

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE OF THE CITY OF DENTON, TEXAS, APPROVING A DETAILED PLAN IN THE PLANNED DEVELOPMENT 174 (PD-174) ZONING DISTRICT TO CONSTRUCT AN AMENITY CENTER ON APPROXIMATELY 3.26 ACRES. THE SUBJECT SITE IS GENERALLY LOCATED ON THE SOUTHEAST SIDE OF JOHN PAINE ROAD, APPROXIMATELY 110 FEET NORTHEAST OF ATHENS DRIVE IN THE CITY OF DENTON, DENTON COUNTY, TEXAS; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR A PENALTY IN THE MAXIMUM AMOUNT OF \$2,000.00 FOR VIOLATIONS THEREOF, SEVERABILITY AND AN EFFECTIVE DATE. (PDA16-0004).

WHEREAS, Applicant Stephen Gordon with Vintree & Associates ("Applicant") requests to develop approximately 3.26 acres of property located within the Country Lakes North Planned Development District (PD-174), generally located on the southeast side of John Paine Road, approximately 110 feet northeast of Athens Drive, in the City of Denton, Denton County, Texas, Country Lakes North Phase 3A 1 & 3B, Block P, Lot 19, and legally described in **Exhibit A** attached hereto and incorporated herein by reference (the "Property"); and

WHEREAS, PD-174 Zoning District was approved by the City Council on June 15, 1999 pursuant to Ordinance No. 99-205 to include 396.7 acres of land, which includes the Property; and

WHEREAS, Applicant requests the approval of a Detailed Plan for the Property in order to develop an amenity center on the Property, as depicted in **Exhibits B and C** attached hereto and incorporated herein by reference; and

WHEREAS, on August 10, 2016, after required notice, the Planning and Zoning Commission concluded a public hearing as required by law, and recommended approval of the Detailed Plan with conditions; and

WHEREAS, the City Council finds that the Amended Concept Plan is consistent with the plans for the entire PD-174 Zone and the Detailed Plan is consistent with the Concept Plan, which Concept Plan and Detailed Plan are both consistent with the Denton Plan 2030 and the Denton Development Code; NOW, THEREFORE

THE COUNCIL OF THE CITY OF DENTON HEREBY ORDAINS:

SECTION 1. The findings and recitations contained in the preamble of this ordinance are incorporated herein by reference and found to be true.

SECTION 2. Detailed Plan Adopted. The Detailed Plan for the Property is hereby approved as reflected in **Exhibits A, B, and C**, attached hereto and incorporated by reference, subject to the following conditions:

1. All original conditions of approval and subsequent modifications associated with PD-174 District shall remain valid, unless specified herein;
2. The Detailed Plan and Landscape Plan as submitted and shown in **Exhibits B and C** shall guide the development of the site; and

3. The elevation drawing and site details submitted and shown in **Exhibit D** shall guide the development of the site.

SECTION 4. Savings Clause. The provisions of this ordinance shall govern and control over any conflicting provisions of previously applicable ordinances. To the extent the previously applicable ordinances do not conflict or do not apply to the Property, those Ordinances shall continue in full force and effect.

SECTION 5. Amended PD. A copy of this ordinance shall be attached to Ordinance No 99-205 showing the Detailed Plan herein approved, or attached to any other applicable ordinances as determined by the Director of Development Services, or his/her designee.

SECTION 6. Penalty. Any person, firm, entity or corporation violating any provision of this ordinance shall, upon conviction, be fined a sum not exceeding \$2,000.00 for each violation. Each day that a provision of this ordinance is violated shall constitute a separate and distinct offense. The penal provisions imposed under this Ordinance shall not preclude Denton from filing a civil suit to enjoin the violation and it retains all legal rights and remedies available under local, State, and Federal law.

SECTION 7. Severability. If any provision of this Ordinance or the application thereof to any person or circumstance is held invalid by any court, such invalidity shall not affect the validity of the provisions or applications, and to this end the provisions of this Ordinance are severable.

SECTION 8. Effective Date. This ordinance shall become effective fourteen (14) days from the date of its passage, and the City Secretary is hereby directed to cause the caption of this ordinance to be published twice in the Denton Record-Chronicle, a daily newspaper published in the City of Denton, Texas, within ten (10) days of the date of its passage.

PASSED AND APPROVED this the \_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
CHRIS WATTS, MAYOR

ATTEST:  
JENNIFER WALTERS, CITY SECRETARY

BY: \_\_\_\_\_

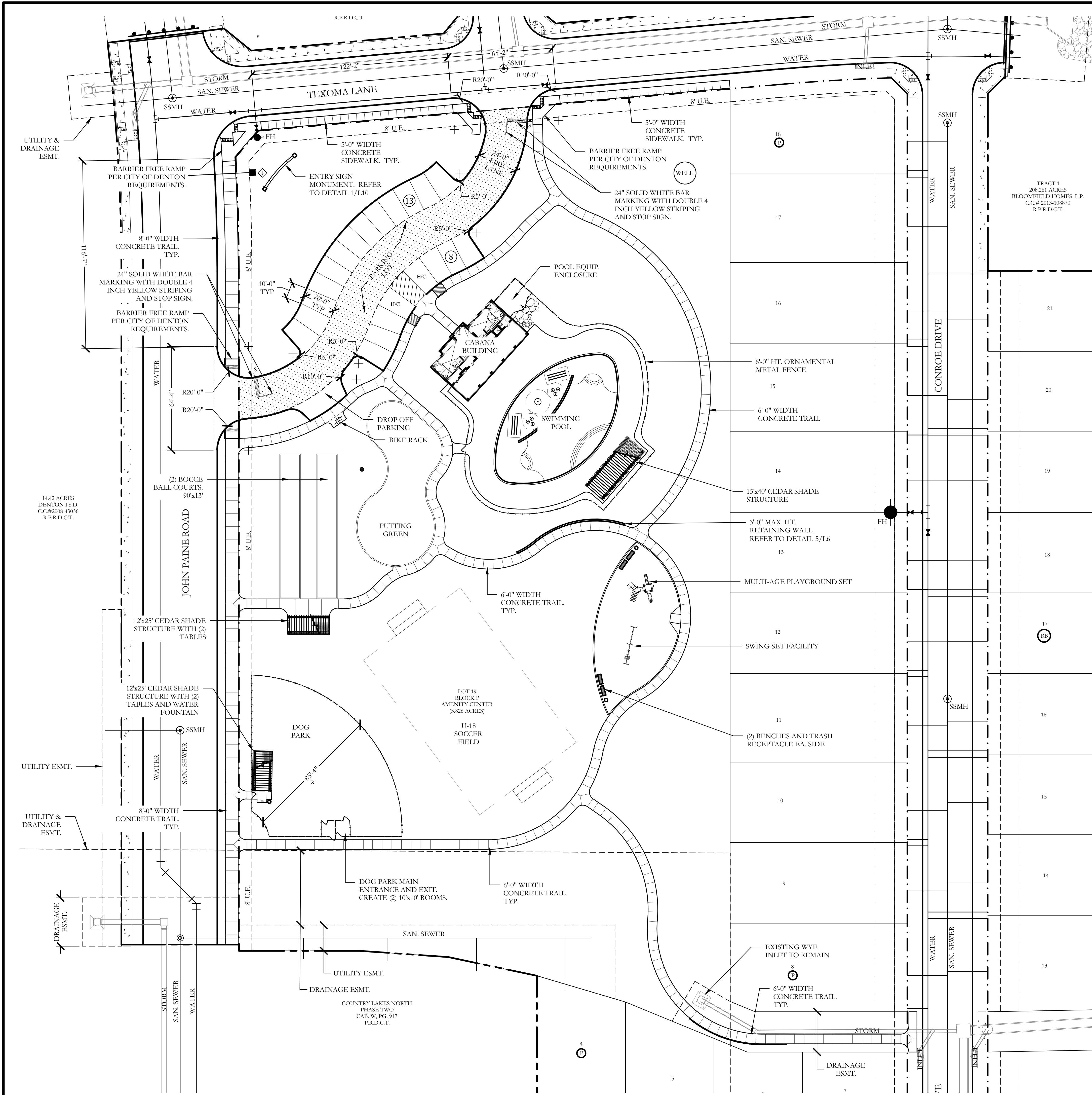
APPROVED AS TO LEGAL FORM:  
ANITA BURGESS, CITY ATTORNEY

BY: Jennifer W. DeCurtis  
Deputy City Attorney

**Exhibit A**  
**Legal Description**

Country Lakes North Phase 3A 1 and 3B, Block P, Lot 19.





LEGEND			
8	PROPOSED PARKING COUNT	638	PROPOSED CONTOUR INTERVAL
BFR	BARRIER FREE RAMP	638	EXISTING CONTOUR INTERVAL
H/C	HANDICAP PARKING SPACE	FEE 638	FINISHED FLOOR ELEVATION
	EXISTING FIRE HYDRANT		PROPOSED DOMESTIC WATER METER
	EXISTING SANITARY SEWER MANHOLE		8'-0" HT. WOOD FENCE
	EXISTING WATER MAIN W/ VALVE		ORNAMENTAL METAL FENCE
	EXISTING SANITARY SEWER		(6'-0" HT. AROUND SWIMMING POOL AREA)
	EXISTING STORM		1'-4'-0" WIDTH SELF LATCHING, SELF CLOSING METAL GATE
	PROPOSED CURB INLET		2'-4'-0" WIDTH WOODEN GATES FOR POOL EQUIPMENT ACCESS
	RIGHT-OF-WAY		LOCATION OF WATER WELL AS PERMITTED BY OTHERS
S	STOP SIGN		

BLOCK P, LOT 19 SITE INFORMATION

ZONING: PD-SINGLE FAMILY  
PROPOSED USE: PRIVATE RECREATION CENTER  
LAND AREA: 166,660.56 S.F. OR 3.26 ACRES  
BUILDING AREA: 1,834.00 SF

BUILDING HEIGHTS: NOT TO EXCEED 35' (1 STORY)  
FLOOR TO AREA: 0.011:1 [1934/166660.56]  
LOT COVERAGE: 1.1%

PARKING PROVIDED: 21 TOTAL, (WITH 2 HANDICAP)

THE PARKING RATIO USED TO DETERMINE THE TOTAL NUMBER OF SPACES PROVIDED WAS THE FOLLOWING:  
- ONE SPACE PER 200 SF OF BUILDING AREA (1,834.00 / 200 = 9 SPACES REQUIRED)  
- ONE SPACE PER 600 SF OF SWIMMING POOL AND DECK AREA (7,150.00 / 600 = 12 SPACES REQUIRED)  
A TOTAL OF 21 SPACES WERE DETERMINED TO BE PROVIDED AT A MINIMUM.

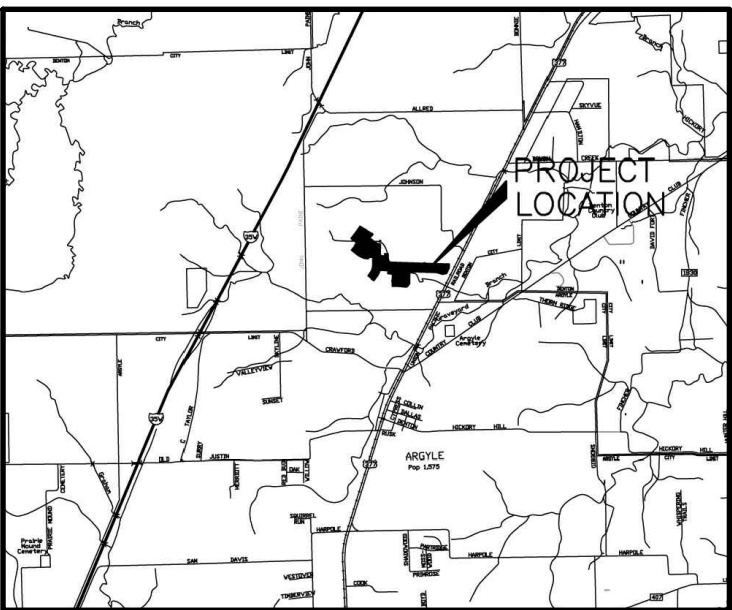
HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

REFER TO LANDSCAPE PLANS FOR LANDSCAPE BUFFERS AND PARKING LOT SCREENING PROVIDED.

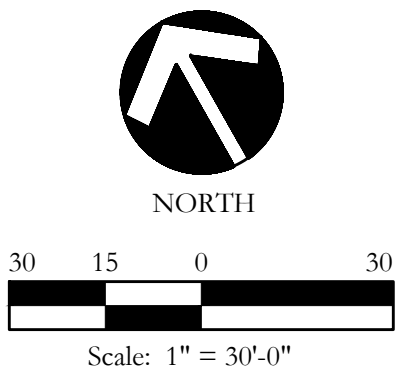
PROPOSED OPEN SPACE IS 120,000.00 SQUARE FEET.

SITE PLAN NOTES:

- NO 100 YEAR FLOOD PLAIN EXISTS ON PROPERTY.
- NO PROTECTED TREES EXIST ON DEVELOPMENT SITE.
- THE PROPOSED BUILDING IS A NON AIR CONDITIONED SPACE, NO HVAC EQUIPMENT WILL BE LOCATED ON SITE.
- TRASH TOTES AND SWIMMING POOL EQUIPMENT SHALL BE SCREENED WITH 8'-0" HT. WOOD FENCE.
- LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED IN CONFORMANCE WITH TEXAS DEPARTMENT OF HEALTH REQUIREMENTS FOR COMMERCIAL SWIMMING FACILITIES.
- FOR ALL BARRIER FREE RAMP NOTED ON PLAN, REFERENCE THE CITY OF DENTON STANDARD CONSTRUCTION DETAILS.
- REFER TO THE CITY OF DENTON TRANSPORTATION DESIGN CRITERIA MANUAL FOR PARKING LOT STRIPING WIDTHS AND COLORS.
- ALL STANDARD PARKING SPACES SHALL BE WHITE IN COLOR.
- ALL PARKING LOT DIMENSIONS SHOWN ARE FROM FACE OF CURB.



LOCATION MAP  
NOT TO SCALE



WATER METER SCHEDULE

METER ID NUMBER	WATER SERVICE SIZE	WATER METER SIZE	METER DOM. IRR.	SAN. SERVICE SIZE
	1.5"	1.5"	X	6"

OWNER / DEVELOPER:

BLOOMFIELD HOMES, L.P.  
1050 E. HWY 114  
SUITE 210  
SOUTHLAKE, TEXAS 7092  
PH. (817) 416-1572

LANDSCAPE ARCHITECT:

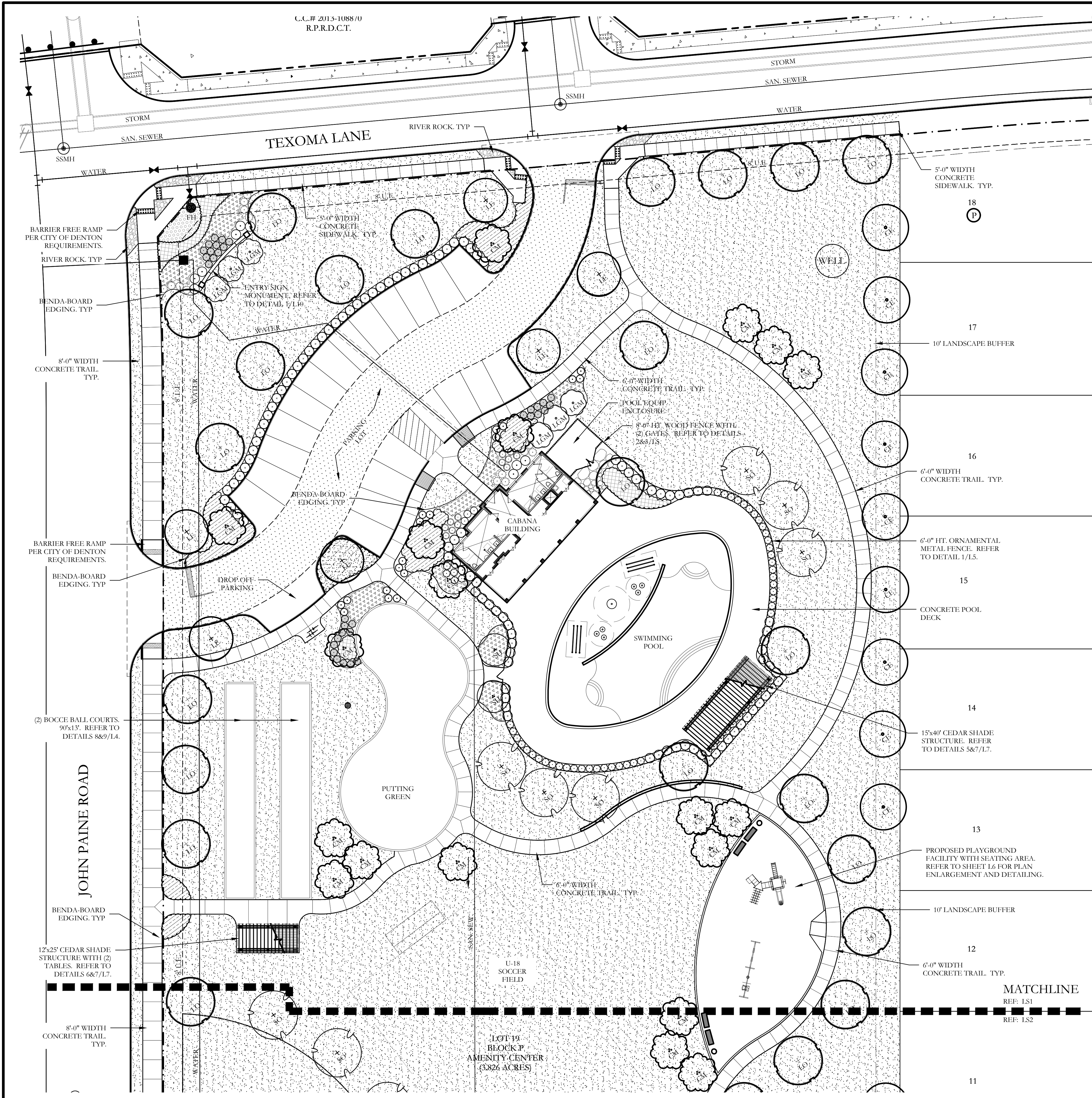
CODY JOHNSON STUDIO, LLC  
12217 CHATTANOOGA DR.  
FRISCO, TEXAS 75035  
PH. (903) 570-0162  
CONTACT: CODY JOHNSON, ASLA, LI

SITE PLAN  
COUNTRY LAKES NORTH  
PHASE 3A-B  
LOT 19, BLOCK P  
~AMENITY CENTER~

3.826 ACRES IN  
OUT OF THE  
SPENCER GRAHAM SURVEY, ABSTRACT NO. 468,  
THE MARY SMITH SURVEY, ABSTRACT NO. 1181,  
AND THE WILLIAM SMITH SURVEY, ABSTRACT  
NO. 1182 IN THE  
CITY OF DENTON, DENTON COUNTY, TEXAS

SUBMITTAL DATE: April 26, 2016 SP1





PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	3" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN
	LGM	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIPER	AS SHOWN
	SH	SAVANNAH HOLLY	ILEX X ATTENUATA 'SAVANNAH'	2" CALIPER	AS SHOWN
	CM	MUSKOGEE CRAPE MYRTLE	LAGERSTROEMIA INDICA X FAURIEI 'MUSKOGEE'	2" CALIPER	AS SHOWN
		PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	7 GALLON	48" O.C.
		DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	5 GALLON	36" O.C.
		KNOCKOUT ROSE	ROSA SPP.	7 GALLON	36" O.C.
		MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.
		PINKIE INDIAN HAWTHORN	RHAPHIOLEPIS INDICA 'PINKIE'	3 GALLON	36" O.C.
		INDIAN HAWTHORN 'SNOW'	RHAPHIOLEPIS INDICA 'SNOW'	3 GALLON	36" O.C.
		RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.
		DWARF WAYMYRTLE	MYRTICA SPP.	3 GALLON	36" O.C.
		GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	12" O.C.
		TAM JUNIPER	JUNIPERUS SABINA 'TAMARISCIFOLIA'	3 GALLON	36" O.C.
		WEeping LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
		OKLAHOMA RIVER ROCK		SQUARE FEET	100% COVERAGE
			3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1-2" AND 2-4" IN SIZE. REFER TO DETAIL 3/L3.		

CODY JOHNSON  
s.t.u.d.i.o

12217 CHATTAHOOCHEE DR. FRESCO, TEXAS 75065  
PH: (936) 570-0162  
EMAIL: CODY@CODYJOHNSONSTUDIO.COM

REGISTERED LANDSCAPE ARCHITECT  
CODY L. JOHNSON  
STATE OF TEXAS  
2833  
June 22, 2016

NORTH

20 10 0 20  
Scale: 1" = 20'-0"

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

AMENITY CENTER FACILITY

Landscape Plan

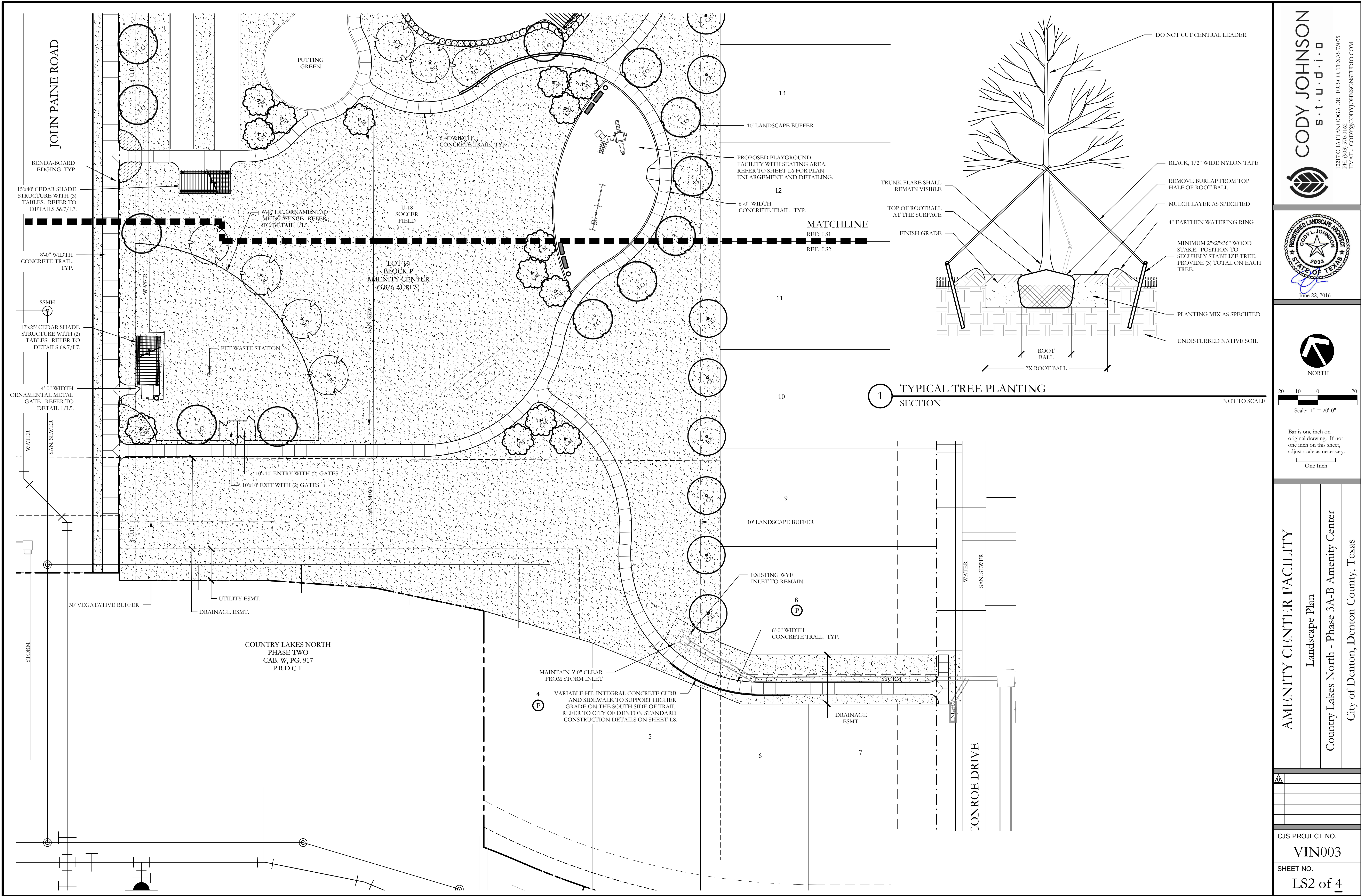
Country Lakes North - Phase 3A-B Amenity Center

City of Denton, Denton County, Texas

CJS PROJECT NO.  
VIN003

SHEET NO.  
LS1 of 4







REQUIRED: 10'-0" WIDTH LANDSCAPE BUFFER WITH (1) ONE TREE PER 30 LINEAR FEET.  
PROVIDED: 10'-0" WIDTH LANDSCAPE BUFFER WITH (1) ONE TREE PER 30 LINEAR FEET  
ON EAST BOUNDARY LINE. WOOD FENCE WILL BE PROVIDED BY EACH  
HOMEOWNER ON EACH PRIVATE LOT.

REQUIRED: 10'-0" WIDTH LANDSCAPE BUFFER WITH (1) ONE TREE PER 30 LINEAR FEET.  
PROVIDED: 10'-0" WIDTH LANDSCAPE BUFFER WITH (1) ONE TREE PER 30 LINEAR FEET  
ON EAST BOUNDARY LINE. WOOD FENCE WILL BE PROVIDED BY EACH  
HOMEOWNER ON EACH PRIVATE LOT.

REQUIRED: 30'-0" WIDTH LANDSCAPE BUFFER.  
PROVIDED: 30'-0" WIDTH LANDSCAPE BUFFER ALONG SOUTHERN BOUNDARY LINE.

PARKING LOT LANDSCAPE PROVIDED:

1. GREATER THAN 7% OF THE TOTAL PARKING AREA IS PROPOSED TO BE LANDSCAPED WITH SHRUBS AND GROUND COVER.
2. GREATER THAN 15% OR 1,775 SQ. FT. OF THE REQUIRED PARKING IS PROPOSED TO BE COVERED WITH TREE CANOPY. (12 TREES PROVIDED WITH 12,912 TOTAL. COVERAGE AT MATURE SPREAD)
3. SCREENING OF THE PARKING LOT IS PROVIDED BY PROPOSING A 3' HT. EVERGREEN HEDGE AND SHADE TREES PLANTED EVERY 40 LINEAR FEET BETWEEN THE PARKING LOT AND R.O.W.

PROPOSED USE: PRIVATE RECREATION CENTER

LAND AREA: 166,660.56 S.F. OR 3.26 ACRES

TOTAL SQUARE FEET OF IMPERVIOUS SURFACE: 44,960.56 S.F.

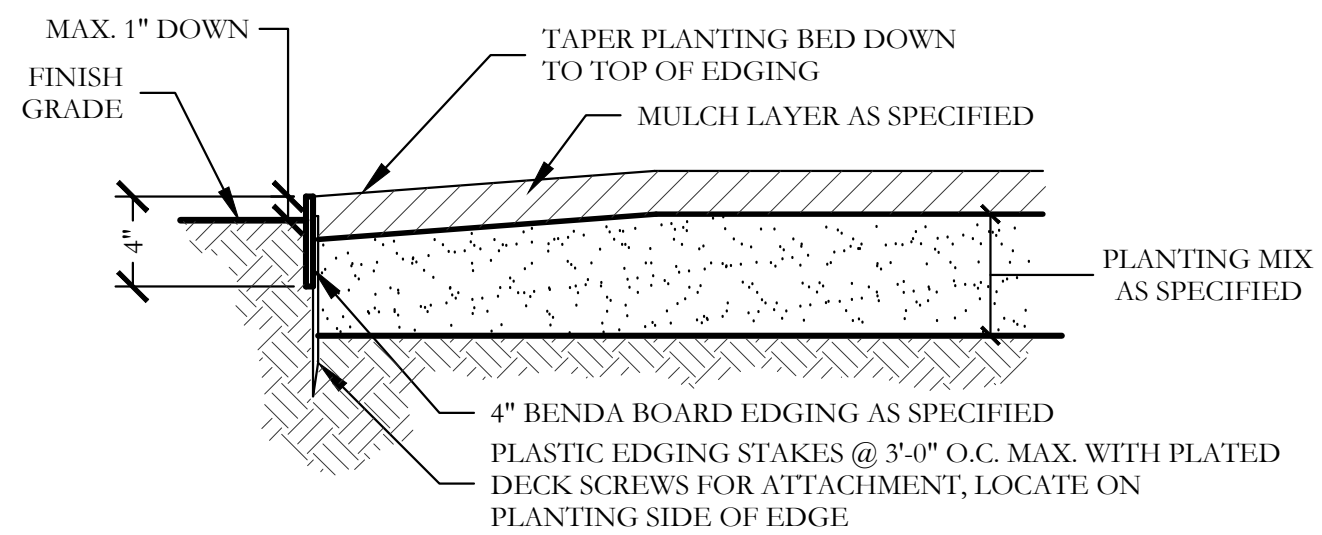
NO EXISTING TREES LIE WITHIN THE SITE.

TOTAL AREA OF NEW TREE CANOPY: 115,100 S.F. OR 70%

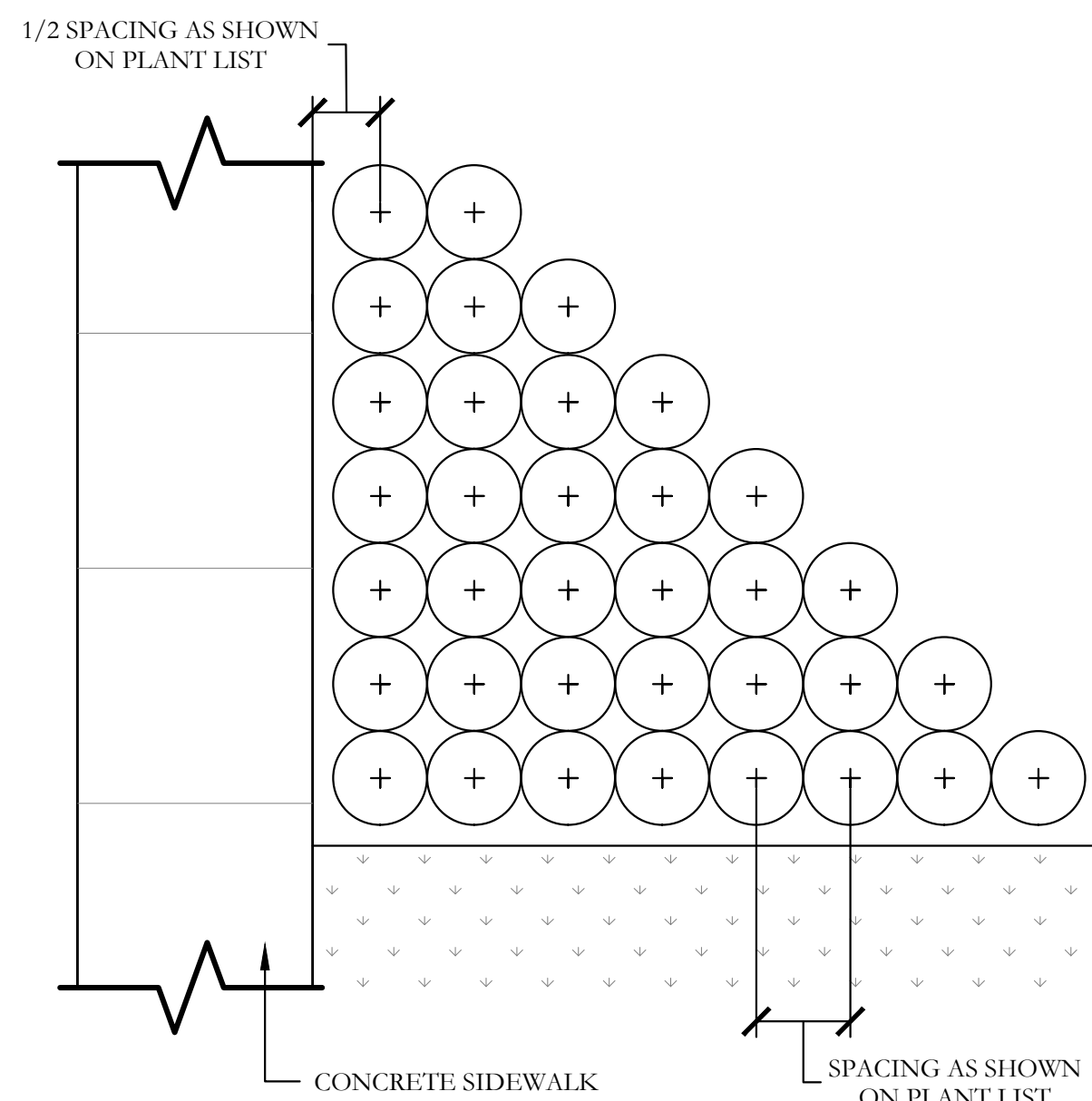
TOTAL LANDSCAPED OPEN AREAS: 121,700 S.F. OR 73%

TOTAL PARKING LOT AREA: 11,820 S.F. OR 7%

ALL LANDSCAPED AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM AS SHOWN ON IRRIGATION PLANS, THIS SET.

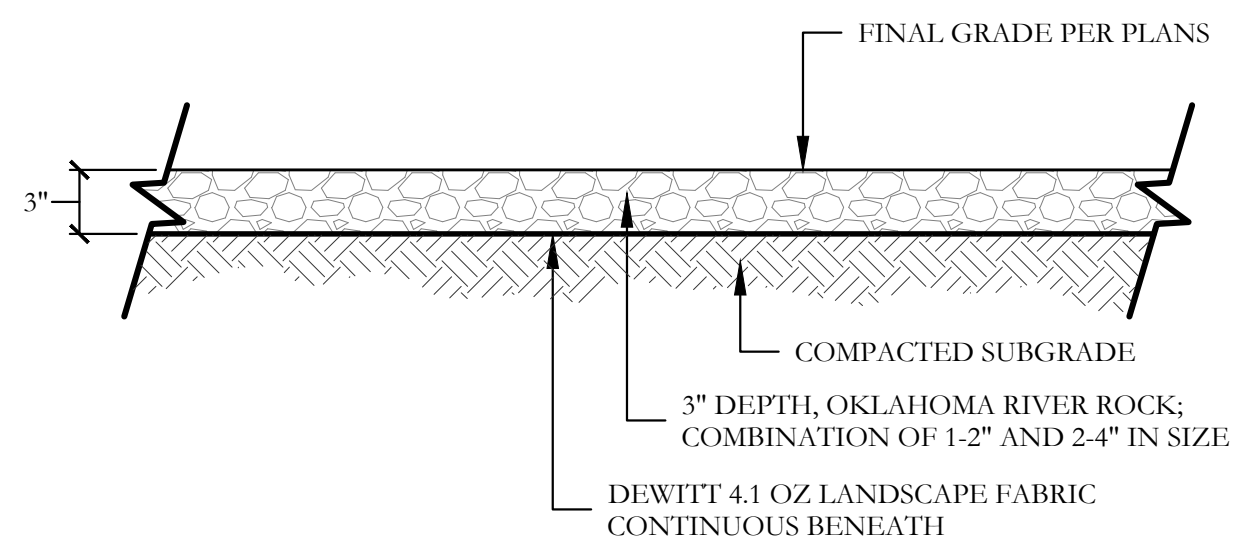


1 TYPICAL BED EDGING DETAIL  
SECTION NOT TO SCALE

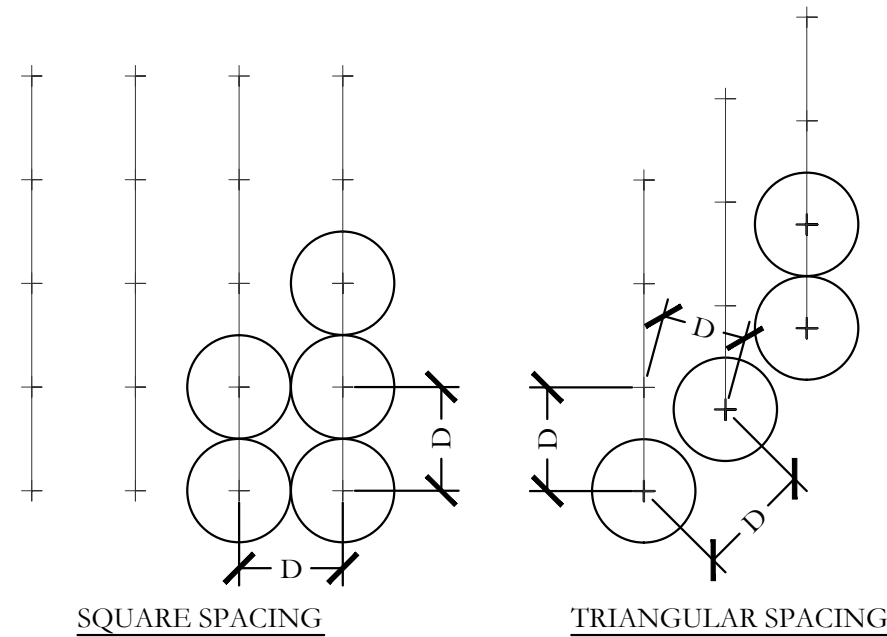


## 2 TYPICAL SHRUB AND GROUNDCOVER PLANTING PLAN/SECTION

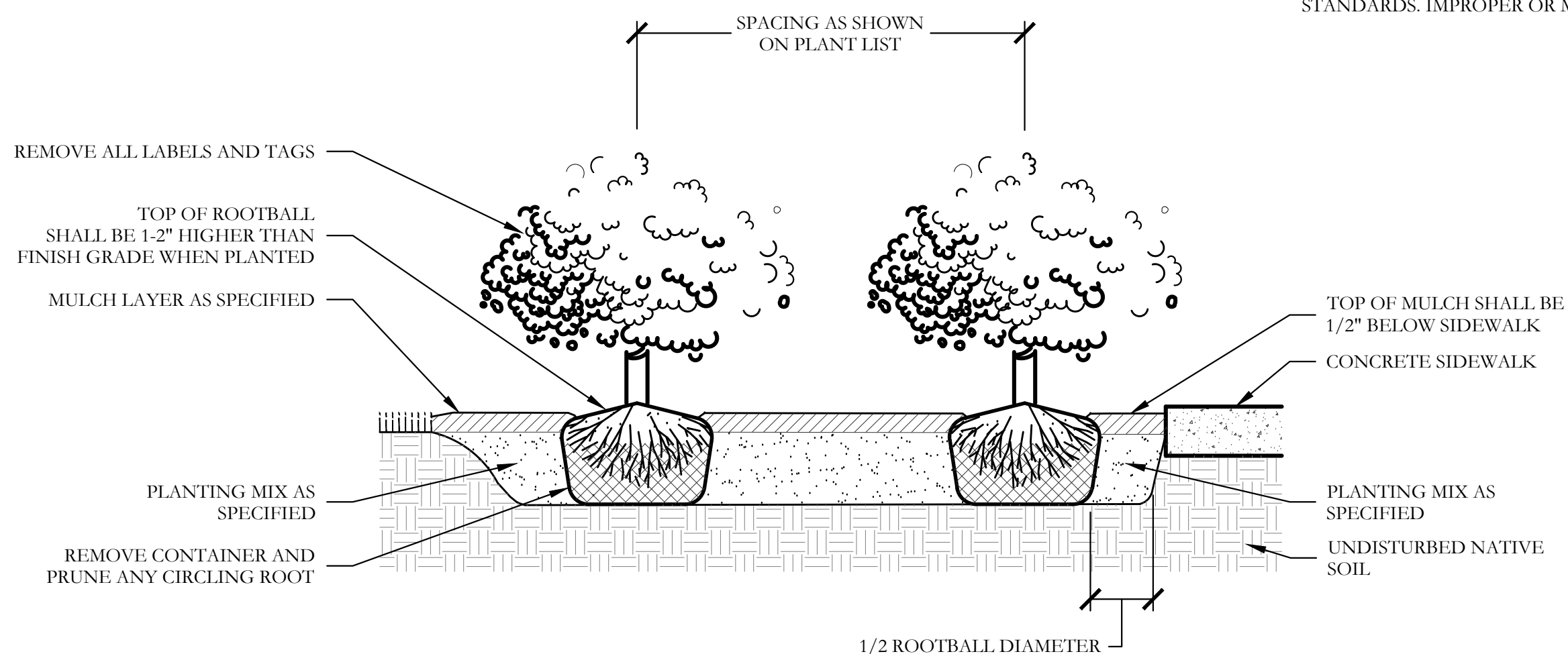
PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	26	LIVE OAK	QUERCUS VIRGINIANA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	10	SHUMARD OAK	QUERCUS SHUMARDII	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LE	6	LACEBARK ELM	ULMUS PARVIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	15	CEDAR ELM	ULMUS CRASSIFOLIA	3" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LGM	6	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
SH	2	SAVANNAH HOLLY	ILEX X ATTENUATA 'SAVANNAH'	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
CM	23	MUSKOGEE CRAPE MYRTLE	LAGERSTROEMIA INDICA X FAURIEI 'MUSKOGEE'	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	9	PURPLE DIAMOND LOROPETALUM	LOROPETALUM CHINENSIS 'PURPLE DIAMOND'	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	105	DWARF BURFORD HOLLY	ILEX CORNUTA 'DWARF BURFORD'	5 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	3	KNOCKOUT ROSE	ROSA SPP.	7 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	14	MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	47	PINKIE INDIAN HAWTHORN	RHAPHIOLEPS INDICA 'PINKIE'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	33	INDIAN HAWTHORN SNOW	RHAPHIOLEPS INDICA 'SNOW'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	18	RED YUCCA	HESPERALOE PARVIFLORA	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	12	DWARF WAYMYRTLE	MYRICA SPP.	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	210	GULF MUHLY GRASS	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	1 GALLON	24" O.C.	CONTAINER GROWN; FULL PLANT.
	500	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	12" O.C.	CONTAINER GROWN; FULL PLANT.
	130	TAM JUNIPER	JUNIPERUS SABINA 'TAMARISCIFOLIA'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	720	WEEPING LOVE GRASS	ERAGROSTIS CURVULA	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	450	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	117,000	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN
	270	OKLAHOMA RIVER ROCK	N/A	SQUARE FEET	SOLID COVERAGE	3" DEPTH RIVER ROCK BED WITH LANDSCAPE FABRIC BENEATH AS SHOWN IN DETAILS. RIVER ROCK SHALL INCLUDE A MIXTURE OF TANS, BROWNS, GRAYS AND PINKS. RIVER ROCK SHALL BE AN EQUAL COMBINATION OF 1-2" AND 2-4" IN SIZE. REFER TO DETAIL 3/LS3.



# 3 OKLAHOMA RIVER ROCK BEDSECTION SCALE: 1" = 1'-0"



<b>NOTE:</b>	
1.	TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS.
2.	"D" EQUALS THE SPACING DISTANCE AS SPECIFIED ON THE PLANT LEGEND.



## 2 TYPICAL SHRUB AND GROUND COVER PLANTING

**INSPECTIONS:**

1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. ALL MARKERS, CLEAR CUTS, AND OTHER APPURTEANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

## LANDSCAPE STANDARDS:

1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS.
2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL PLANTING ELEMENTS.
3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
6. TREES PLANTED IN THE CITY OF CHICAGO SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
8. TREE PITTS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24 HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL. TREES AND TREES TO BE PLANTED TO HAVE 3" OF MULCH.
10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

### IRRIGATION STANDARDS:

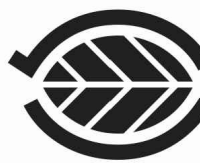
1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
2. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
3. IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
4. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
5. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
6. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
7. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LINES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
8. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-HEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
9. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRANCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPAIRED.
4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE ROOT ZONE.
7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
8. NO TRENCING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



June 22, 2016

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

---

One Inch

# AMENITY CENTER FACILITY

## Landscape Details

Country Lakes North - Phase 3A-B Amenity Center

City of Denton, Denton County, Texas



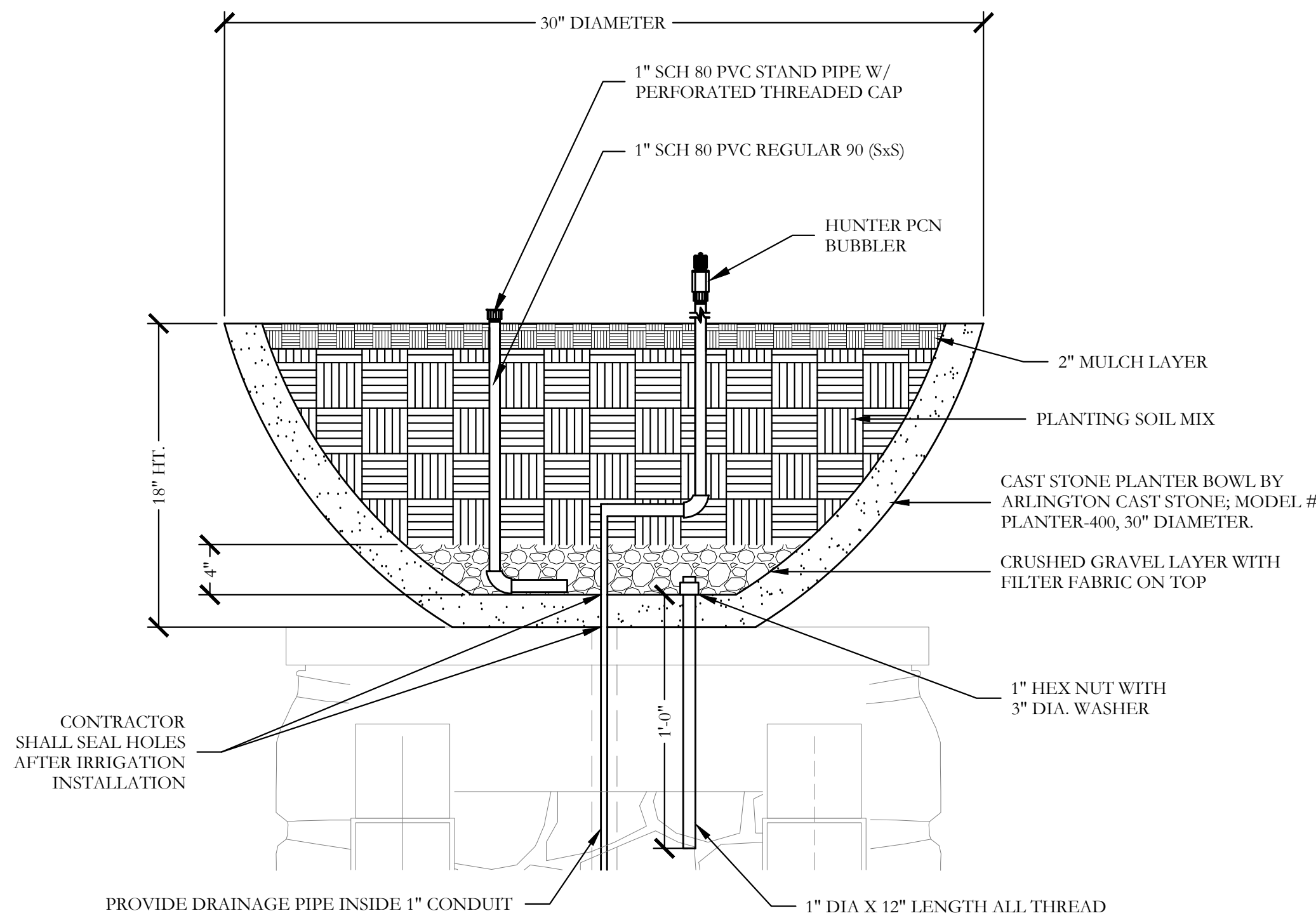
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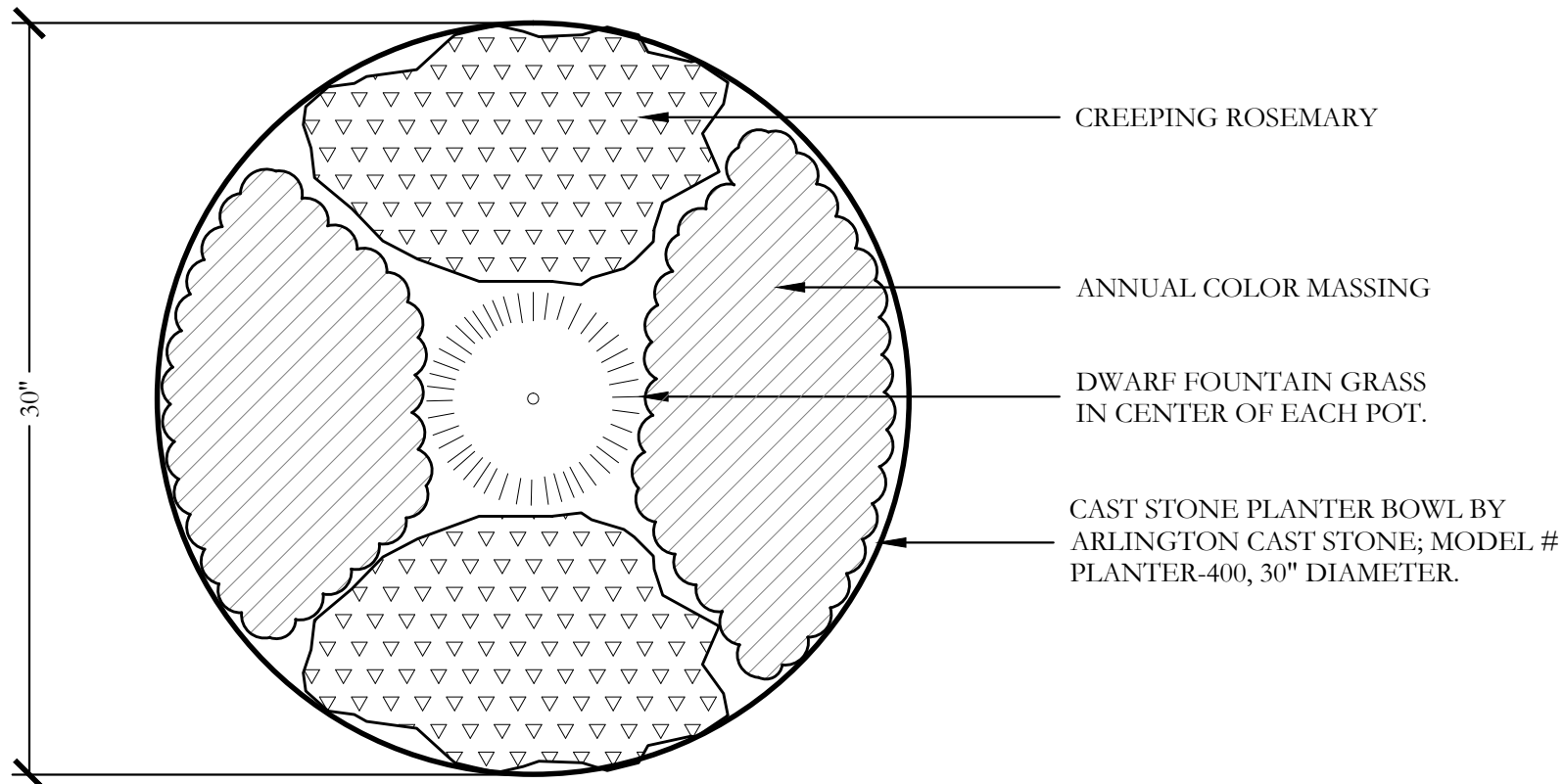
SHEET NO

LS3 of 4





1 TYPICAL LANDSCAPE POTTERY DETAIL ATOP COLUMN SECTION NOT TO SCALE



2 LANDSCAPE POTTERY PLANTING LAYOUT PLAN NOT TO SCALE

LANDSCAPE POTTERY PLANT LIST						
SYMBOL	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
	2	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	2 GALLON	CENTER OF POT	CONTAINER GROWN; FULL PLANT.
	16	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	4	CREEPING ROSEMARY	ROSMARINUS OFFICINALIS 'PROSTRATUS'	1 GALLON	12" O.C.	CONTAINER GROWN; FULL PLANT.
	2	CAST STONE PLANTER BOWL BY ARLINGTON CAST STONE; MODEL # PLANTER-400, 30" DIAMETER.				

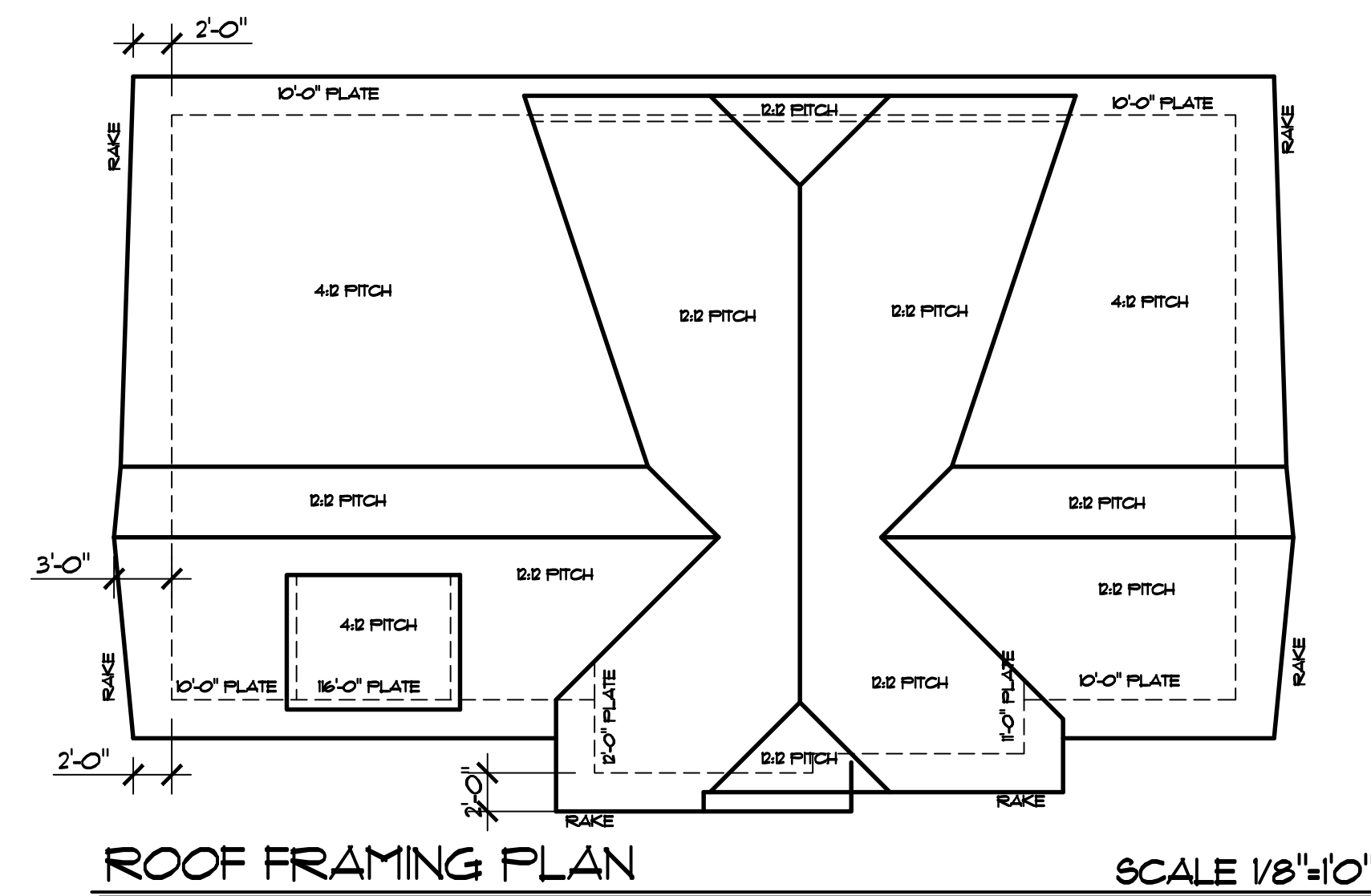


MIKE FISH DESIGN  
824 FONTANA  
RICHARDSON, TEXAS 75080  
(469) 952-8839

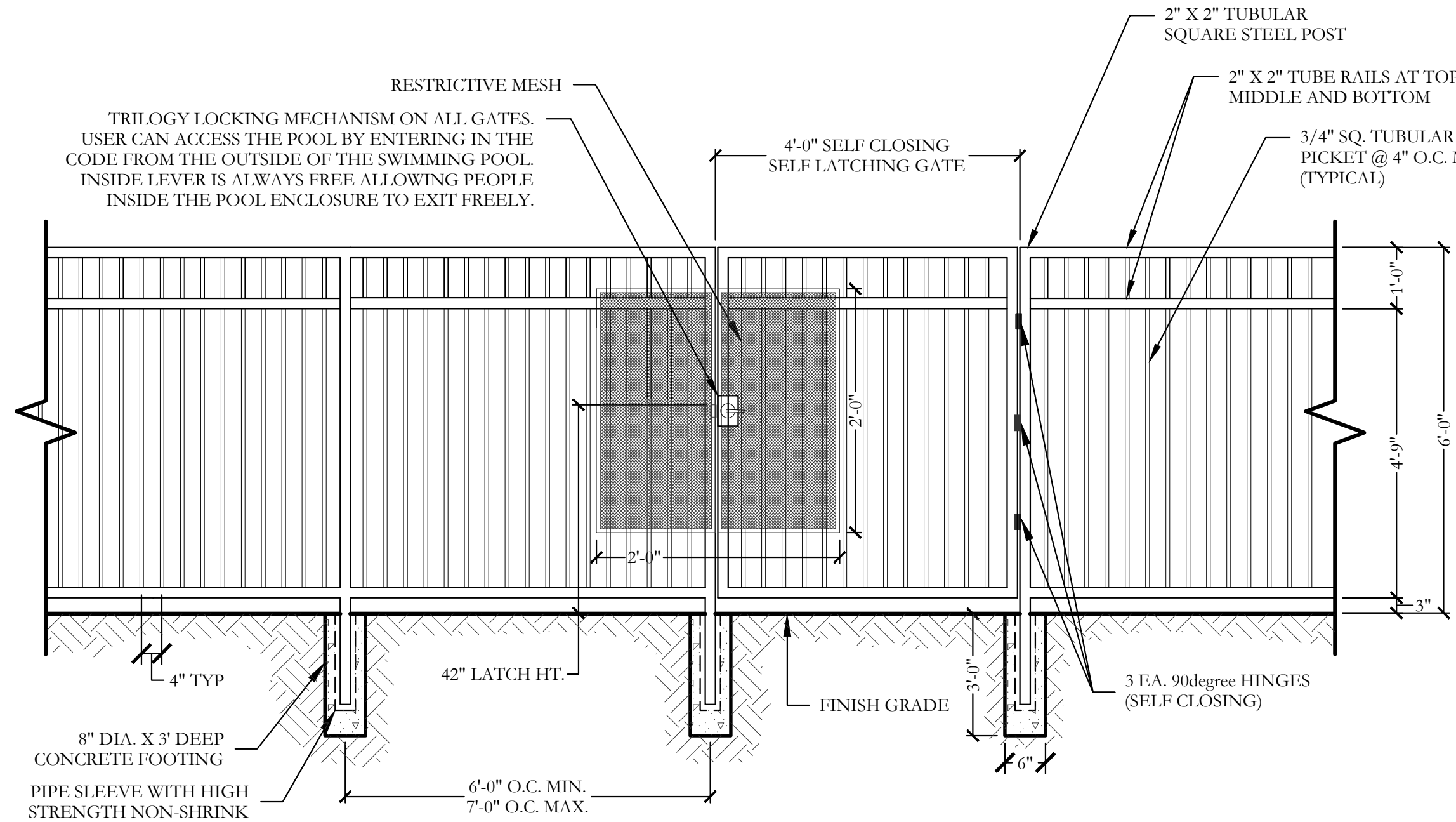
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6-16-5

DATE REVISED  
3-18-16

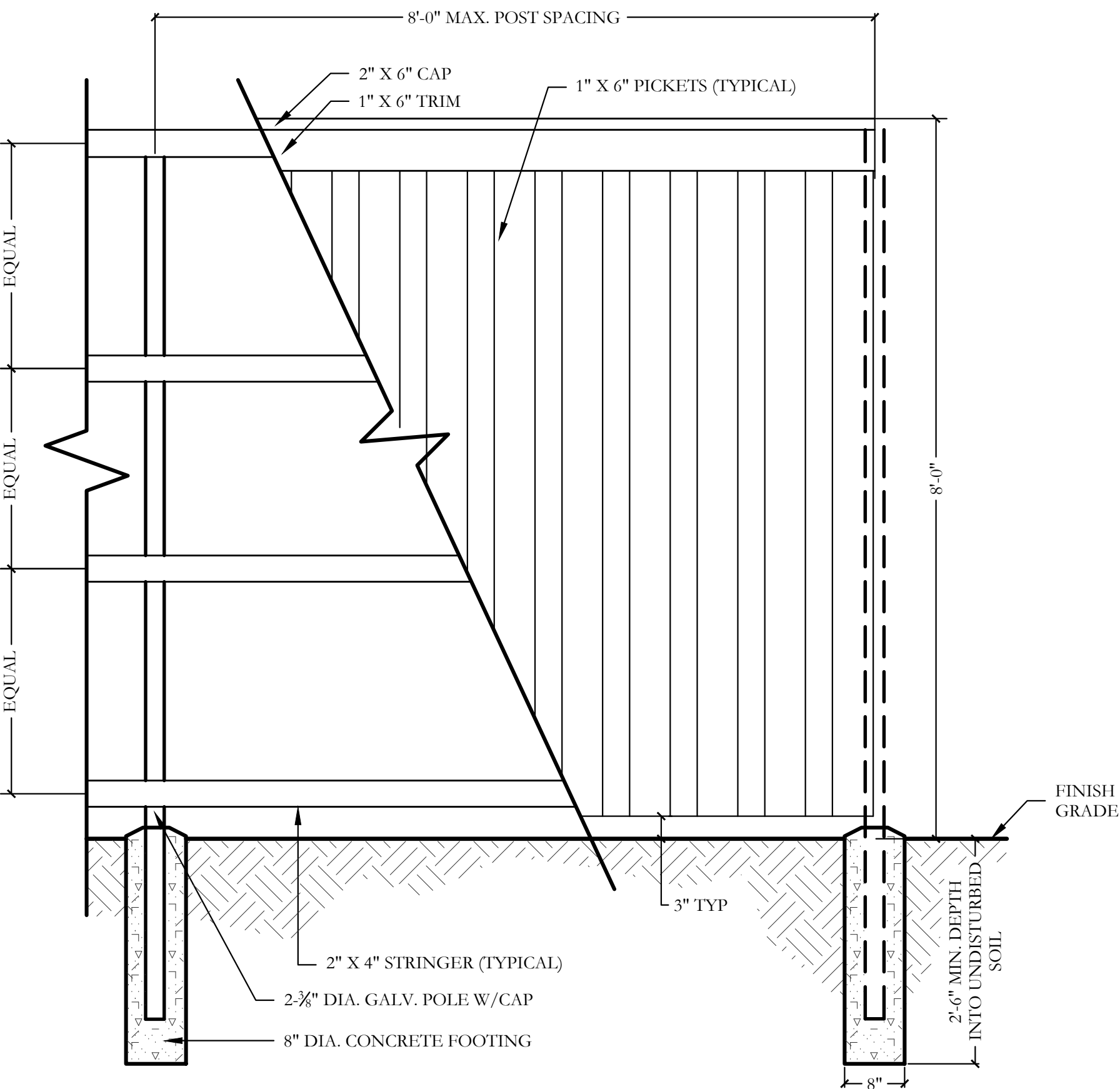
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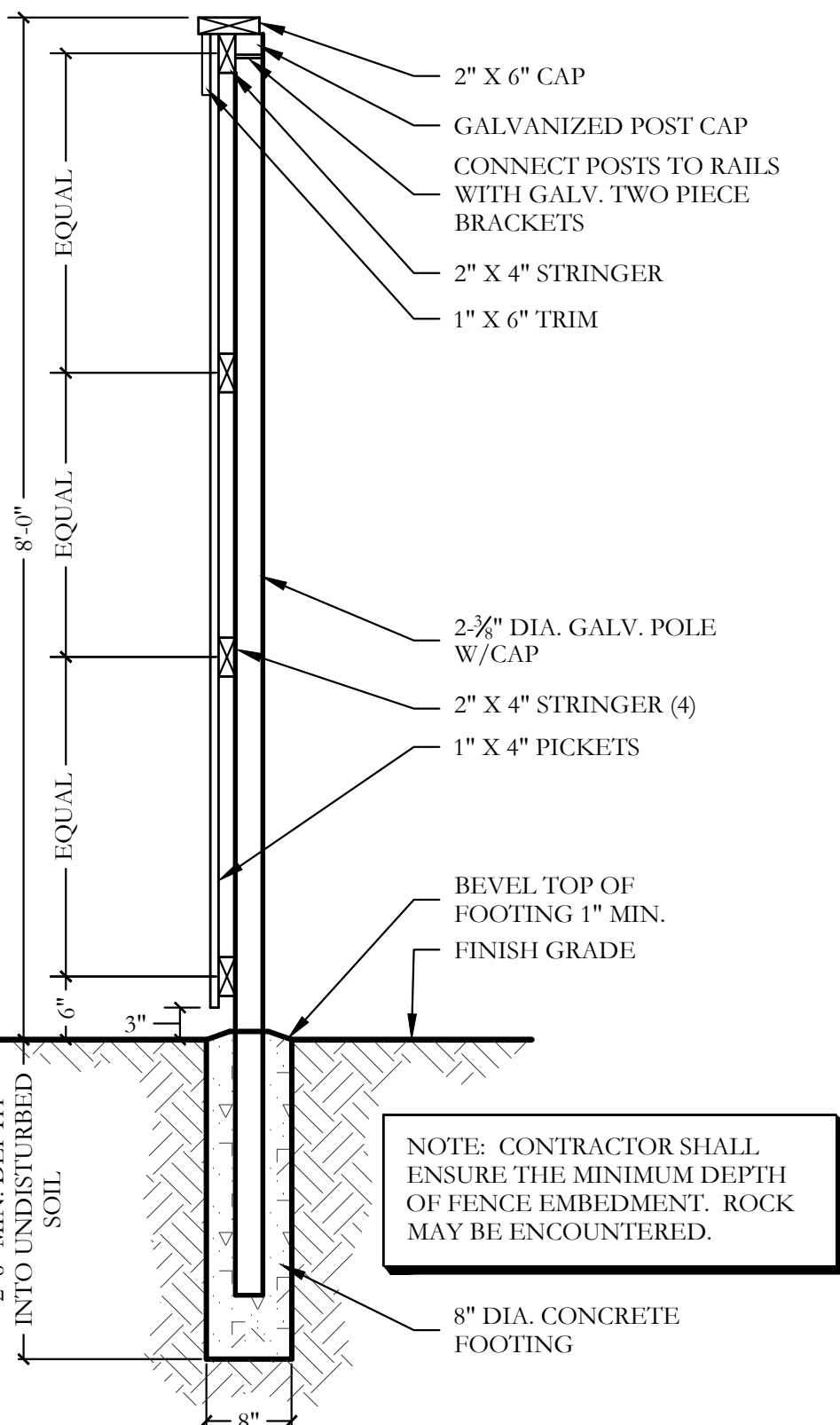




1 ORNAMENTAL METAL FENCE AND GATE  
ELEVATION  
SCALE: 1/2"=1'-0"



2 PARTIAL 8'-0" HT. WOOD FENCE  
ELEVATION  
SCALE: 3/4"=1'-0"



3 8'-0" HT. WOOD FENCE  
SECTION  
SCALE: 3/4"=1'-0"

## FENCE LAYOUT NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPE AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL UNDERGROUND UTILITIES AND WILL BE RESPONSIBLE FOR COSTS INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES OR STRUCTURES CAUSED BY HIS FORCES. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION, AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS OR CONFLICTS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LAYOUT OF THE PROPOSED WALLS AND COLUMNS. THE OWNER'S ENGINEER SHALL STAKE THE LOCATIONS OF THE PROPERTY, R.O.W. LINES AND EASEMENTS. THE CONTRACTOR SHALL STAKE ALL OF THE FENCE AND COLUMN LOCATIONS FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. THE OWNER'S REPRESENTATIVE MAY MAKE MINOR ALTERATIONS TO THE LAYOUT AFTER STAKING AND BEFORE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- ALL "STEPS" IN THE WALL MADE NECESSARY BY GRADE CHANGES OR EXISTING SLOPE SHALL OCCUR ONLY AT MINOR OR MAJOR COLUMNS. THE MINIMUM "STEP" AT A COLUMN SHALL BE 3" AND THE MAXIMUM "STEP" AT A COLUMN SHALL BE 6".
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
- THE ELECTRICAL WORK SHALL INCLUDE ALL NECESSARY CONDUITS, WIRE, FITTINGS, FIXTURES TRENCHING AND OTHER MISCELLANEOUS ITEMS NECESSARY TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND CITY ACCEPTANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AS NEEDED FOR FENCE AND COLUMN INSTALLATION. THE CONTRACTOR SHALL RETURN THE SITE TO PRE-CONSTRUCTION CONDITION.

## WOOD FENCE NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES VERIFY LOCATION OF ALL UTILITIES WITH THE TOWN AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
- ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF DENTON CODES AND REQUIREMENTS.
- WOOD MATERIAL FOR FENCE:
  - STRINGERS- CEDAR, #2 GRADE OR BETTER.
  - PICKETS- CEDAR, #2 GRADE OR BETTER.
  - CAPS- CEDAR, #2 GRADE OR, BETTER.
- ALL FENCE POST TO BE SCHEDULE 40 - GALVANIZED.
- ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC. ARE TO BE HOT DIPPED GALVANIZED.
- ALL PICKETS ARE TO BE FASTENED TO THE RAILS USING GALVANIZED SCREWS, STAPLES AND/OR NAILS WILL NOT BE ALLOWED. SCREW WITHOUT SPLITTING MEMBERS; DRILL PILOT HOLES IF NECESSARY. ALL SPLIT MEMBERS WILL BE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPLICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. INSTALL STRINGERS WITH BOTTOM EDGES FREE OF DEFECTS. MITER ALL EXPOSED FINISHED JOINTS.
- REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.

## ORNAMENTAL METAL FENCE NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
- ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND CITY INSPECTIONS.
- ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
- PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS. GRIND SMOOTH ALL WELDS.
- ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF URBANE BRONZE (SW7048) BY SHERWIN WILLIAMS PAINT CO., COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE.
- ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
- FENCE MEMBER SIZES TO BE AS FOLLOWS:
  - PICKETS, 3/4" SQUARE 16 GA.
  - RAILS, 2" X 2" SOLID FLAT 16 GA.
- POSTS, 2" SQUARE 11 GA.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
- CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH. GATE IS TO BE SELF CLOSING. FALCON B561BD626 SATIN CHROME DANE SFG CLASSROOM LOCK BY A&H TURE. DEADLOCKING LATCH BOLT BY LEVERS. OUTSIDE LEVER IS LOCKED BY KEY IN OUTSIDE LEVER. INSIDE LEVER IS ALWAYS FREE.
- POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 7'-0" O.C.
- POOL FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.
- LATCH SHALL BE SELF LATCHING, ON POOL SIDE OF ENCLOSURE AT A MIN. 42" ABOVE FINISH PAVING.
- RESTRICTIVE MESH SHALL HAVE NO OPENINGS GREATER THAN 1/2" AND SHALL.



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[specify@anovafurnishings.com](mailto:specify@anovafurnishings.com)  
[anovafurnishings.com](http://anovafurnishings.com)

### AL19BR2— Allure Bike Rack, 2-bike capacity

#### Cast aluminum bike rack, surface mount

##### Material

The bike rack is composed of corrosion-resistant cast aluminum. Use as a stand-alone or arrange in groups. A standard U-lock can be used to meet Association of Pedestrian and Bicycle Professionals (APBP) guidelines for security and functionality. Aluminum is 100% recyclable.

The base has predrilled 4" diameter holes for surface mounting to prevent movement.

Surface mounting is required; mounting hardware is not included.

##### Finish

Face-resistant, powder coated cast aluminum components feature a state-of-the-art primer proven to prevent rusting. Treated components exceed the industry standard by 34% in testing by independent sources.

##### Color

See website or sales representative for color choices.

##### Assembly

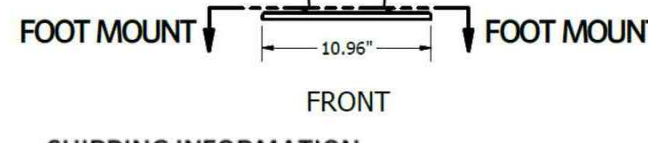
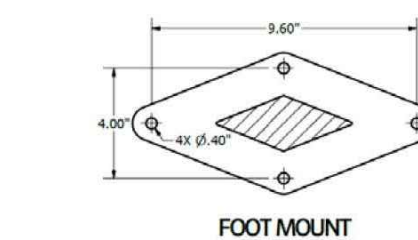
The bike rack ships fully assembled and ready for use. Surface mounting will require some assembly.

##### Maintenance

The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum base products.

##### Warranty

20-year limited structural warranty with 7-year finish warranty against fading from the date of purchase. See full details on multi-year warranties for components at [www.anovafurnishings.com/warranty.aspx](http://www.anovafurnishings.com/warranty.aspx).



Unit Weight	Unit Shipping Wt. (UPS) (1-2 Units)	Unit Shipping Wt. (Truck) (3+ Units)	Unit Ship Size w/Pallet	Max Units Per Pallet	Pallet Size/Wt. (32" x 48")	Total No. Pkgs.	Shipping Class
14 lbs.	16 lbs./unit	16 lbs./unit	9.56 cu. ft.	16	50 lbs.	1	125

11/24/2015

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4 BIKE RACK  
MANUFACTURER SPECIFICATION SHEET

CODY JOHNSON  
s . t . u . d . i . o



Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.  
One Inch

AMENITY CENTER FACILITY

Site Details

Country Lakes North - Phase 3A-B Amenity Center

City of Denton, Denton County, Texas

CJS PROJECT NO.

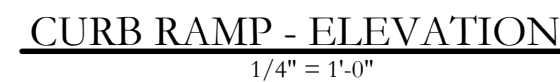
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L5

PDA16-0004



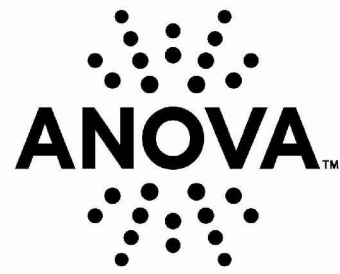


CURB RAMP - PLAN

CURB RAMP - SECTION

PD A16-0004





**L1371**  
**RENDEZVOUS FLAT BENCH**  
6' slotted steel flat bench, portable/  
surface mount

**Material**  
The seat is 71.12" long and is composed of 12-gauge slotted steel with a .75" gap slotted pattern. The seat is protected by Fusion Advantage™, a plastisol coating with an average .125" thickness and a high-gloss powder coat.

The bench ends are cast iron and are protected by a fade resistant powder coat finish featuring a state of the art primer proven to prevent rusting. The bench is designed to be portable for flexibility in placement, and the legs have feet that can accommodate surface mounting to prevent movement. Mounting hardware is not included. The capacity of the bench is 200 lbs per linear foot.

**Finish**  
Fusion Advantage is a heat fused plastisol coating that creates an impervious rustproof barrier and resists UV deterioration, mildew, staining and fading.

The finish has been tested to the requirements of ASTM E1354 and is determined to be in compliance with California Uniform Fire Code 1103.2.1.4.2.

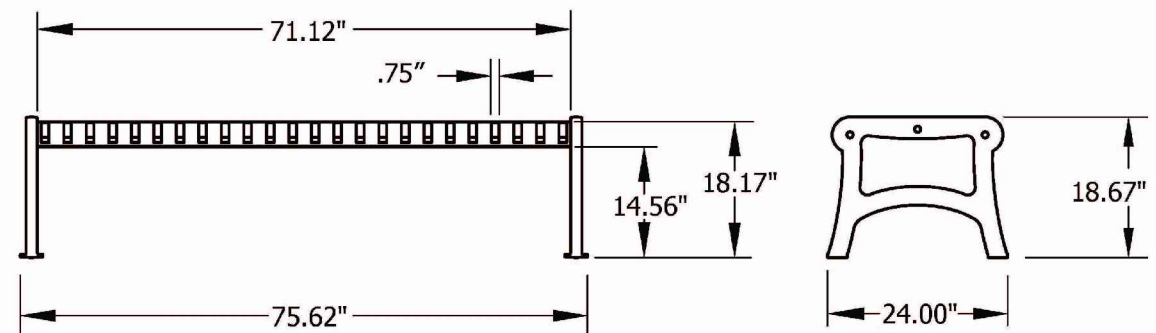
A state of the art primer is applied to all of the under supports, providing extreme rust fighting protection and durability. Treated components exceed the industry standard by 34% in testing by independent sources.

**Color**  
This product is available in the following vibrant colors: Black, Blue, Bronze, Brown, Burgundy, Camel, Charcoal, Evergreen, Gray, Navy, Orange, Purple, Red, Sage, Silver, Teal, Vanilla, White, and Yellow.

**Assembly**  
The bench requires some assembly. Stainless steel assembly hardware is included.

**Maintenance**  
The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum based products.

**Warranty**  
20-year limited structural warranty with 7-year finish warranty from the date of purchase. Fusion Advantage components further warrants components will not rust, peel, chip, crack, mold or mildew for 7 years.



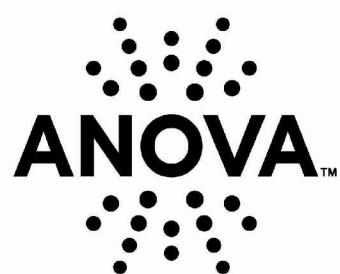
Shipping Information						
Unit Wt.	Unit Shipping Wt. UPS	Unit Shipping Wt. Truck (1+ Units)	Unit Ship Size w/Pallet	Max Units per Pallet	Pallet Wt. 84" x 36"	Total No. Pkgs
143 lbs	N/A	156 lbs/unit	29 cu. ft.	4	100 lbs	3

Revised: 02/06/13

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1 PEDESTRIAN BENCH DETAIL  
MANUFACTURER SPECIFICATION SHEET

NTS



**L13780H**  
**RENDEZVOUS RECEPTACLE**  
32-gallon slotted steel receptacle  
with rubber feet and plastic liner

**Material**  
The receptacle is 39.00" tall and is composed of 12-gauge slotted steel with a .75" gap slotted pattern. The receptacle is protected by Fusion Advantage™, a plastisol coating with an average .125" thickness and a high-gloss powder coat. The receptacle includes a 14-gauge spun steel open hood top. The top is protected by a fade resistant powder coat finish featuring a state of the art primer proven to prevent rusting. The top includes a 14" security strap and lifts off for easy trash removal.

The receptacle has rubber feet which are adjustable to assist in leveling the receptacle. The capacity of the receptacle is 32 gallons. The reusable plastic liner is made of black high-density polyethylene.

**Finish**  
Fusion Advantage is a heat fused plastisol coating that creates an impervious rustproof barrier and resists UV deterioration, mildew, staining and fading.

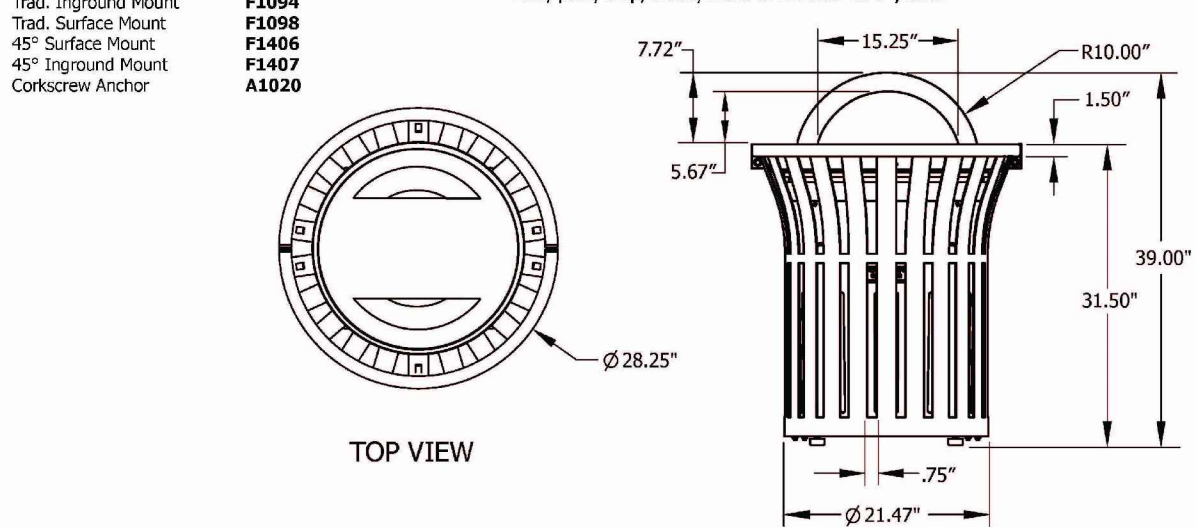
The finish has been tested to the requirements of ASTM E1354 and is determined to be in compliance with California Uniform Fire Code 1103.2.1.4.2.

**Color**  
This product is available in the following vibrant colors: Black, Blue, Bronze, Brown, Burgundy, Camel, Charcoal, Evergreen, Gray, Navy, Orange, Purple, Red, Sage, Silver, Teal, Vanilla, White, and Yellow.

**Assembly**  
The receptacle is shipped fully assembled and ready for use.

**Maintenance**  
The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum based products.

**Warranty**  
20-year limited structural warranty with 7-year finish warranty from the date of purchase. Fusion Advantage components further warrants components will not rust, peel, chip, crack, mold or mildew for 7 years.



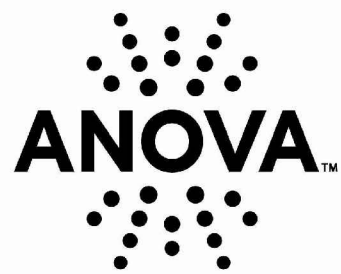
Shipping Information						
Unit Wt.	Unit Shipping Wt. UPS	Unit Shipping Wt. Truck (1+ Units)	Unit Ship Size w/Pallet	Max Units per Pallet	Pallet Wt. 48" x 32"	Total No. Pkgs
95 lbs	N/A	109 lbs/unit	33 cu. ft.	3	50 lbs	2

Revised: 02/06/13

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2 TRASH RECEPTACLE DETAIL  
MANUFACTURER SPECIFICATION SHEET

NTS



**L1388S**  
**RENDEZVOUS TABLE**  
46" diameter steel table, 4 contour  
swivel seats, portable mount

**Accessories**  
9' Standard Color Umbrella  
9' Premium Color Umbrella

9LPU-CSC  
9LPU-CPC

**Material**  
The table is 46.25" in diameter and features four contour swivel seats. The table top is 12-gauge steel and features a durable 1.5" square steel tube edge. The seats are 12-gauge slotted steel with a .75" gap slotted pattern and feature a reinforced frame connection. The seats swivel 90 degrees to each side for ease of entry and exit and are designed to automatically return to their original position. The table top and seats are protected by Fusion Advantage™, a plastisol coating with an average .125" thickness and a high-gloss powder coat.

The table also features a 1.64" diameter umbrella hole in the center with a built-in umbrella holder. The table top is designed to support 100 lbs per square foot and the seats will support 200 lbs per linear foot.

The frame and legs are made of 2.38" O.D. steel tubing protected by a fade resistant powder coat finish featuring a state of the art primer proven to prevent rusting. The table is portable in design allowing for flexibility in placement. The legs feature feet with predrilled holes for surface mounting to prevent movement. Mounting hardware is not included.

**Finish**  
Fusion Advantage is a heat fused plastisol coating that creates an impervious rustproof barrier and resists UV deterioration, mildew, staining and fading.

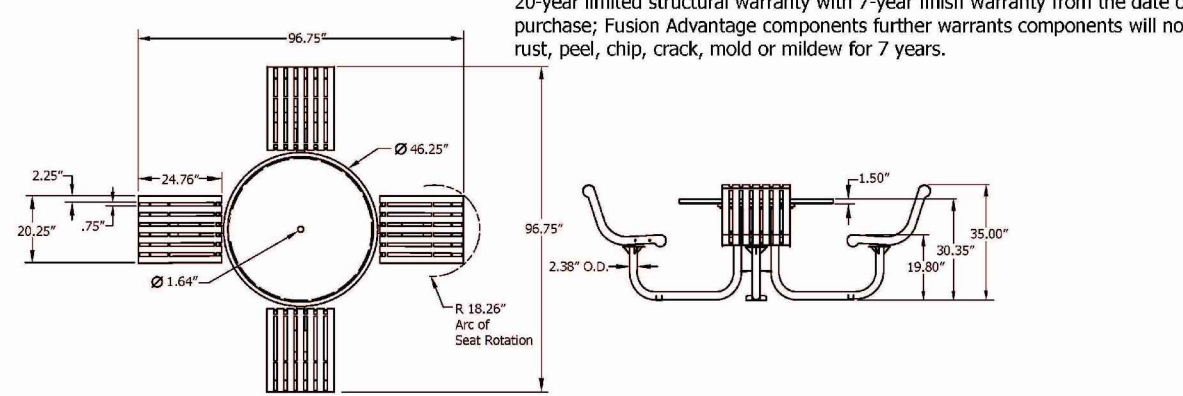
The finish has been tested to the requirements of ASTM E1354 and is determined to be in compliance with California Uniform Fire Code 1103.2.1.4.2.

A state of the art primer is applied to all of the under supports, providing extreme rust fighting protection and durability. Treated components exceed the industry standard by 34% in testing by independent sources.

**Assembly**  
The table requires some assembly. Stainless steel assembly hardware is included.

**Maintenance**  
The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum based products.

**Warranty**  
20-year limited structural warranty with 7-year finish warranty from the date of purchase. Fusion Advantage components further warrants components will not rust, peel, chip, crack, mold or mildew for 7 years.



Shipping Information						
Unit Wt.	Unit Shipping Wt. UPS	Unit Shipping Wt. Truck (1+ Units)	Unit Ship Size w/Pallet	Max Units per Pallet	Pallet Wt. 84" x 36"	Total No. Pkgs
327 lbs	N/A	347 lbs/unit	42 cu. ft.	2	50 lbs	8

Revised: 04/01/13

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3 TABLE DETAIL  
MANUFACTURER SPECIFICATION SHEET

NTS



**L1395 — Rendezvous ADA Table with 3 Contour Seats**  
46" diameter steel ADA table with three contour seats, surface mount

**Material**  
The table has a 46.25" diameter table top and features three contour seats and meets ADA requirements. The solid surface top is 12-gauge steel and features a durable 1.5" square steel tube edge. The seats are 12-gauge steel with a .75" gap slotted pattern and feature a reinforced frame connection. The top also features a 1.64" diameter umbrella hole in the center. The top is designed to support 100 lbs. per square foot and the seats will support 200 lbs. per linear foot.

The table frame and legs are made of 2.38" O.D. steel tubing and feature a built-in umbrella holder. The table legs have feet with predrilled 4" diameter holes for surface mounting to prevent movement. Mounting hardware is not included.

**Finish**  
Solid surface steel table top and steel slat seats are protected by the patented Fusion Advantage™ finish. The plastisol coating has an average thickness of .125" and is encapsulated with a richly tinted, high performance powder coating that won't rust, fade, peel, chip, crack, mold or mildew. The finish has been tested to the requirements of ASTM E1354 and determined to be in compliance with California Uniform Fire Code 1103.2.1.4.2.

Fade-resistant, powder coated steel frame and legs feature a state-of-the-art primer proven to prevent rusting. Treated components exceed the industry standard by 34% in testing by independent sources.

**Color**  
See website or sales representative for color choices.

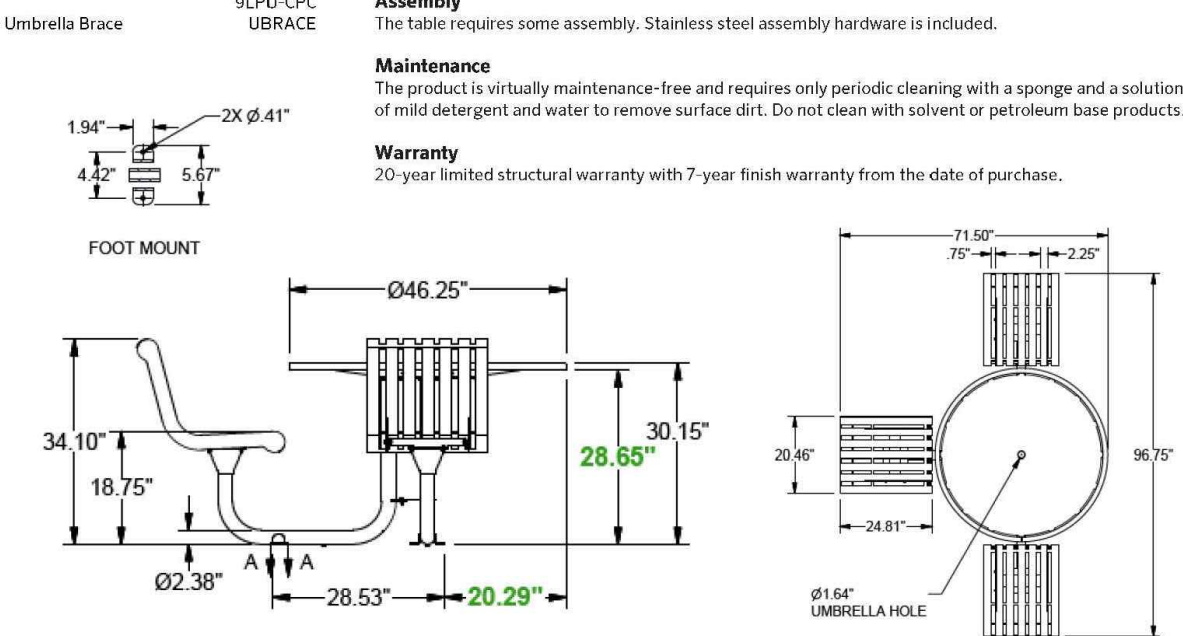
**Assembly**  
The table requires some assembly. Stainless steel assembly hardware is included.

**Maintenance**  
The product is virtually maintenance-free and requires only periodic cleaning with a sponge and a solution of mild detergent and water to remove surface dirt. Do not clean with solvent or petroleum based products.

**Warranty**  
20-year limited structural warranty with 7-year finish warranty from the date of purchase.

**Accessories**  
9' Standard Fabric Color Umbrella  
9' Premium Fabric Color Umbrella  
Umbrella Brace

9LPU-CSC  
9LPU-CPC  
UBRACE



Shipping Information						
Unit Weight	Unit Shipping Wt. UPS	Unit Shipping Wt. Truck (1+ Units)	Unit Ship Size w/Pallet	Max Units per Pallet	Pallet Size/Wt. (48" x 48")	Total No. Pkgs.
276 lbs.	N/A	301 lbs./unit	42 cu. ft.	2	50 lbs.	8

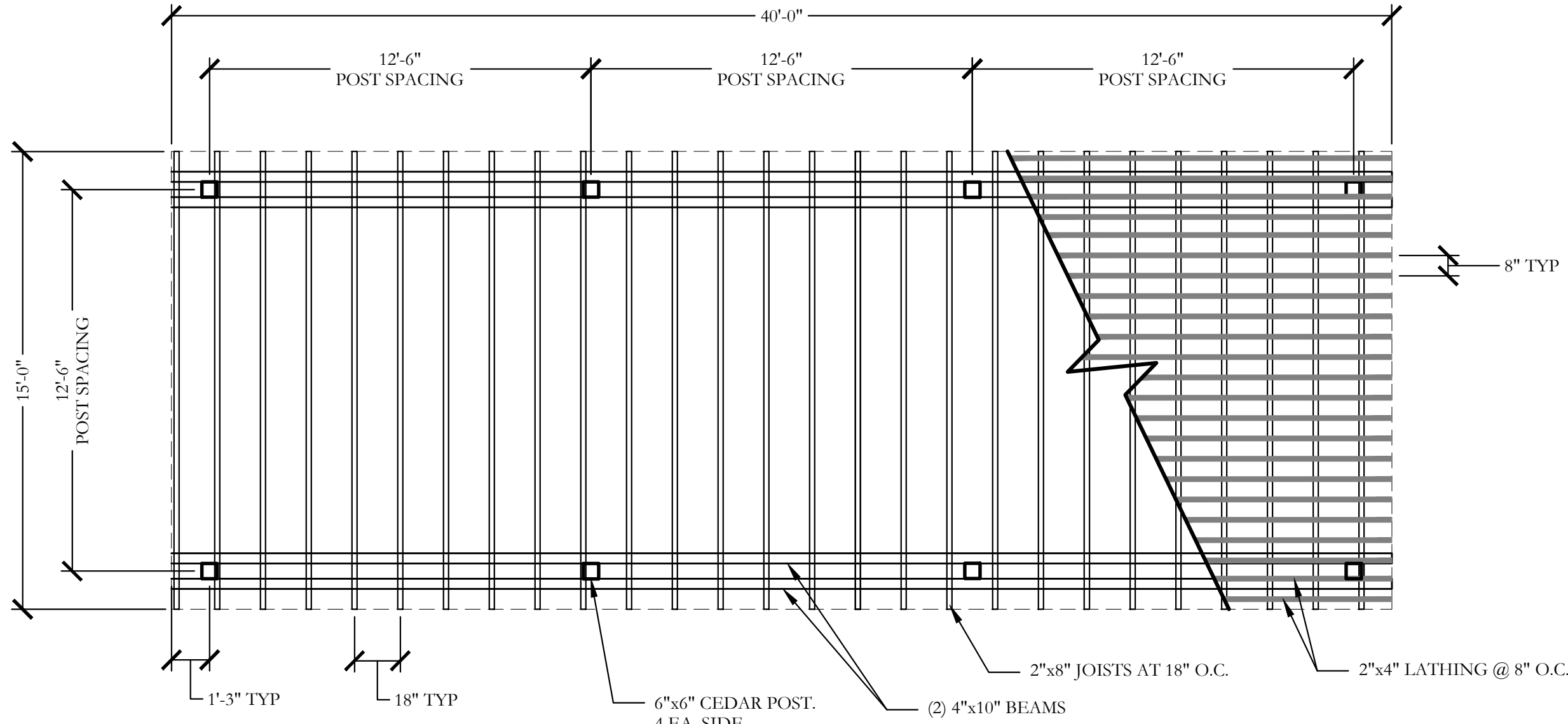
Revised: 02/06/13

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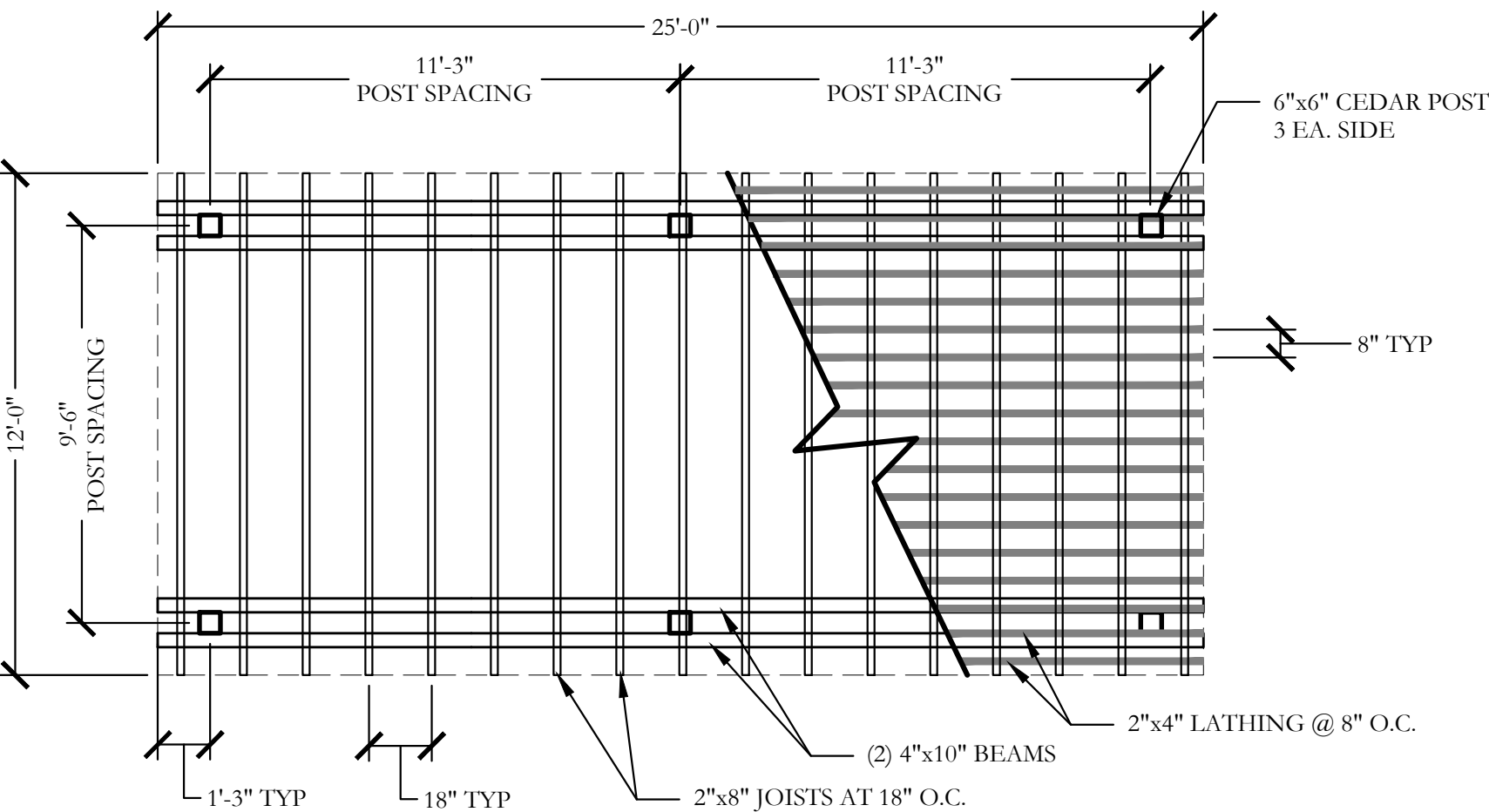
4 ADA TABLE DETAIL  
MANUFACTURER SPECIFICATION SHEET

NTS



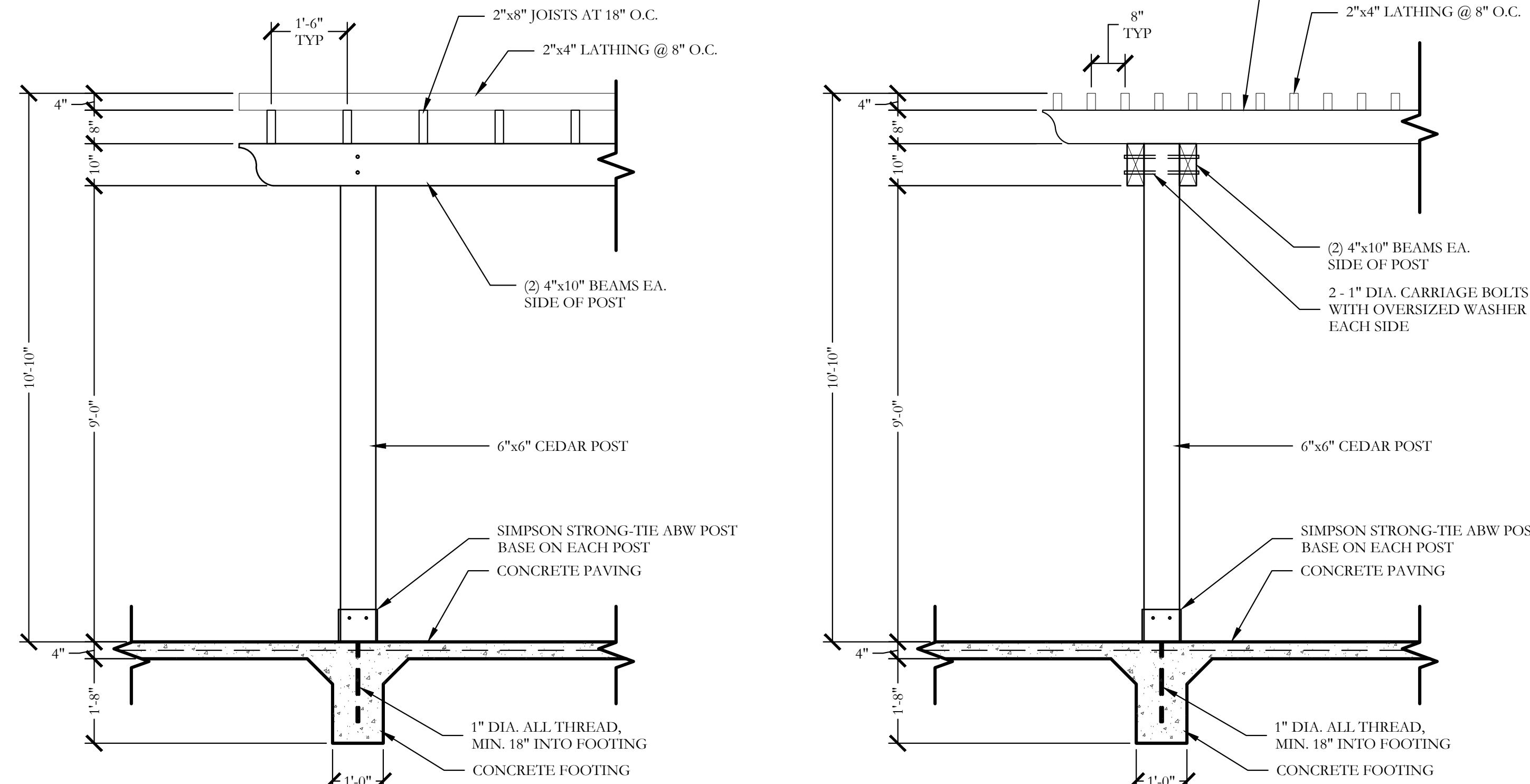
5 CEDAR SHADE STRUCTURE LAYOUT (15'x40')  
PLAN

SCALE: 1/4" = 1'-0"



6 CEDAR SHADE STRUCTURE LAYOUT (12'x25')  
PLAN

SCALE: 1/4" = 1'-0"



SCALE: 1/2" = 1'-0"

CEDAR SHADE STRUCTURE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES VERIFY LOCATION OF ALL UTILITIES WITH THE CITY AND VARIOUS UTILITY COMPANIES BEFORE DRILLING PIERS.
2. ALL CONCRETE USED IN FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY AND REQUIRED PERMITS AND INSPECTIONS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF FRISCO CODES AND REQUIREMENTS.
4. WOOD MATERIAL FOR FENCE
  - 4.1. JOIST-CEDAR, #2 GRADE OR BETTER.
  - 4.2. BEAM-CEDAR, #2 GRADE OR BETTER.
- 4.3. POST-CEDAR, #2 GRADE OR BETTER.
5. ALL FASTENERS, NAILS, BRACKETS, STEEL POSTS, ETC., ARE TO BE HOT DIPPED GALVANIZED.
6. ACCURATELY CUT, FIT FASTEN MEMBERS, MAKE PLUMB, LEVEL, TRUE, AND RIGID. DO NOT SPICE INDIVIDUAL FRAMING MEMBERS BETWEEN SUPPORTS. ERECT FACES OF FRAMING MEMBERS IN STRAIGHT EVEN PLANES TO RECEIVE FINISH MATERIALS. REMOVE ALL MARKS, STAMPS, DIRT, LOOSE FIBERS FROM ALL WOOD SURFACES.
7. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.

CODY JOHNSON  
s · t · u · d · i · o



June 22, 2016

Bar is one inch on original drawing. If not one inch on this sheet, adjust scale as necessary.

One Inch

AMENITY CENTER FACILITY

Site Details

Country Lakes North - Phase 3A-B Amenity Center

City of Denton, Denton County, Texas

CJS PROJECT NO.

VIN003

SHEET NO.

L7

PDA16-0004