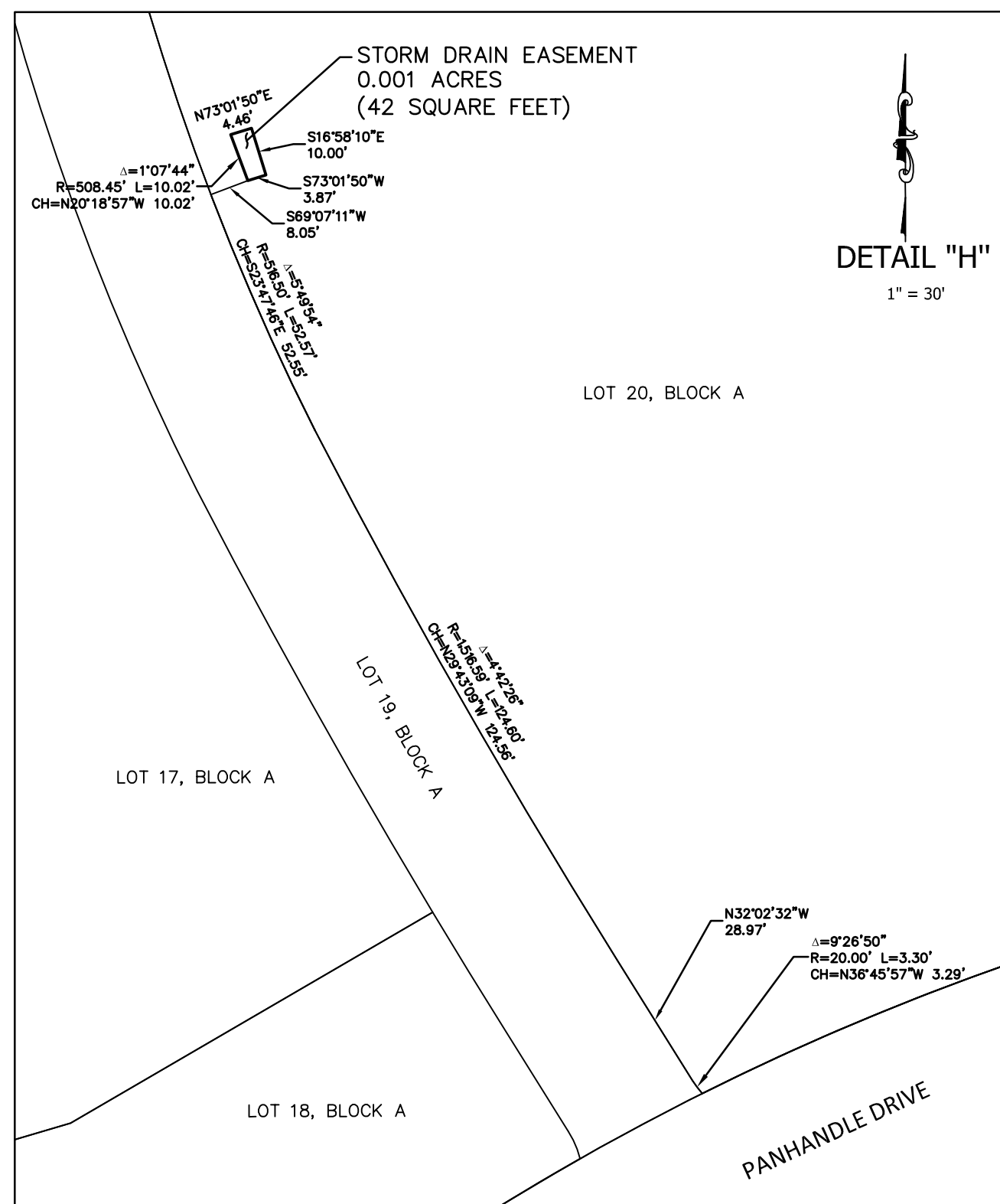
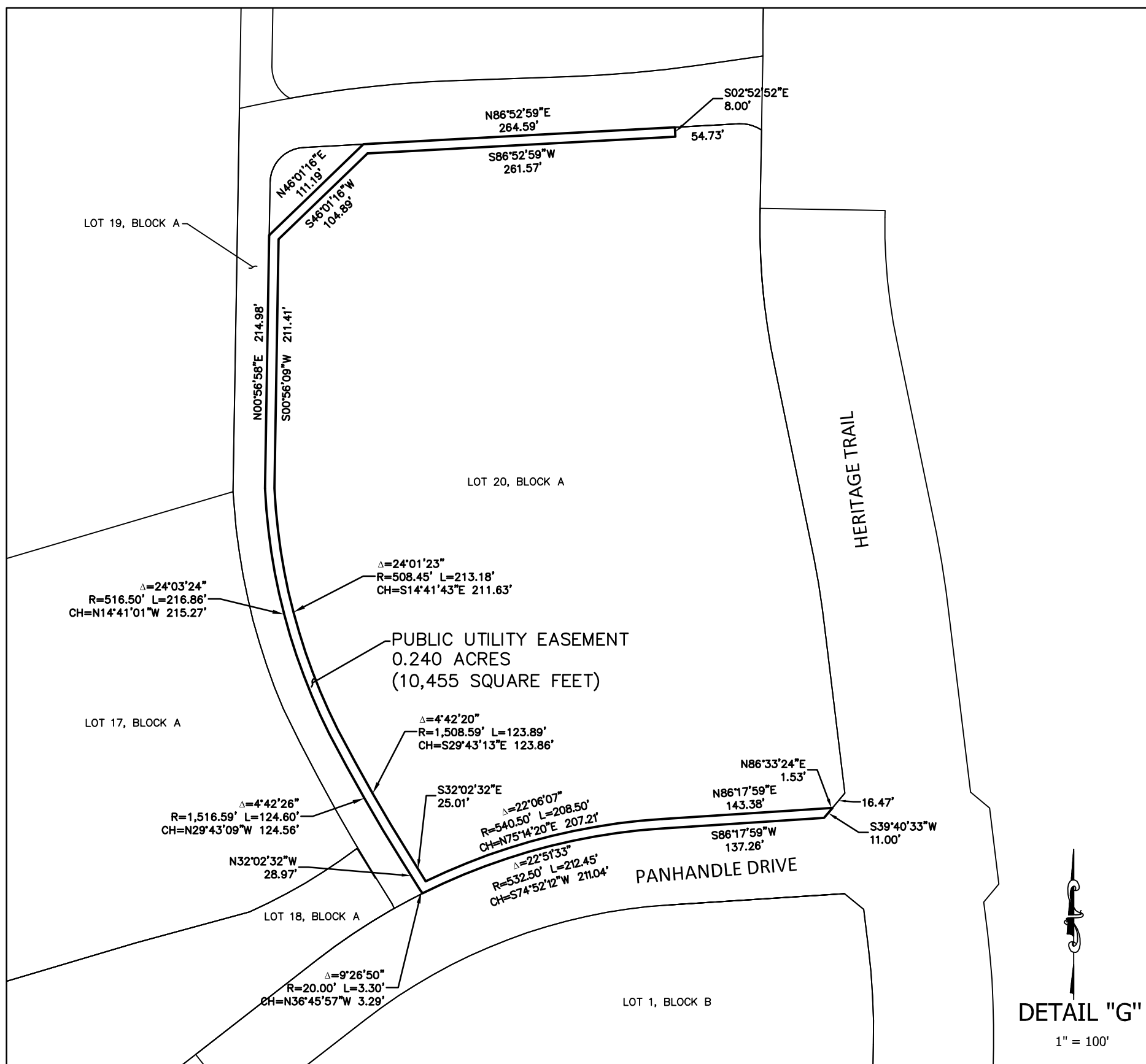
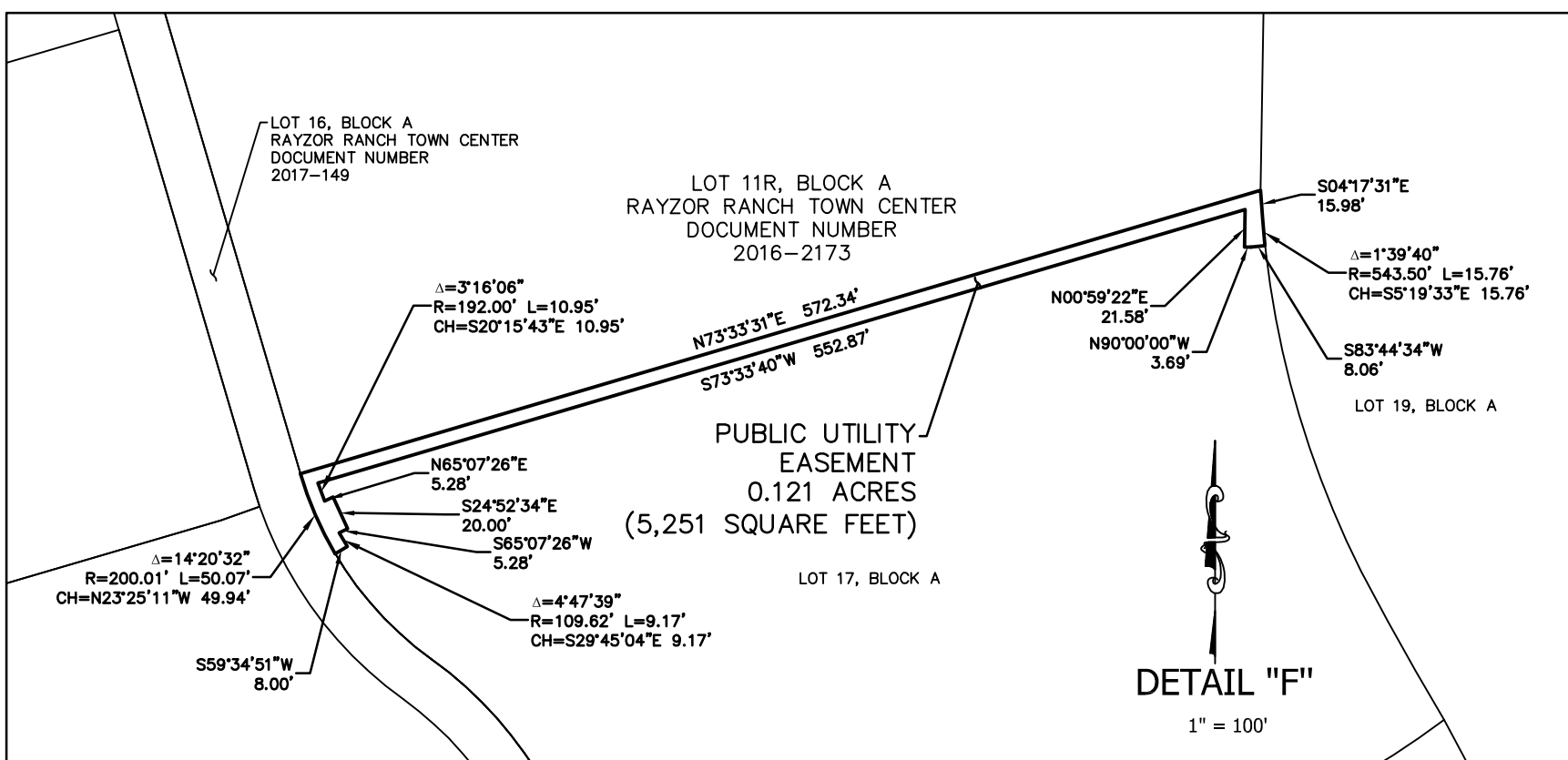
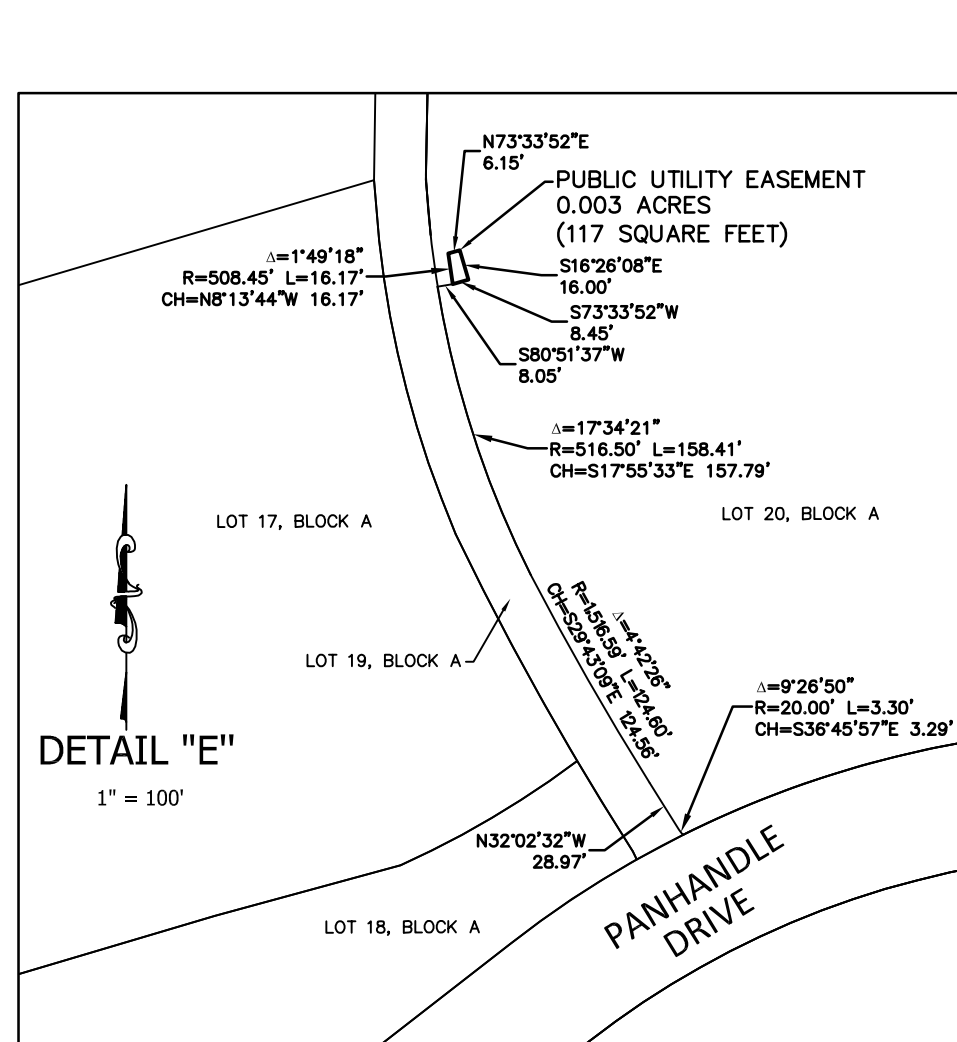
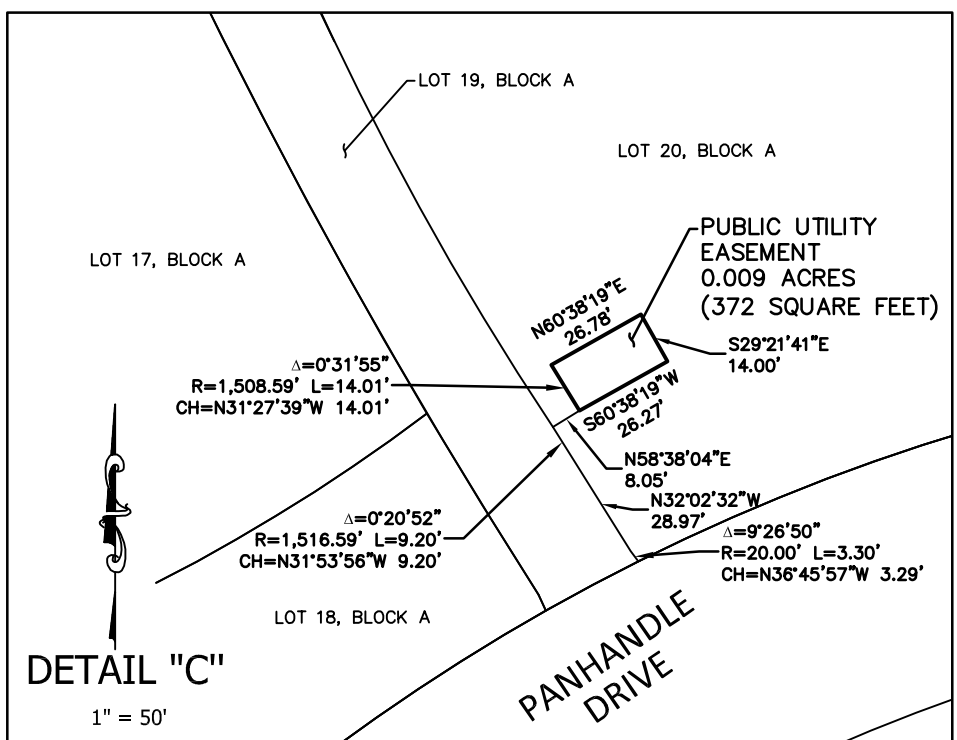
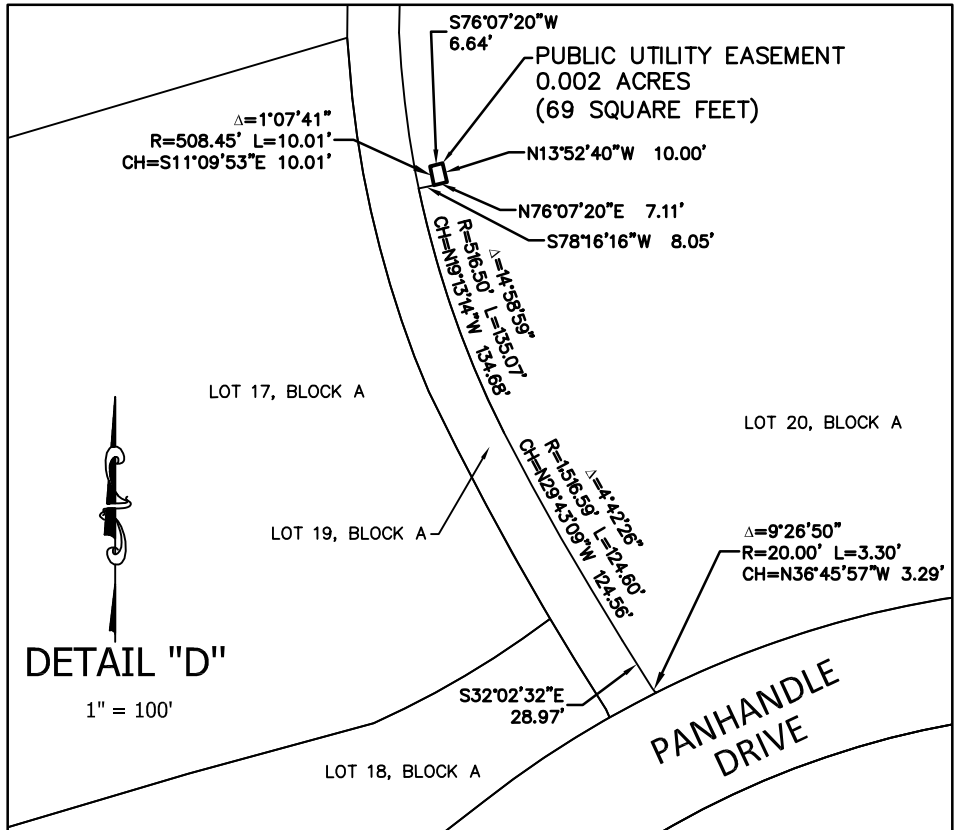
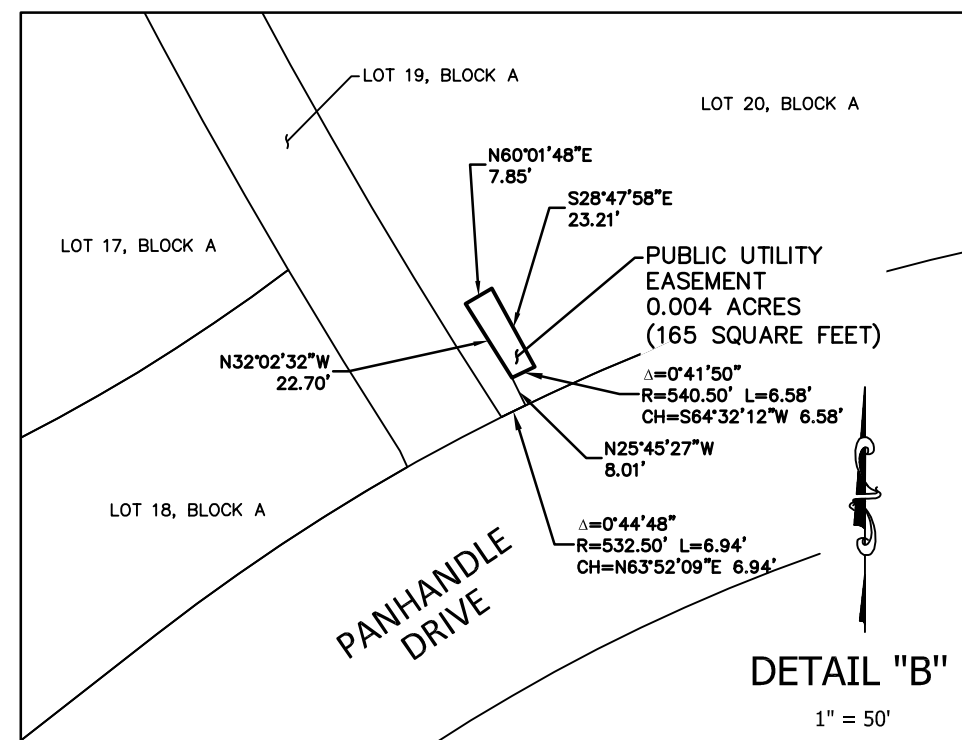
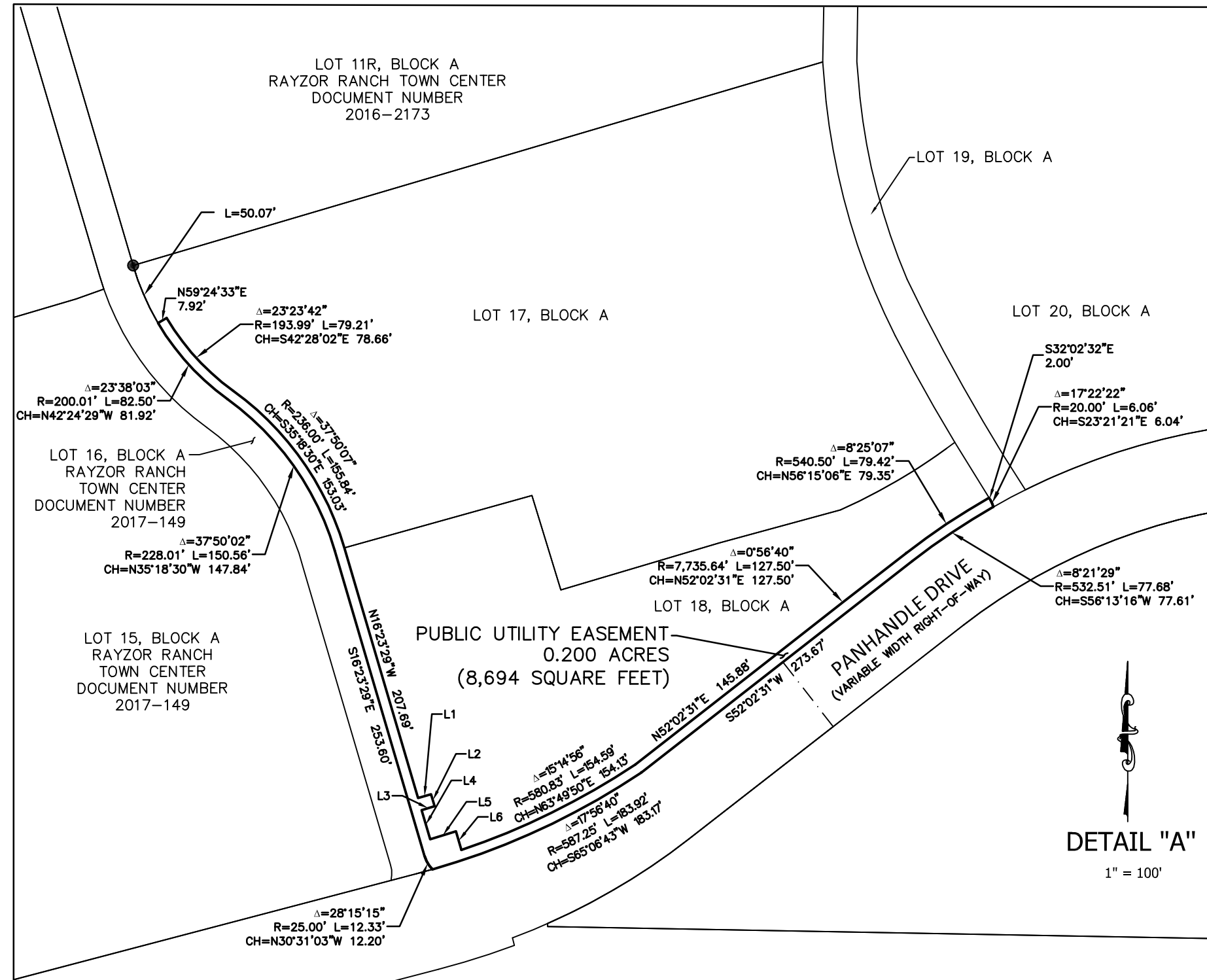
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(972) 532-4300 (PHONE)



Curve Table				
Curve Number	Central Angle	Radius	Arc Length	Chord Bearing and Distance
C1	8°21'30"	532.50'	77.68'	S56°13'16"W 77.61'
C2	17°22'22"	20.00'	6.06'	S23°21'21"E 6.04'
C3	1°05'58"	1543.41'	29.62'	S31°31'22"E 29.62'
C4	34°15'27"	532.50'	318.39'	S69°10'15"W 313.86'
C5	3°36'48"	1543.41'	97.34'	S29°09'59"E 97.32'
C6	9°26'50"	20.00'	3.30'	N36°45'57"W 3.29'
C7	4°42'26"	1516.59'	124.60'	N29°43'09"W 124.56'
C8	0°26'26"	1508.59'	11.60'	N31°35'34"W 11.60'
C9	1°24'26"	508.45'	12.49'	S22°43'20"E 12.49'
C10	22°51'33"	532.50'	212.45'	S74°52'12"W 211.04'

Line Table		
Line Number	Bearing	Distance
L1	N73°17'22"E	10.84'
L2	S16°42'38"E	10.00'
L3	S73°17'22"W	10.90'
L4	S16°23'29"E	24.11'
L5	N73°17'22"E	21.49'
L6	S16°42'38"E	15.32'
L7	S32°02'32"E	24.33'

**FINAL PLAT
OF
LOTS 17, 18, 19 & 20, BLOCK A
LOT 1, BLOCK B
RAYZOR RANCH TOWN CENTER**

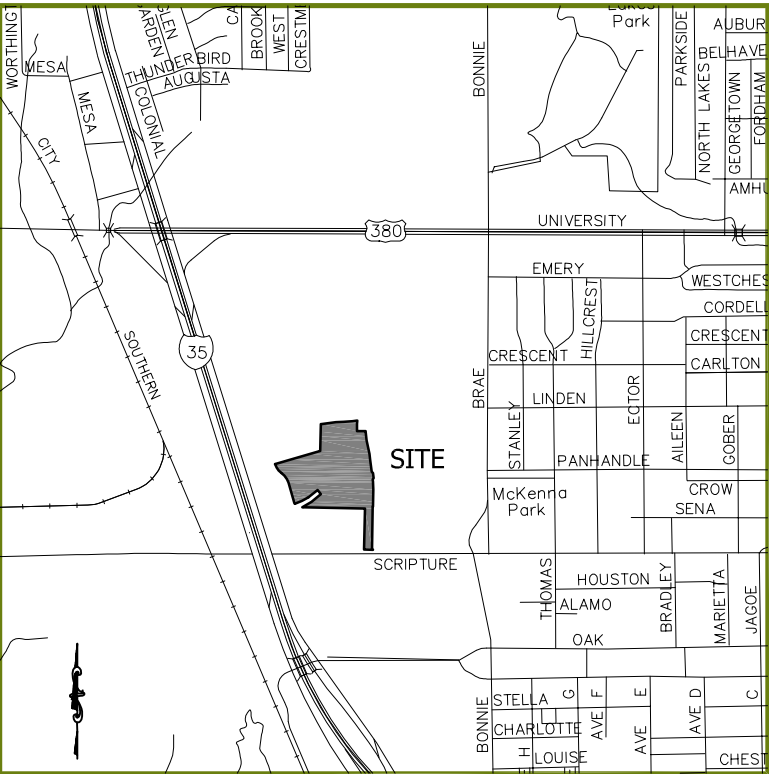
Situated in the B.B.B. & C.R.R. Survey, Abstract No. 192
City of Denton, Denton County, Texas
Being a portion of Lot 13, Block 1, Rayzor Ranch South
Conveyance Plat recorded in Document Number 2016-108,
Plat Records of Denton County, Texas, a portion of the tract of land described in the
deed to DB Denton II, LLC recorded in Document Number 2017-38726, Deed Records of
Denton County, Texas, and being a portion of the tract of land described as Tract One in
the deed to Allegiance Hillview, LP recorded in Document Number 2006-41743, Deed
Records of Denton County, Texas.

GROSS AREA = 20.747 ACRES / 93,743 SQUARE FEET
THIS PLAT WAS PREPARED IN OCTOBER, 2017

PLOTTED BY: Bart Stephens ON: Friday, November 10, 2017 AT: 9:35 AM REPAIR: C:\Production\000000\B000056.001\Survey-CA Drawing\CSO\01718000056.008 Phase 3 Final\Review.dwg



550 Bailey Avenue • Suite 400 • Fort Worth, Texas 76107
 Tel: 817.335.1121
 FIRM REGISTRATION 10098100



SURVEYOR/ENGINEER

DUNAWAY ASSOCIATES, L.P.
 550 BAILEY AVE.
 SUITE 400
 FORT WORTH, TEXAS 76107
 (817) 335-1121 (PHONE)
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OWNER/DEVELOPER

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 1 E. WASHINGTON STREET STE. 300
 PHOENIX, AZ 85004-2513
 (480) 556-7741 (PHONE)

OWNER/DEVELOPER

ALLEGIANCE HILLVIEW, LP
 5221 N. O'CONNER BLVD.
 DALLAS, TEXAS 75039
 (972) 532-4300 (PHONE)

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS THAT ALLEGIANCE HILLVIEW, LP, ACTING HEREIN BY AND THROUGH ITS DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS:

RAYZOR RANCH TOWN CENTER
Lots 17, 18, 19, & 20, Block A
Lot 1, Block B

An addition to the City of Denton, Denton County, Texas and does hereby dedicate in fee simple, to the public use forever, the streets and alleys shown thereon. The streets and alleys are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City of Denton. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same, unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Denton's use thereof. The City of Denton and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance or efficiency of their respective systems in said easements. The City of Denton and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Denton, Texas

ALLEGIANCE HILLVIEW, L.P., a New York
 limited partnership

WITNESS MY HAND THIS _____ DAY OF _____, 2017

Title: _____
 By: _____, ALLEGIANCE HILLVIEW, LP
 By: _____, a Delaware limited liability
 company, d/b/a _____, Denton GP LLC in the
 State of Texas, its general partner

STATE OF TEXAS §
 COUNTY OF MARICOPA §

BEFORE ME, A NOTARY IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND SEAL OF OFFICE THIS _____ DAY OF _____, 2017

NOTARY PUBLIC
 MARICOPA COUNTY, TEXAS

MY COMMISSION EXPIRES: _____

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS THAT DB DENTON II, LLC, ACTING HEREIN BY AND THROUGH THEIR DULY AUTHORIZED OFFICERS, DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS:

RAYZOR RANCH TOWN CENTER
Lots 17, 18, 19, & 20, Block A
Lot 1, Block B

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This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Denton, Texas

DB DENTON II, LLC, a Delaware
 limited liability company

WITNESS MY HAND THIS _____ DAY OF _____, 2017

Title: _____
 By: _____, DB Denton II, LLC

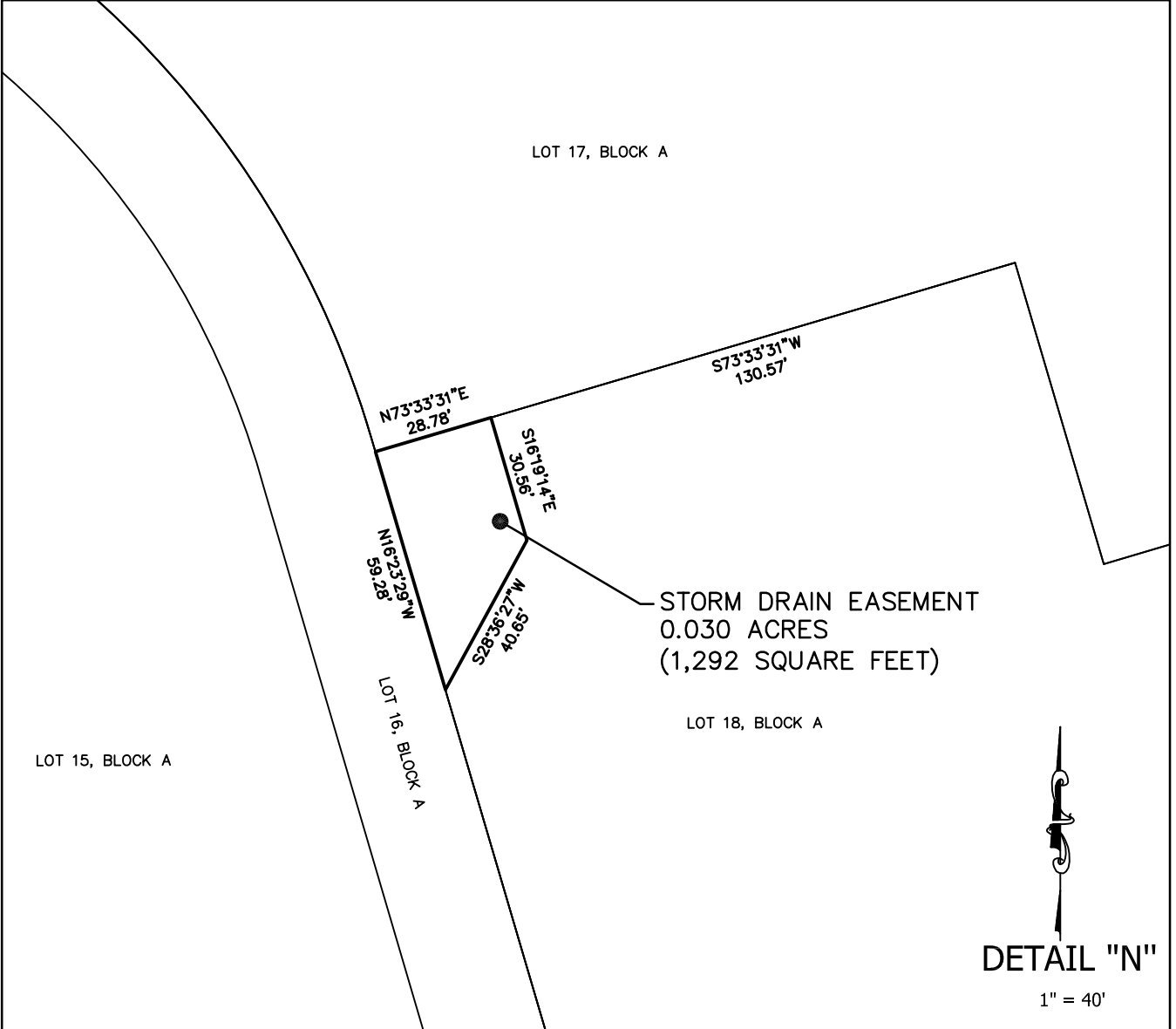
STATE OF AROZONA §
 COUNTY OF _____ §

BEFORE ME, A NOTARY IN AND FOR SAID COUNTY AND STATE, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND SEAL OF OFFICE THIS _____ DAY OF _____, 2017

NOTARY PUBLIC
 _____ COUNTY, ARIZONA

MY COMMISSION EXPIRES: _____



FINAL PLAT
OF
LOTS 17, 18, 19 & 20, BLOCK A
LOT 1, BLOCK B
RAYZOR RANCH TOWN CENTER

Situated in the B.B.B. & C.R.R. Survey, Abstract No. 192
 City of Denton, Denton County, Texas
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