

EXHIBIT A



**CITY OF DENTON
DOWNTOWN REINVESTMENT GRANT PROGRAM APPLICATION**

Department of Economic Development
401 N. Elm St., Denton, TX 76201
940-349-7776
www.cityofdenton.com
ED@cityofdenton.com

Downtown Reinvestment Grant Program Application

Please return completed the application with necessary attachments and signatures to the Economic Development Department office at 401 N. Elm St., Denton, Texas. If you have any application questions, please contact the Economic Development Department at 940-349-7776.

Applicant Name <i>DAN RICK</i>	Date <i>2/13/24</i>
Business Name <i>EAGLE SURVEYING, LLC</i>	
Mailing Address <i>222 S. Elm St, STE 200 DENTON, TX 76201</i>	
Contact Phone <i>940-600-9004</i>	Email Address <i>DAN@EAGLESURVEYING.COM</i>
Building Owner (if different from applicant)	
Historical/Current Building Name	
Project Site/Address <i>212 W. SYCAMORE ST., DENTON</i>	

Type of Work: (check all that apply)

- | | |
|--|--|
| <input type="checkbox"/> Paint Only | <input type="checkbox"/> Awnings |
| <input type="checkbox"/> Signage | <input type="checkbox"/> Impact Fees |
| <input type="checkbox"/> Utility Upgrades | <input checked="" type="checkbox"/> Interior/Code Improvements |
| <input checked="" type="checkbox"/> Facade & Building Renovation | <input type="checkbox"/> Fire Suppression System |

Details of planned improvements relating to grant request (attach additional information if necessary).

SEE ATTACHED

How will this project benefit Downtown?

SEE ATTACHED

Legal Description of the property:

LOT 2, BLOCK 1
SYCAMORE ADDITION

Project Categories	Estimated Costs	Grant Requested
Facade/Building Rehab	\$879,436.76	
Awnings		
Signs		
Impact Fees		
Utility Upgrades		
Interior/Code Improvements	\$586,291.17	
Fire Suppression System		
Totals	\$1,465,727.93	

TOTAL COST OF PROPOSED PROJECT

\$ 1,465,727.93

TOTAL GRANT REQUEST

(May not exceed 50% of TOTAL COST up to \$50,000)

\$ 50,000.—

Attach all required color samples of paint, awning/canopy, sign design, etc., as well as photographs of building's exterior facade, roof and foundation.


Applicant's Signature

2/13/24
Date

DOWNTOWN REINVESTMENT GRANT AGREEMENT FORM

Please complete and return with the Downtown Reinvestment Grant Application to the Economic Development office, 401 N. Elm St., Denton, Texas. If you have any questions, please contact the Economic Development Department at 940- 349-7776.

I have met with a representative from the Economic Development Department, and I have read and fully understand the Downtown Reinvestment Grant procedures established by the Denton City Council. I intend to use this grant program for the aforementioned renovation projects to advance the efforts of revitalization and historic preservation of Denton's historic downtown. *I have not received, nor will I receive insurance monies for this revitalization project.*

I understand that if I am awarded a Downtown Reinvestment Grant by the City of Denton, any deviation from the approved project may result in the partial or total withdrawal of the grant. (If I am awarded a reinvestment grant for facade, awning or sign work and the facade, sign or awning is altered for any reason within **one (1) year** from construction, I may be required to reimburse the City of Denton immediately for the full amount of the grant.)

Business/Organization Name

EAGLE SURVEYING, LLC

Applicant's Signature

[Signature]

Printed Name

DAN RICK

Date

2/13/24

Building Owner's Signature (if different from applicant) Printed Name

Date

This section is to be completed by Economic Development staff.

Date considered by DEDC

Recommendation

Staff Signature

Date considered by TIRZ #1 Board

Recommendation

Staff Signature

Date considered by City Council

Approval

Staff Signature

REVIEW PROCESS

Total project scores can range from 0 to 35 points.

Recommendations will be based on:

0-9 points	=	No funding
10-14 points	=	Grant recommendation of up to \$7,500
15-19 points	=	Grant recommendation up to \$15,000
20-24 points	=	Grant recommendation up to \$25,000
25-29 points	=	Grant recommendation up to \$35,000
30-40 points	=	Grant recommendation up to \$50,000

All grants will be subject to a recommendation by the Downtown Economic Development Committee, TIRZ #1 Board, and approval by the Denton City Council.

Grant applications will be scored based on:

- **Economic Impact - 0-5 Points**
 - Total investment dollars as provided in the grant application
 - Investment in structure construction or renovation (excluding purchase price)
 - Investment in furniture, fixtures and equipment; estimated taxable sales
- **Historic Accuracy/Design - 0-5 Points**
 - New construction/complements existing buildings
 - Restores building to historic accuracy
 - Renovation of building with historic marker (Local, state or national historic marker)
- **Upgrades to Utilities/Impact Fees - 0-5 Points**
 - Requires upgrades in electrical service
 - Increases existing water/wastewater capacity
 - No existing utilities to structure
 - Extends water/wastewater lines (improves additional properties)
 - Impact fees may be ranked depending upon percentage of fees to eligible expenses
- **Increases Population - 0-5 Points**
 - Increases consumer traffic (day or night)
 - Increases quality residential units
 - Increases walkability or pedestrian activity/accessibility
- **Interior/Code Improvements - 0-5 points**
 - Asbestos and mold abatement
 - Fire suppression systems
 - ADA improvements
- **Other - 0-15 Points**

Including, but not limited to:

 - Partners with other businesses (i.e., shared parking)
 - Project is a "target" business (i.e., grocery, pharmacy, locally owned)
 - Promotes development of Denton arts and entertainment
 - Longevity of business
- **Fire Suppression System – 40 points**
 - Fire Suppression Systems applications automatically receive the maximum score

Renovation of 212 W. Sycamore St., Denton

Eagle Surveying is purchasing the building located at 212 W. Sycamore St. in Denton to be used as our new corporate office. We opened for business in 2016 and leased two rooms at 210 S. Elm St. for our first office. Over the years, as Eagle grew, we leased more space within the 210 S. Elm building until the opportunity to relocate to the newly renovated 222 S. Elm St. building became an option. Eagle has been proud to call that building home for the past several years, but we have once again found ourselves needing more space and flexibility than a leased building would accommodate. We are excited to purchase the building on Sycamore and the plans to expand it to approximately 5,650 SF, nearly doubling the space we currently have.

The building currently located at 212 W. Sycamore St. was opened in May 1965 as the new location for Denton County Teachers Federal Credit Union (now DATCU). The building was further expanded to its current footprint in 1969. DATCU moved out of the building in 2015 when it relocated its corporate headquarters to Corinth. The building was occupied by a plumbing company until late last year. We really like the mid-century modern design and hope to only improve upon it.

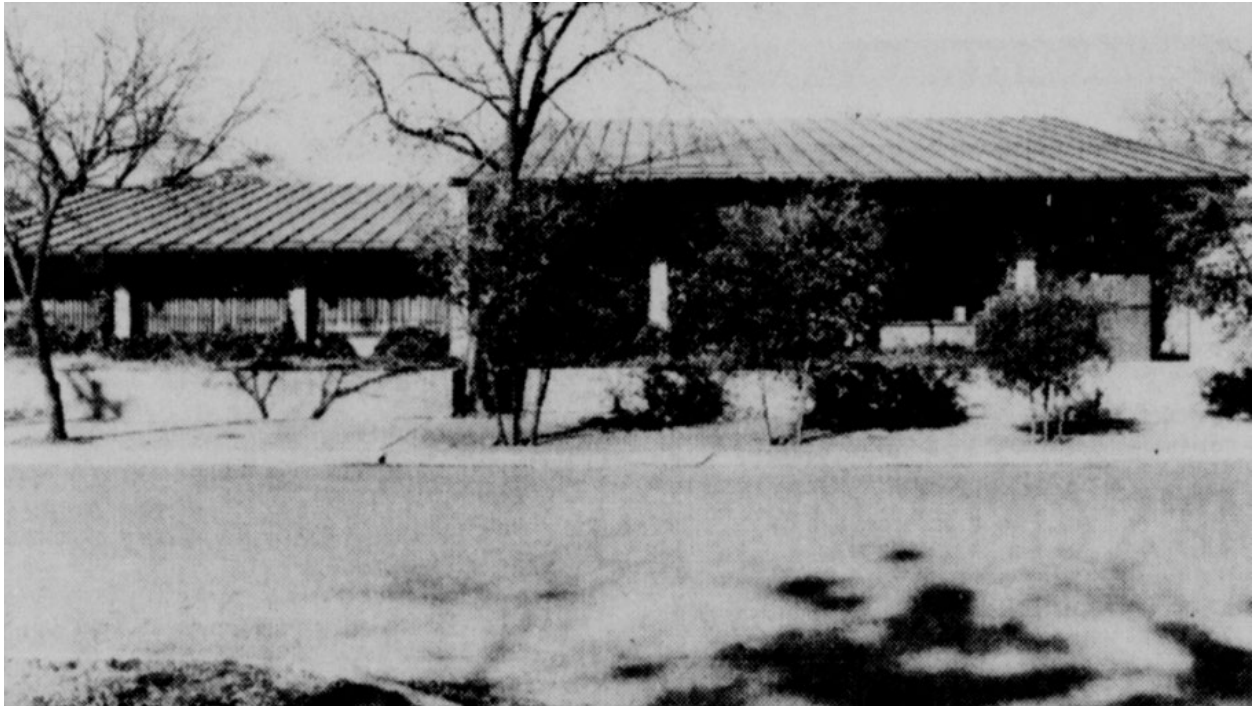
The existing building is approximately 3,510 SF. As we've worked with our architect to lay out the space to sufficiently accommodate our growing needs, we've determined that we need to expand the building. As has been done with the other surrounding buildings (222 S. Elm and 212 S. Elm), we intend to add a second floor to the building. We feel that our architect has done a great job preserving the original portion of the building and adding the much-needed space with an overall design that complements each other. Our goal is to make the addition feel as if it was originally intended. The proposed renovations will significantly upgrade the utilities to the building as well as the overall energy efficiency.

We believe this project will greatly benefit and enhance the southern section of the TIRZ area. Projects like these will likely encourage other improvements and development in this area. This project will facilitate the growth of a Denton-based small business in the downtown area, allowing us to continue offering our services throughout the DFW Metroplex from here. We are excited to better expose this unique part of downtown through these redevelopment efforts.

One of the objectives of this project is to improve the quality of pedestrian traffic within the 200 S. Elm block of businesses. Pedestrian traffic between office buildings is essential and encouraged due to the shared relationships between the current tenants. We also hope to improve the alleyway that connects all the properties along the block with a pedestrian and bicycle-friendly design while maintaining a slow-moving flow of vehicular traffic to the parking areas. We feel that supporting the secondary 'frontage' back entrances for each business can help to enhance property aesthetics and encourage walkability and safety throughout the block.

Renovation of 212 W. Sycamore St., Denton

Photo of 212 W. Sycamore – circa 1969



Existing photos with some description of intended demo for 212 W. Sycamore St.



EXISTING TO BE DEMOLISHED - NORTHEAST VIEW

Renovation of 212 W. Sycamore St., Denton



EXISTING TO BE DEMOLISHED - SOUTHWEST VIEW

Elevations of the renovations proposed for 212 W. Sycamore St.



NORTH ELEVATION

Renovation of 212 W. Sycamore St., Denton



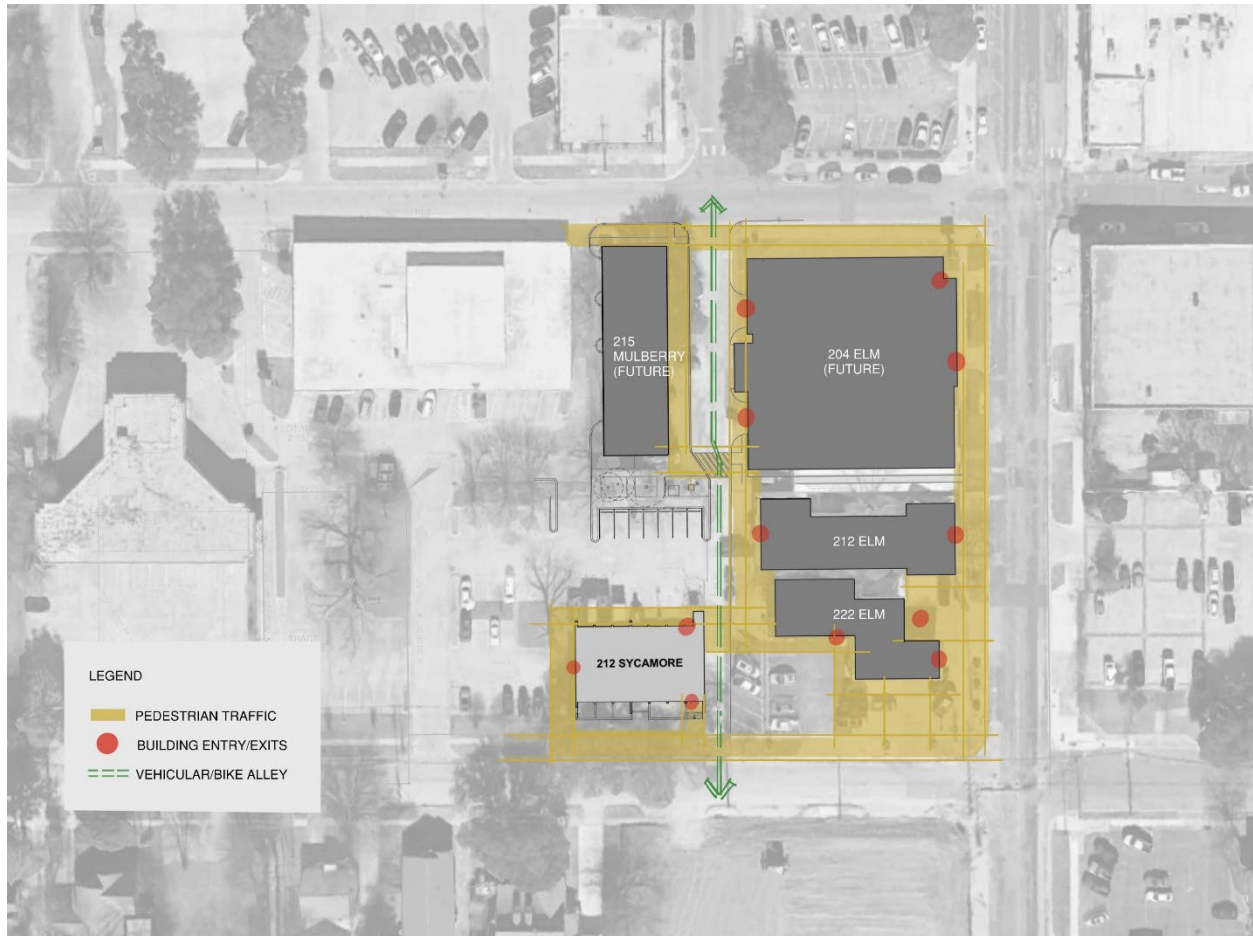
WEST ELEVATION



EAST ELEVATION

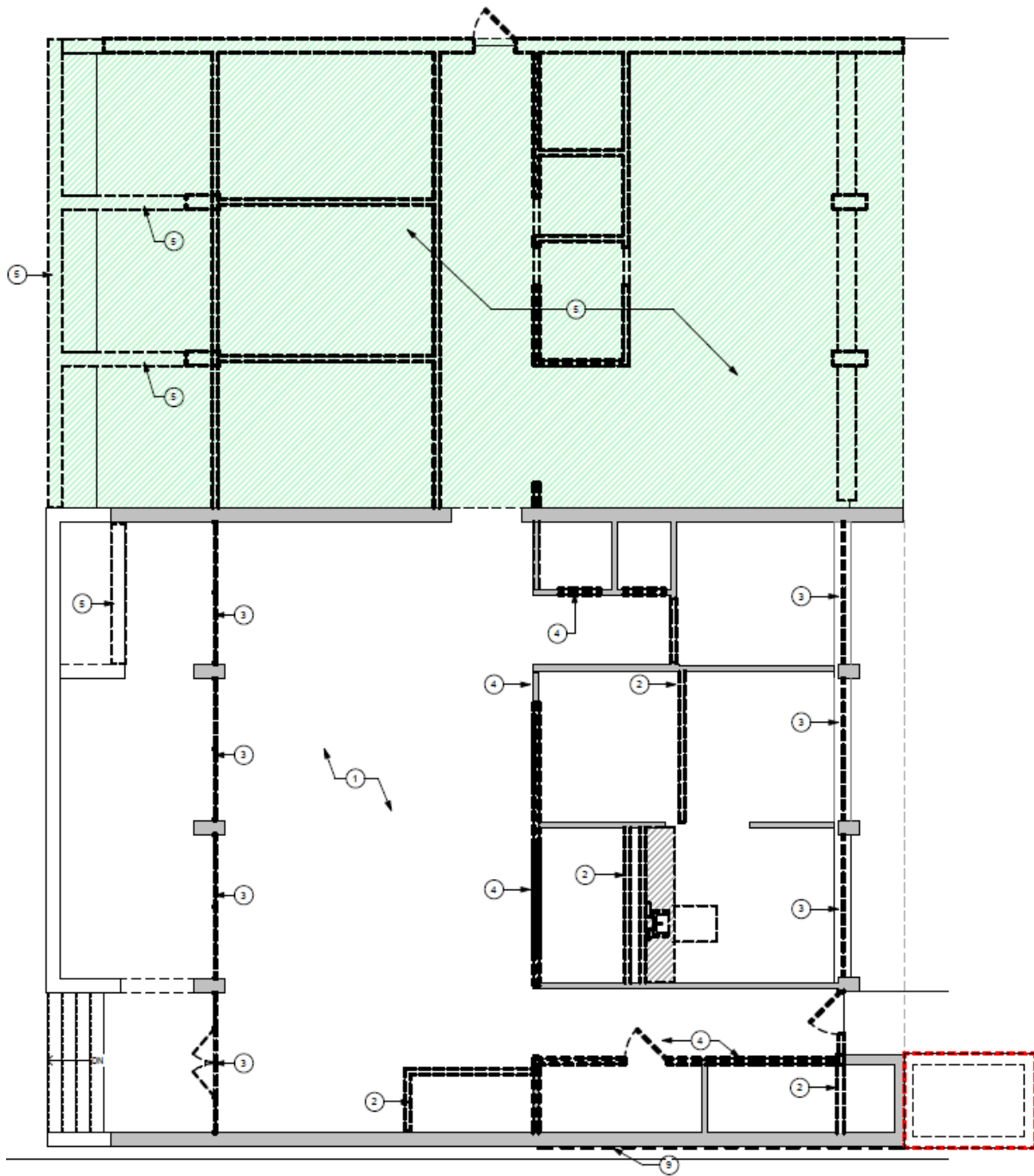
Renovation of 212 W. Sycamore St., Denton

Improvements to pedestrian traffic



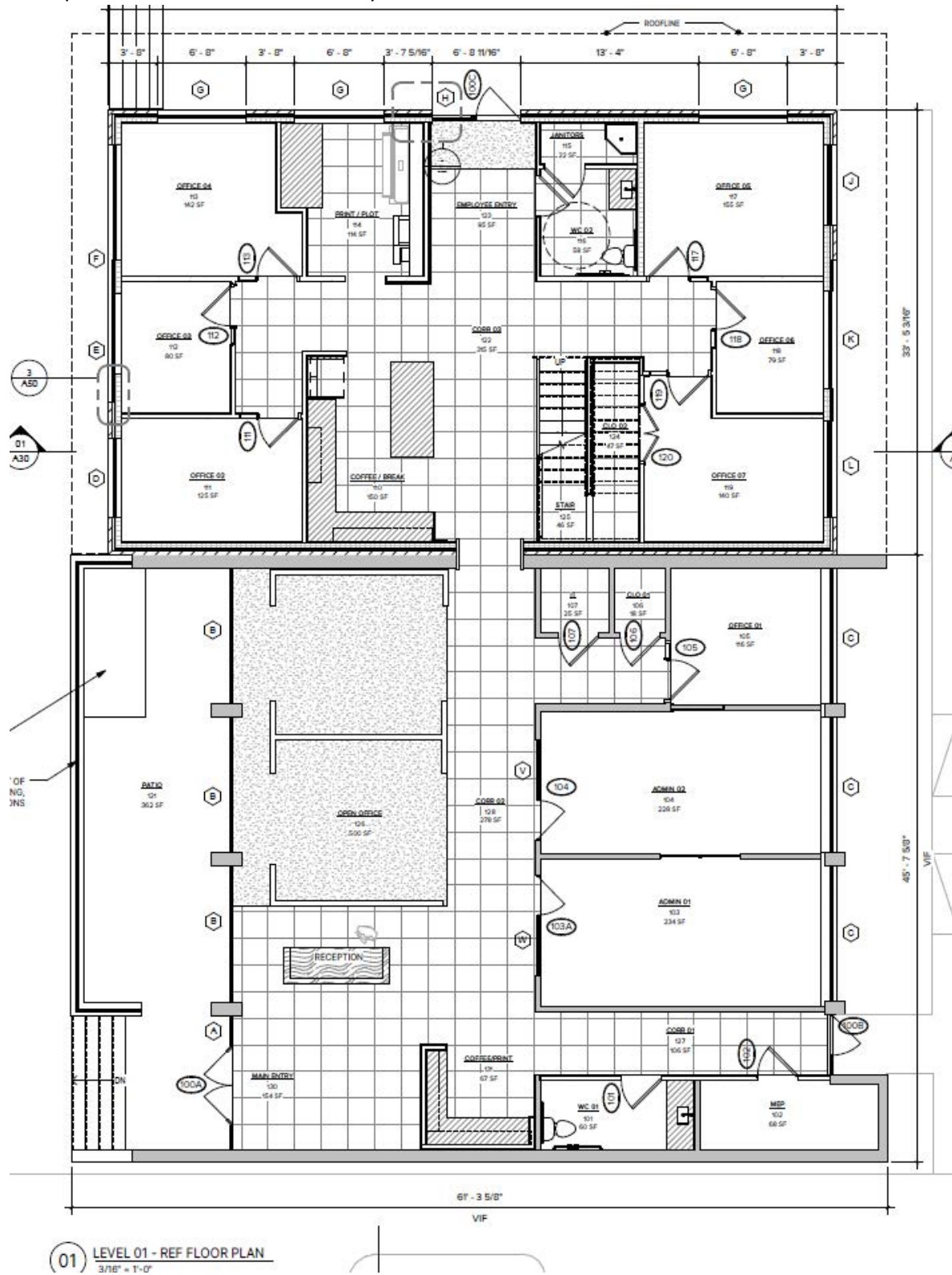
Renovation of 212 W. Sycamore St., Denton

Existing floor plan of 212 W. Sycamore St.



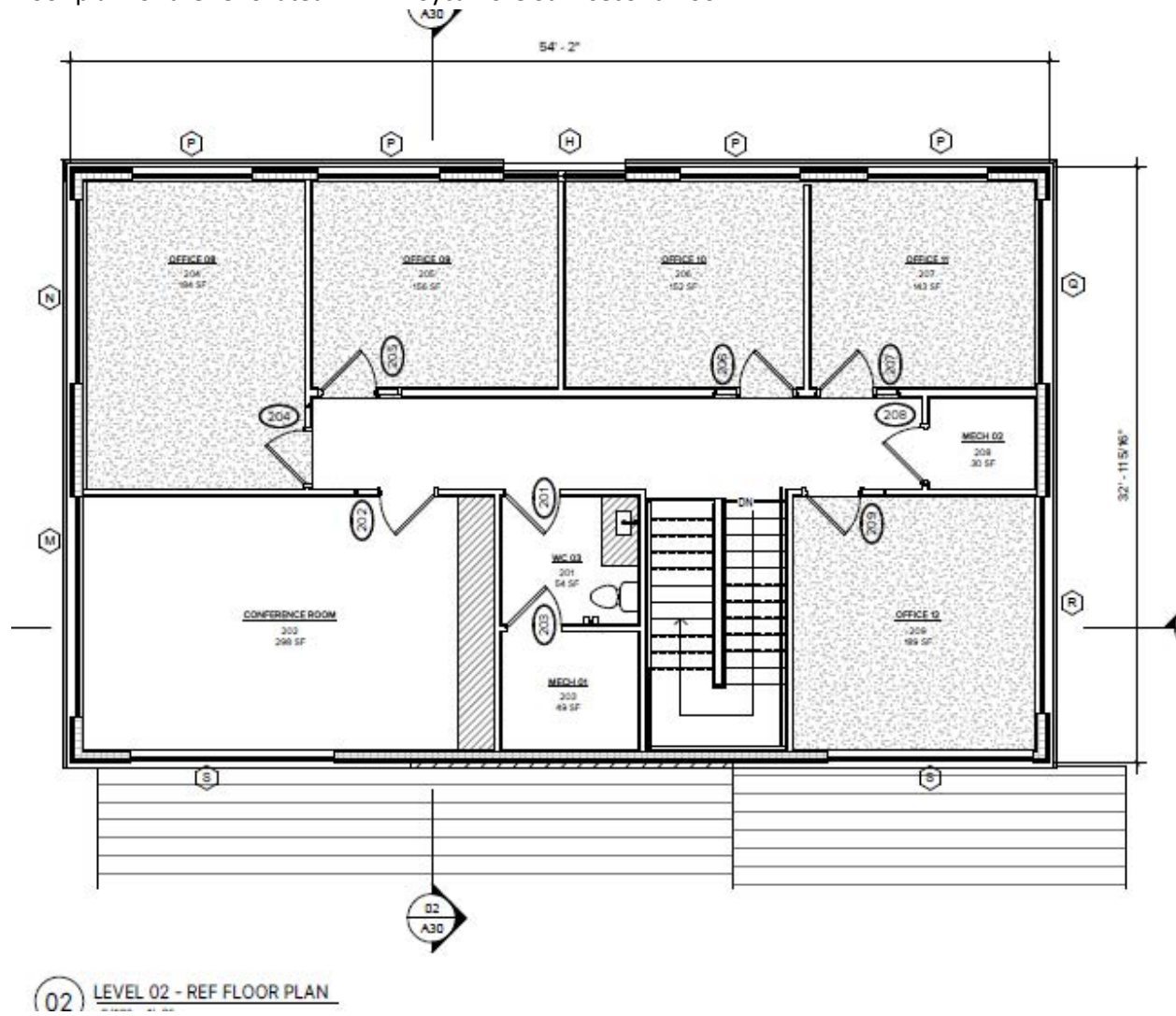
Renovation of 212 W. Sycamore St., Denton

Floor plan for the renovated 212 W. Sycamore St. – first floor



Renovation of 212 W. Sycamore St., Denton

Floor plan for the renovated 212 W. Sycamore St. – second floor



Renovation of 212 W. Sycamore St., Denton

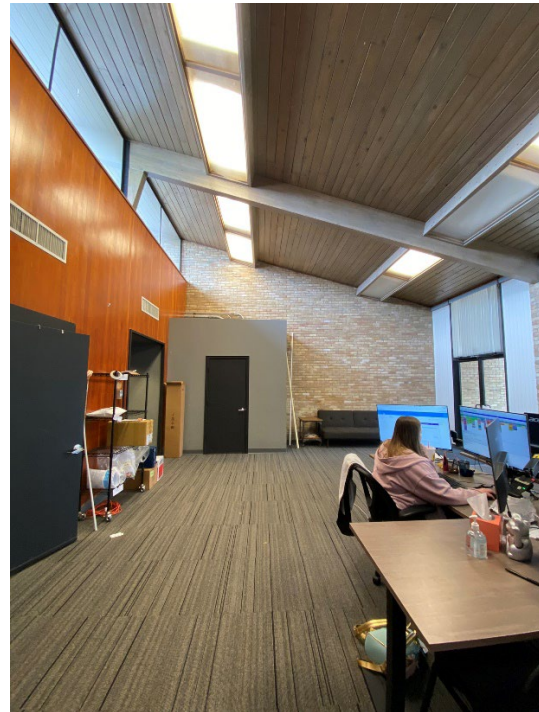
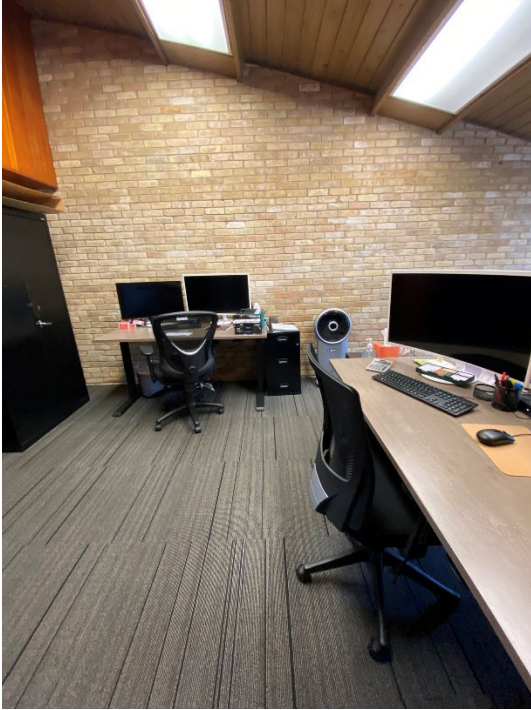
Existing pictures of 212 W. Sycamore St.



Renovation of 212 W. Sycamore St., Denton



Renovation of 212 W. Sycamore St., Denton



PROJECT ESTIMATE

Project Name: 212 W Sycamore
Project Address: 212 W Sycamore
Contract Type: GMP
New Build / Remodel: Remodel
Total Square Feet: 5,650
Estimated Project Duration (weeks): 22



Description	Quantity	Unit	Unit Price					Total Cost	Enter %	Comments
Total Construction Cost								\$ 1,258,384.00		
General Contractor OH & Profit (enter %)								\$ 88,086.88	7.00%	
Insurance (enter %)								\$ 7,550.30	0.60%	Builders Risk Policy
								\$ -	0.00%	
Texas Remodel Tax								\$ 111,706.75	8.25%	
Grand Total Project Cost	5650	SF	\$ 259					\$ 1,465,727.93		
								\$1,417,915	\$ 47,812.64	
Description	Quantity	Unit	Unit Price	Amount	Unit Price	Amount	OTHER Amount	Total Cost	% of Total Construction Cost	Name of Subcontractor & Notes
DIVISION 1a: GENERAL CONDITIONS										
Project Management / On Site Supervision	22	wks	2850	62700				\$ 62,700.00	5%	
City of Denton Permits	5650	ls	1.48	8362	0	0		\$ 8,362.00	1%	
3rd party energy code inspection	0	ls	0	0	0	0	300	\$ 300.00	0%	
printing / reprographics	1	ls	0	0	750	750		\$ 750.00	0%	
small tools / safety / misc	6	mo	0	0	500	3000		\$ 3,000.00	0%	
Boom/Fork lift	2	ls	0	0	2500	5000		\$ 5,000.00	0%	boom lift, scissor lift
scissor lift	3	mo	0	0	500	1500		\$ 1,500.00	0%	boom lift, scissor lift
fork lift	0	mo	0	0	0	0		\$ -	0%	boom lift, scissor lift
temp power	6	mo	0	0	250	1500	1500	\$ 3,000.00	0%	
temp water	6	mon	0	0	150	900		\$ 900.00	0%	
Temporary Bathrooms & wash station	6	mo	0	0	750	4500		\$ 4,500.00	0%	
temp fence	430	mo	0	0	10	4300		\$ 4,300.00	0%	
	0	ls	0	0	0	0		\$ -	0%	
Cleaning & Waste Management	15	ea	0	0	850	12750		\$ 12,750.00	1%	
final power wash parking / sidewalks	1	ea	0	0	0	0	1200	\$ 1,200.00	0%	
temp labor / misc cleaning	6	mo	500	3000	0	0		\$ 3,000.00	0%	
Final Clean	5,650	ea	0.6	3390	0	0		\$ 3,390.00	0%	
Scaffolding Rental	1	ea	0	0	0	0	4500	\$ 4,500.00	0%	
	0	ls	0	0	0	0		\$ -	0%	
DIVISION 1b: GENERAL REQUIREMENTS										
3rd Party Testing - concrete	1	ea	0	0	0	0	1500	\$ 1,500.00	0%	
3th Party Testing - Soils	1	ea	0	0	0	0	0	\$ -	0%	not required - no compacted fill - will use gravel or flexbase
Asbestos Survey	0	ea	0	0	0	0	995	\$ 995.00	0%	ERI Consulting
soils report	0	ea	0	0	0	0	1500	\$ 1,500.00	0%	GeoScience Engineers
DIVISION 2: EXISTING CONDITIONS										
building demolition	1500	sf	0	0	0	0	9400	\$ 9,400.00	1%	Tactical Demolition
interior/ext select demo	2000	sf	0	0	0	0	5450	\$ 5,450.00	0%	Tactical Demolition
Electrical demolition - generator, transformer, etc.	1	LS	0	2500	0	0		\$ 2,500.00	0%	
Mechanical Demo - recover refrigerant, demo units	1	LS	0	2500	0	0		\$ 2,500.00	0%	
sawcut & remove approach & drive for new sidewalk	1799	sf	3	5397	0	0		\$ 5,397.00	0%	
sawcut & remove - interior plumbing	0	sf	0	0	0	0	2500	\$ 2,500.00	0%	
additional demo	0	sy	0	0	0	0	4000	\$ 4,000.00	0%	
	0	ls	0	0	0	0		\$ -	0%	
DIVISION 3: CONCRETE										
Foundation extension - new building	330	SF	0	0	20	6600		\$ 6,600.00	1%	
grade beams w/ flex base fill	90	lf	0	0	75	6750		\$ 6,750.00	1%	
concrete patio	350	Sf	0	0	6	2100		\$ 2,100.00	0%	
curb pour back	20	LF	0	0	10	200		\$ 200.00	0%	
sidewalk	1780	sf	0	0	5	8900		\$ 8,900.00	1%	
ADA ramp	0	LF	0	0	0	0	1500	\$ 1,500.00	0%	
steps	0	LF	0	0	0	0	1000	\$ 1,000.00	0%	
Footer for monument sign	0	SF	0	0	0	0	1000	\$ 1,000.00	0%	
concrete sawcut pourback	0	SF	0	0	0	0	2500	\$ 2,500.00	0%	
gypcrete topper 2nd floor	1814	sf	0	0	4	7256		\$ 7,256.00	1%	
		ls	0	0	0	0		\$ -	0%	
DIVISION 4: MASONRY										
Brick - building	1700	sf	0	0	0	0		\$ -	0%	
brick	6552	ea	1.5	9828	2	13104	1500	\$ 24,432.00	2%	interstate imperial brick
sand/mortar/accessories/etc.	6552	ea	0	0	0	0	10000	\$ 10,000.00	1%	
patio - masonry patio enclosure	95	sf	0	0	40	3800		\$ 3,800.00	0%	
masonry monument sign	1	LS	0	0	1500	1500		\$ 1,500.00	0%	
brick - patch / repair	1	LS	0	0	2500	2500		\$ 2,500.00	0%	
Scaffolding Rental	1	LF	0	0	4500	4500		\$ 4,500.00	0%	
	0	ls	0	0	0	0		\$ -	0%	

Description	Quantity	Unit	LABOR Unit Price	Amount	MATERIAL Unit Price	Amount	OTHER Amount	Total Cost	% of Total Construction Cost	Name of Subcontractor & Notes
DIVISION 5: METALS								\$ 13,150.00	1%	
stair guard/hand rail	35	LF	0	0	150	5250		\$ 5,250.00	0%	
stair hand rail - wall mount	30	LF	0	0	75	2250		\$ 2,250.00	0%	
patio railing	35	Lf	0	0	50	1750		\$ 1,750.00	0%	
	0	LF	0	0	0	0		\$ -	0%	
misc steel reinforcements / lintels / accents	1	LF	1200	1200	1500	1500		\$ 2,700.00	0%	
	0	sf	0	0	0	0		\$ -	0%	
under eave breakmetal wraps	6	ea	50	300	150	900		\$ 1,200.00	0%	
	0	EA	0	0	0	0		\$ -	0%	
		LF		0	0	0		\$ -	0%	
DIVISION 6: WOODS & PLASTICS								\$ 189,167.00	15%	
Wood framing	3510	sf	6.5	22815	0	0		\$ 22,815.00	2%	
lumber package	3510	sf	0	0	20	70200		\$ 70,200.00	6%	
lumber waste	1	ls	0	0	0	0	\$ 10,530.00	\$ 10,530.00	1%	
Simpson tie down package	0	ls	0	0	0	0	5000	\$ 5,000.00	0%	
Exterior siding - WP-1	1000	sf	2	2000	16	16000	2547	\$ 20,547.00	2%	Delta - including sales tax & shipping (higher grade finish - C&Bt - \$21.69/SF, VG - \$23.34/SF) - expecting undetermined price increase in coming month
Exterior siding - WP-2	75	sf	2	150	13	975		\$ 1,125.00	0%	Delta Millworks
soffitn - WP-3	900	sf	6	5400	11	9900	150	\$ 15,450.00	1%	
	0	sf	0	0	0	0		\$ -	0%	
Mill work	82	LF	0	0	450	36900		\$ 36,900.00	3%	
	0	LF	0	0	0	0		\$ -	0%	
	0	ea	0	0	0	0		\$ -	0%	
Stair tread & risers	22	ea	50	1100	250	5500		\$ 6,600.00	1%	assumes wood risers
	0	SF	0	0	0	0		\$ -	0%	
DIVISION 7: THERMAL & MOISTURE PROTECTION								\$ 81,670.00	6%	
window flashing / sealing	0	ls	0	0	0	0	4500	\$ 4,500.00	0%	
Joint Protection (Sealants etc)	1	ls	0	0	0	0	2500	\$ 2,500.00	0%	
envelope insulation	3510	ls	0	0	0	0	11080	\$ 11,080.00	1%	RM Insulation
interior batt insulation	3510	ls	0	0	1	3510		\$ 3,510.00	0%	
standing seam roof	5720	sf	0	0	0	0	56580	\$ 56,580.00	4%	Classic Superroof
metal coping - MT-2	1	ls	0	0	0	0		\$ -	0%	
exterior gutters/downspouts	1	ls	0	0	3500	3500		\$ 3,500.00	0%	
	0	LF	0	0	0	0		\$ -	0%	
DIVISION 8: OPENINGS								\$ 151,475.00	12%	
interior doors	25	ea	175	4375	1000	25000		\$ 29,375.00	2%	P-lam doors - standard laminate
Interior door frames	25	ea	0	0	305	7625		\$ 7,625.00	1%	Raco style pre-finished frame
Interior door hardware	25	ea	0	0	175	4375		\$ 4,375.00	0%	commercial grade 2 lock & hinges
Interior sliding/pocket doors	1	LS	0	0	2000	2000		\$ 2,000.00	0%	
exterior storefront doors - single	2	ea	0	0	2150	4300		\$ 4,300.00	0%	
exterior storefront doors - double	1	ea	0	0	3500	3500		\$ 3,500.00	0%	
	0	ls	0	0	0	0		\$ -	0%	
Exterior storefront windows	1850	ls	0	0	50	92500		\$ 92,500.00	7%	
interior sidelight glass	13	ea	50	650	150	1950		\$ 2,600.00	0%	
interior storefront system for offices	80	sf	0	0	65	5200		\$ 5,200.00	0%	
	0	ls	0	0	0	0		\$ -	0%	
DIVISION 9: FINISHES								\$ 160,580.00	13%	
Gypsum Board	5650	LS	0	0	4	22600		\$ 22,600.00	2%	
tape bed texture	5650	sf	0	0	4	22600		\$ 22,600.00	2%	
	0	SF	0	0	0	0		\$ -	0%	
Ceilings - Acoustic tegular pattern tile	620	SF	0	0	7	4340		\$ 4,340.00	0%	
Ceilings - expanded metal	245	SF	0	0	15	3675		\$ 3,675.00	0%	
Ceilings - drywall	2815	SF	0	0	4	11260		\$ 11,260.00	1%	
Interior painting	5650	sf	0	0	3.5	19775		\$ 19,775.00	2%	
exterior painting	5650	SF	0	0	2	11300		\$ 11,300.00	1%	
	0	SF	0	0	0	0		\$ -	0%	
Quartz/Stone Countertop	157	sf	20	3140	55	8635		\$ 11,775.00	1%	
	0	SF	0	0	0	0		\$ -	0%	
Rubber Base	1250	SF	6	7500	0	0		\$ 7,500.00	1%	
Ceramic Floor Tile	60	SF	10	600	0	0		\$ 600.00	0%	
Wall Ceramic Tile	475	SF	10	4750	0	0	250	\$ 5,000.00	0%	
Stone Floor Tile - corridors, entry, break	1500	SF	18	27000	0	0	1000	\$ 28,000.00	2%	
transitions & schluter	1	ls	0	0	500	500		\$ 500.00	0%	
water proofing / tile base	64	sf	0	0	5	320		\$ 320.00	0%	
Carpet tile - offices	332	yds	0	0	30	9960		\$ 9,960.00	1%	
LVT plank flooring	250	SF	2	500	3.5	875		\$ 1,375.00	0%	
		SF	0	0	0	0		\$ -	0%	
DIVISION 10: SPECIALTIES								\$ 1,545.00	0%	
restroom signage	3	sub	0	0	40	120		\$ 120.00	0%	
restroom mirror - allowance	3	ls	0	0	150	450		\$ 450.00	0%	
grab bars	3	ls	0	0	100	300		\$ 300.00	0%	
TP dispenser	3	ea	0	0	50	150		\$ 150.00	0%	
paper towel dispensers	3	ls	0	0	50	150		\$ 150.00	0%	
fire extinguisher	3	LF		0	125	375		\$ 375.00	0%	assumes wall hung
DIVISION 11: EQUIPMENT								\$ 12,600.00	1%	
dishwasher	1	LF	0	0	1200	1200		\$ 1,200.00	0%	
refrigerator	1	LF	0	0	2500	2500		\$ 2,500.00	0%	
garbage disposal	1	LF	0	0	300	300		\$ 300.00	0%	
undercounter refrigerator	2	LF	0	0	1500	3000		\$ 3,000.00	0%	
micro/oven combo	2	LF	0	0	2800	5600		\$ 5,600.00	0%	
DIVISION 22: PLUMBING								\$ 42,800.00	3%	
Plumbing	1	ea	0	0	40000	40000		\$ 40,000.00	3%	
upgraded restroom sink vanities	2	ls	0	0	1400	2800		\$ 2,800.00	0%	3rd restroom to have stone/granite top

Description	Quantity	Unit	LABOR		MATERIAL		OTHER	Total Cost	% of Total Construction Cost	Name of Subcontractor & Notes
			Unit Price	Amount	Unit Price	Amount				
	0	ls	0	0	0	0		\$ -	0%	
	0	ls	0	0	0	0		\$ -	0%	
DIVISION 23: HEATING, VENTILATING & AIR CONDITIONING (HVAC)								\$ 68,200.00	5%	
HVAC Equipment	14	tons	0	0	4800	67200		\$ 67,200.00	5%	
unit condensate lines - install & tie in	1	ls	0	0	1000	1000		\$ 1,000.00	0%	
	1	ls	0	0	0	0		\$ -	0%	
DIVISION 26: ELECTRICAL								\$ 101,700.00	8%	
Electrical	5650	ls	9	50850	9	50850		\$ 101,700.00	8%	
exterior site lighting	0	ls	0	0	0	0		\$ -	0%	
	0	ls	0	0	0	0		\$ -	0%	
DIVISION 27: TELECOMMUNICATIONS								\$ 9,975.00	1%	
raceways	1	ls	0	0	1500	1500		\$ 1,500.00	0%	
data cabling rough in	5650	ls	0	0	1.5	8475		\$ 8,475.00	1%	
	0	ls	0	0	0	0		\$ -	0%	
DIVISION 31: EARTHWORK								\$ 4,900.00	0%	
foundation/sidewalk soil haul off	1	ls	1200	1200	0	0		\$ 1,200.00	0%	
fine grade / clean up - pre landscape	1	AC	1200	1200	0	0		\$ 1,200.00	0%	
gravel or flex infill for sidewalk & ramp	1	ls	1000	1000	1500	1500		\$ 2,500.00	0%	
DIVISION 32: EXTERIOR IMPROVEMENTS								\$ 83,680.00	7%	
pavement re-stripe and ADA signage	1	LS	0	0	0	0	3500	\$ 3,500.00	0%	
new paving	2000	sf	0	0	6.5	13000		\$ 13,000.00	1%	
01.21.08 Demo & re-pave S. Cedar St	2750	ls	0	0	15	41250		\$ 41,250.00	3%	unknown scope of work - working with city on specifications
new curb & gutter	120	lf	0	0	17	2040		\$ 2,040.00	0%	
Termite Post/Pre-treat	1	LS	0	0	0	0	1200	\$ 1,200.00	0%	
landscaping	1	ls	0	0	0	0	10000	\$ 10,000.00	1%	
Irrigation	1	ls	0	0	0	0	10000	\$ 10,000.00	1%	
planters	4	ea	0	0	300	1200		\$ 1,200.00	0%	
trim trees	5	ea	0	0	300	1500		\$ 1,500.00	0%	
	0	sf	0	0	0	0		\$ -	0%	
	0	ls	0	0	0	0		\$ -	0%	
GC ALLOWANCES and/or OTHER SPECIALTIES								\$ 97,500.00	8%	
01.21.00 Unknowns / Sub Bidding Differences / Contingency	0	ls	0	0	0	0	50000	\$ 50,000.00	4%	
01.21.01	0	ls	0	0	0	0		\$ -	0%	
01.21.02 window tint	1	ls	0	0	5000	5000		\$ 5,000.00	0%	
01.21.03 window treatments	1	ls	0	0	10000	10000		\$ 10,000.00	1%	
01.21.04 internet, Network, VIAP's & Data terminations	1	ls	0	0	5000	5000		\$ 5,000.00	0%	
01.21.05 security / door access control	1	ls	0	0	12000	12000		\$ 12,000.00	1%	
01.21.06 cameras	1	ls	0	0	6500	6500		\$ 6,500.00	1%	
01.21.07 audio / visual	1	ls	0	0	9000	9000		\$ 9,000.00	1%	
	0	ls	0	0	0	0		\$ -	0%	

Submitted by: _____

Date: _____

Signature: _____

Title: _____

2210 EAGLE 212

212 W SYCAMORE STREET, DENTON, TX

DESIGN DEVELOPMENT

01.04.24

OWNER:
EAGLE SURVEYING
222 W ELM STREET, SUITE 200, DENTON, TX 76201
DAN RICK 940.222.3009

ARCHITECT:
MKOA (Morgan Kennedy Office of Architecture, LLC)
MORGAN KENNEDY 940.331.5237

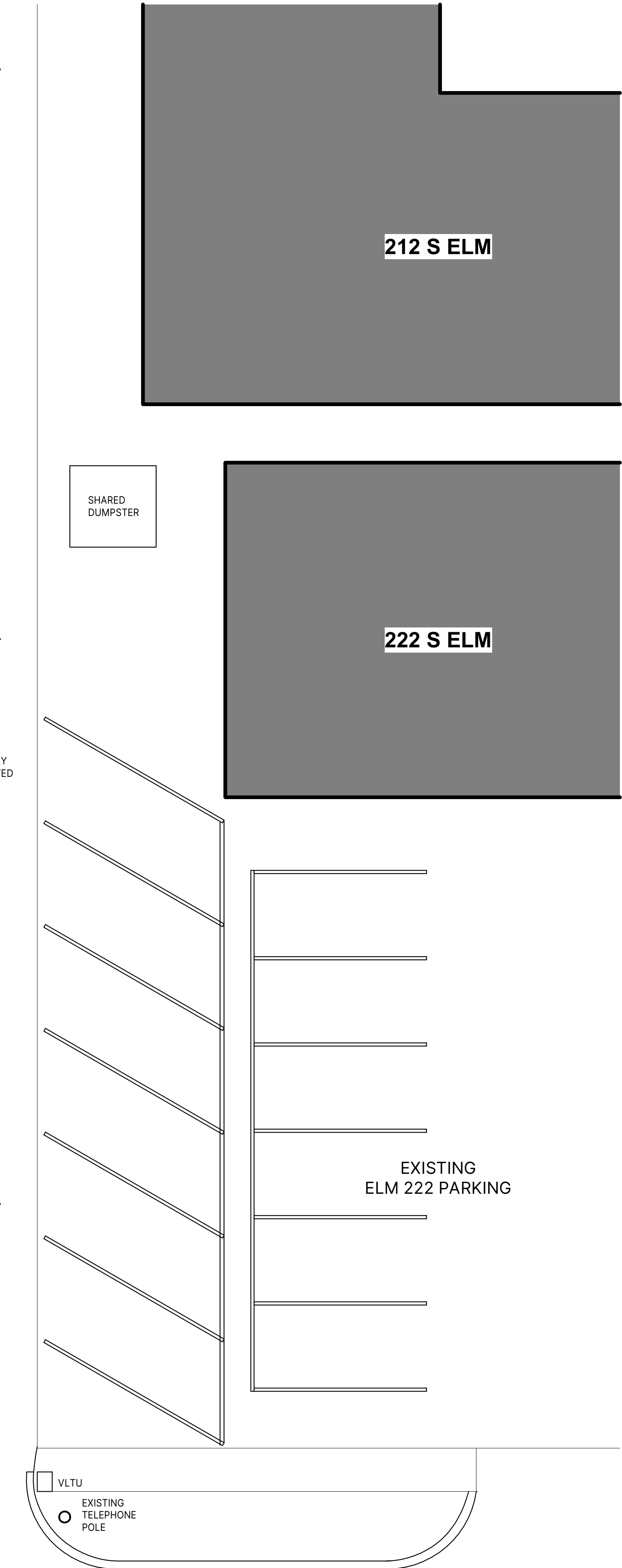
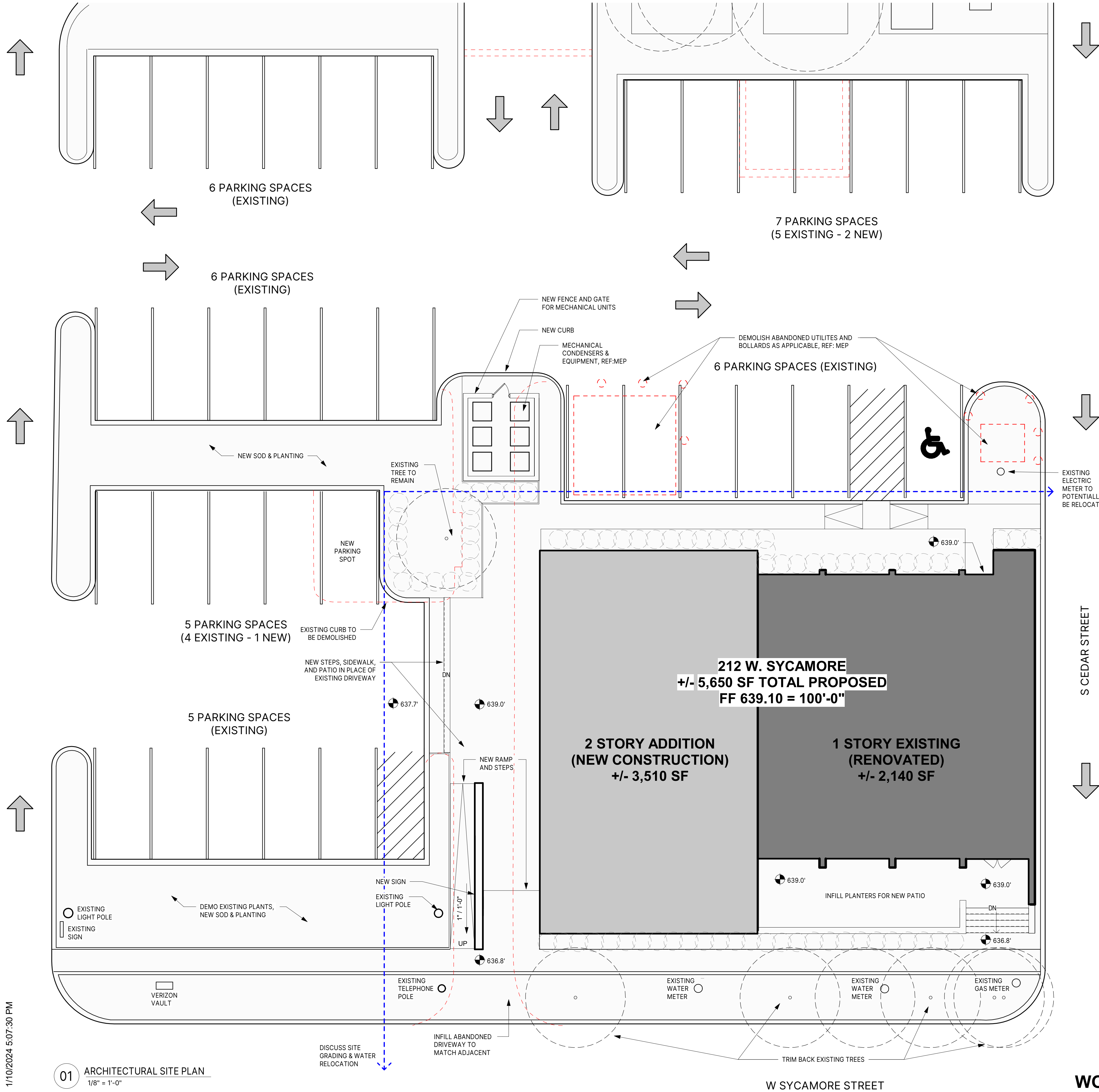
CONTRACTOR:
ARCHDEN CONSTRUCTION SERVICES, LLC
JASON ABT 972.971.1577

REVISION SCHEDULE		
No.	Description	Date
00.01	SCHEMATIC	11.20.23
00.02	DEVELOPMENT	01.04.24

INDEX OF DRAWINGS

SHEET NUMBER	SHEET NAME	CURRENT REVISION	ISSUANCE DATE
A07	ARCHITECTURAL SITE PLAN	00.02	01.04.24
A08	DEMOLITION PLANS & ELEVATIONS	00.02	01.04.24
A10	FLOOR PLANS	00.02	01.04.24
A14	REFLECTED CEILING PLANS	00.02	01.04.24
A20	EXTERIOR ELEVATIONS	00.02	01.04.24
A21	EXTERIOR ELEVATIONS	00.02	01.04.24
A91	CONCEPT RENDERINGS	00.01	11.20.23





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MORGAN KENNEDY OFFICE OF ARCHITECTURE, LLC

EAGLE 212

212 W SYCAMORE STREET, DENTON, TX

REV	DESCRIPTION	DATE
00.01	SCHEMATIC	11.20.23
00.02	DEVELOPMENT	01.04.24

PROJECT NUMBER 2210
STATUSDESIGN DEVELOPMENT
DATE 01.04.2024

A07
ARCHITECTURAL SITE PLAN

WORK IN PROGRESS SET - NOT FOR CONSTRUCTION

1/10/2024 5:07:30 PM



EXISTING TO BE DEMOLISHED - NORTHEAST VIEW



EXISTING TO BE DEMOLISHED - SOUTHWEST VIEW

DEMOLITION KEY NOTES

- 1 REMOVE EXISTING FLOORING AND SUBSTRATE IN ITS ENTIRETY. CLEAN AND PREP FLOORS TO RECEIVE NEW FINISH.

2 REMOVE PORTION OF WALL AND PREP TO RECEIVE NEW FINISH, OPENING, AND/OR WALLS. PATCH AND REPAIR ADJACENT WALLS AFFECTED BY REMOVAL OF WALL.

3 REMOVE GLAZING SYSTEM IN ITS ENTIRETY. PREP ADJACENT WALLS, FLOORS, AND HEADERS TO RECEIVE NEW GLAZING SYSTEM.

4 REMOVE DOOR AND FRAMING IN ITS ENTIRETY. PREP WALL TO RECEIVE NEW DOOR AND/OR WALL INFILL.

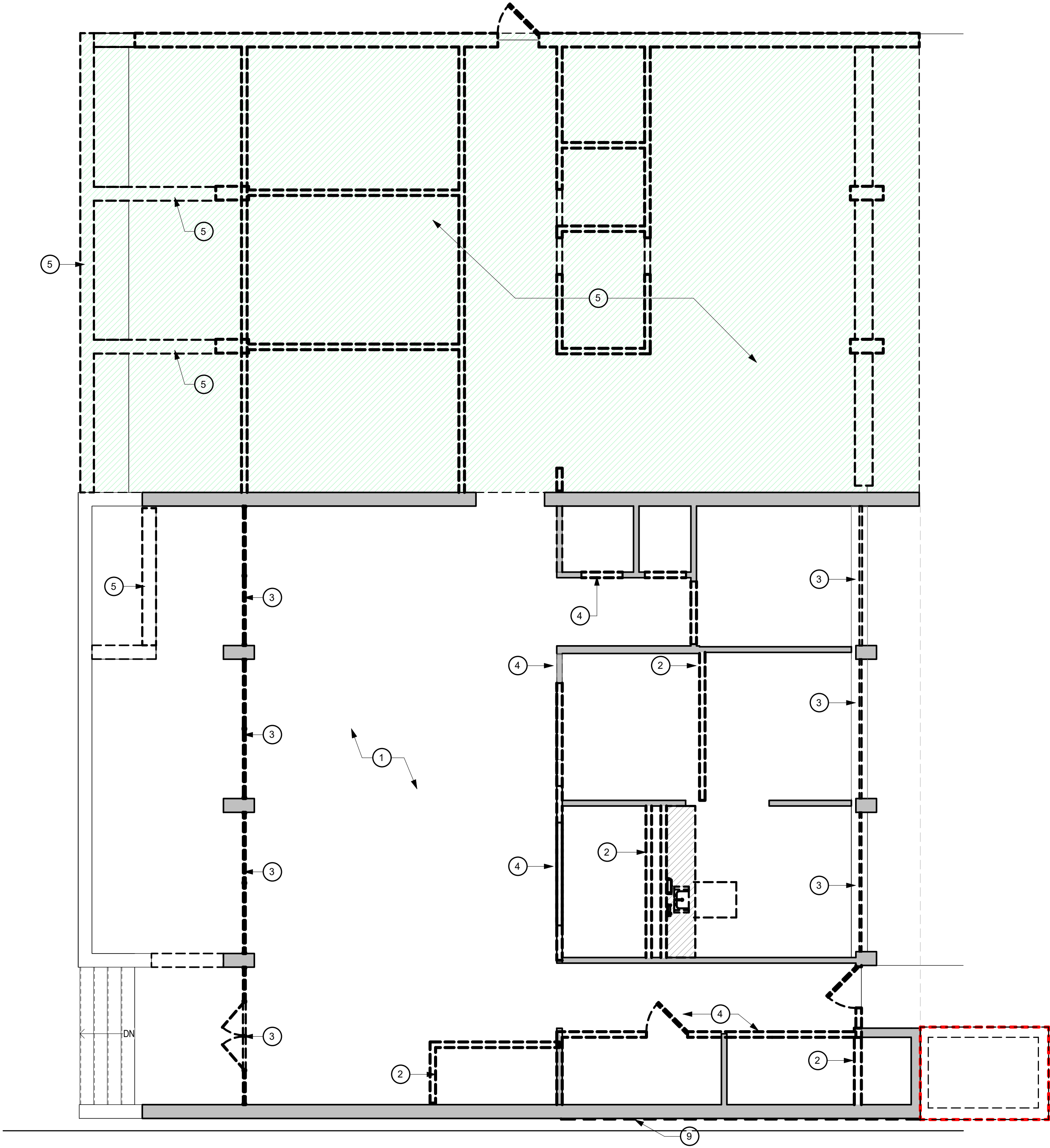
5 REMOVE ROOF AND EXTERIOR WALLS, IN AREA SHOWN, IN ITS ENTIRETY, DOWN TO THE SLAB. PREP SLAB, AND ADJACENT WALLS TO REMAIN, FOR NEW CONSTRUCTION.
- 6 REMOVE PLUMBING FIXTURES/CAP DRAINS..... NEED TO PULL THIS INFO FROM AN OLDER PROJECT.

7 ANY DROP CEILINGS TO REMOVED

8 ANY LIGHT FIXTURES TO BE REMOVED? ARE WE KEEPING EXISTING WIRING?

9 REMOVE EXISTING EXTERIOR BRICK CLADDING SYSTEM IN IT ENTIRETY. REFER TO ELEVATIONS FOR EXACT LOCATION. PATCH AND REPAIR ADJACENT EXTERIOR SHEATHING/BARRIER AND PREP TO RECIEVE NEW CLADDING.

10



01 DEMOLITION FLOOR PLAN
3/16" = 1'-0"

WORK IN PROGRESS SET - NOT FOR CONSTRUCTION

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EAGLE 212

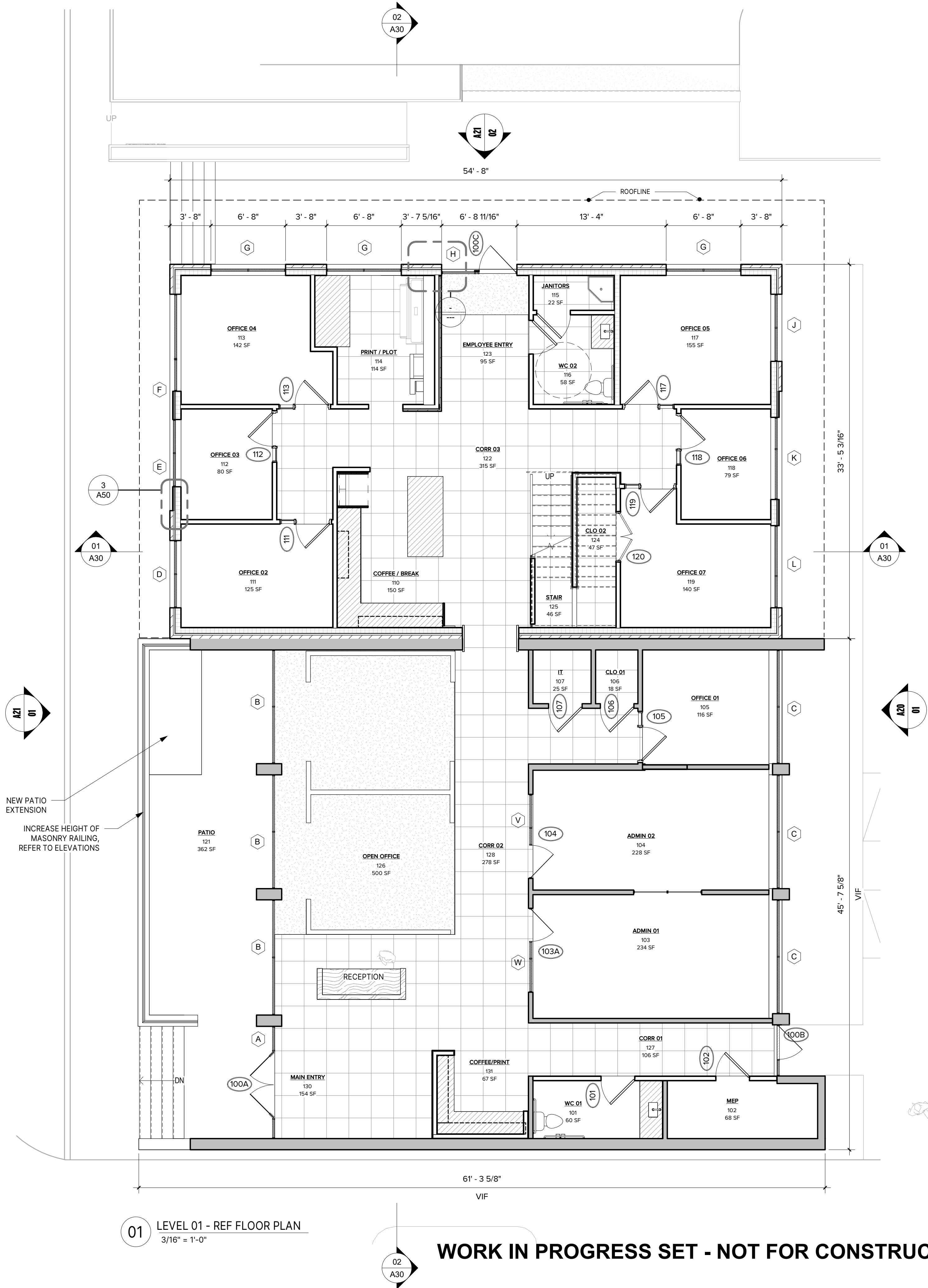
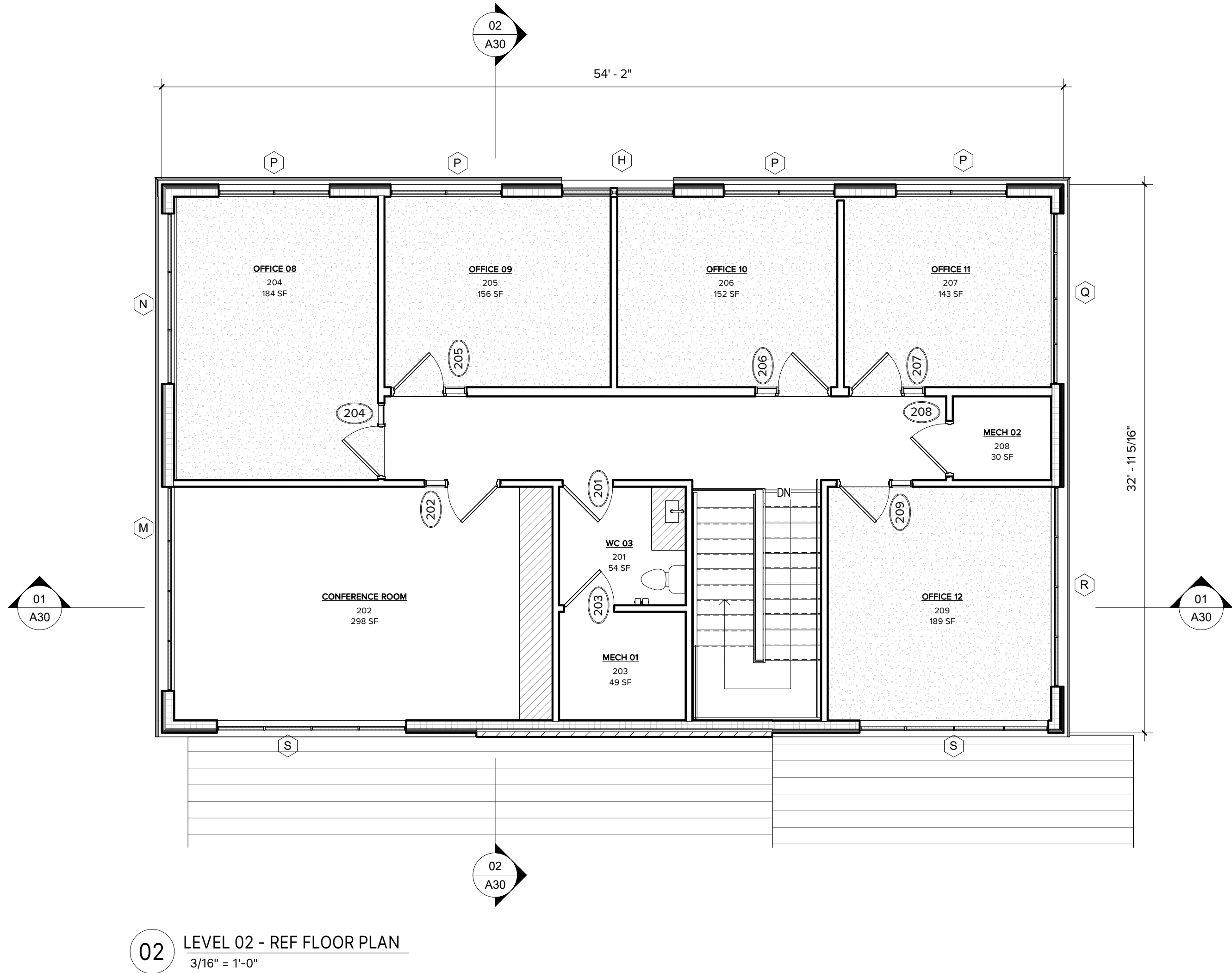
212 W SYCAMORE STREET, DENTON, TX

REV	DESCRIPTION	DATE
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00.02	DEVELOPMENT	01.04.24

PROJECT NUMBER 2210
STATUSDESIGN DEVELOPMENT
DATE 01.04.2024

A08

DEMOLITION PLANS & ELEVATIONS



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EAGLE 212
212 W SYCAMORE STREET, DENTON, TX

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PROJECT NUMBER 2210
STATUSDESIGN DEVELOPMENT
DATE 01.04.2024

A10
FLOOR PLANS

WORK IN PROGRESS SET - NOT FOR CONSTRUCTION

EAGLE 212

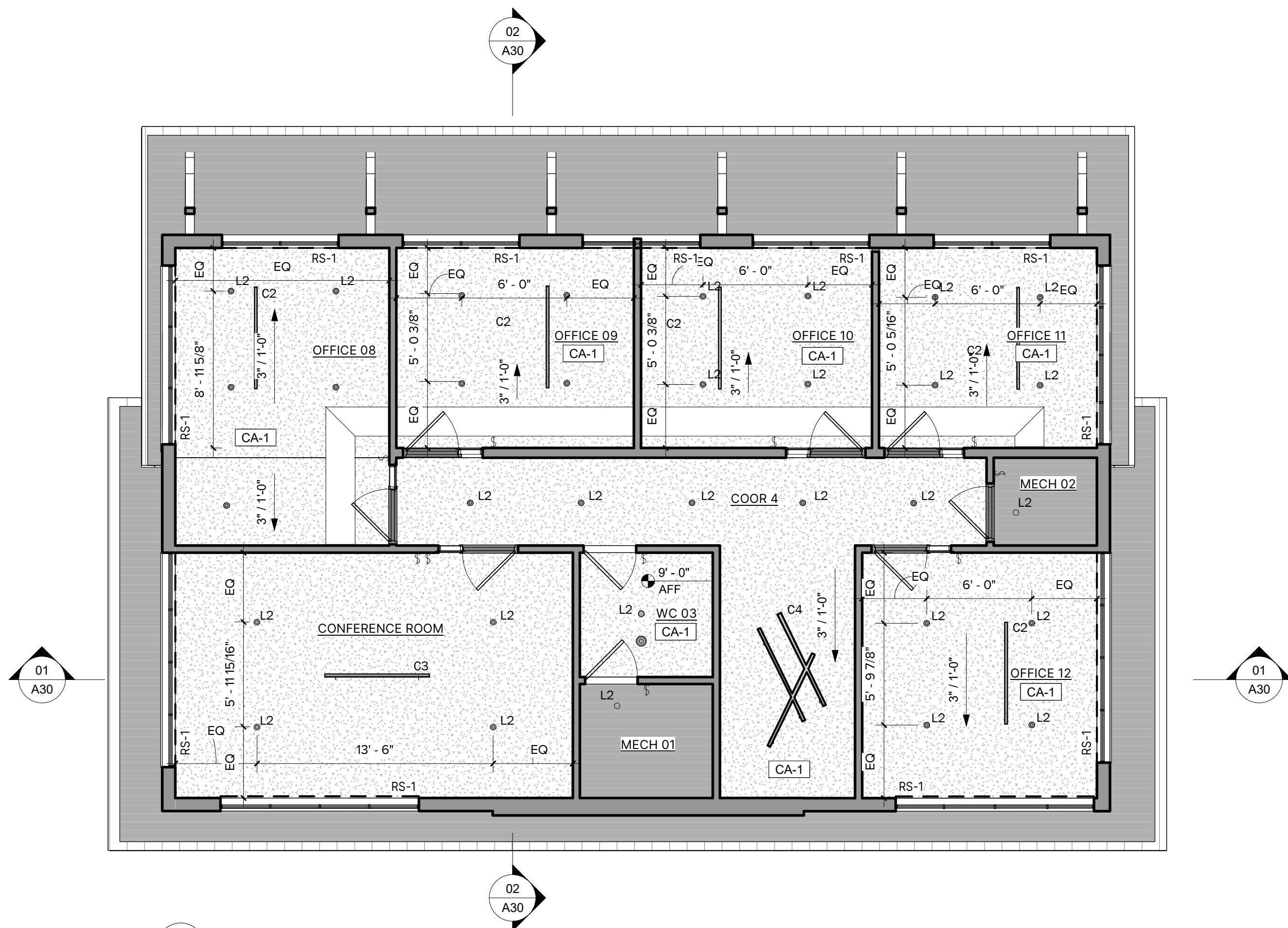
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PROJECT NUMBER	2210
STATUS	DESIGN DEVELOPMENT
DATE	01.04.2024


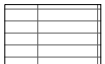
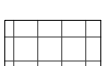





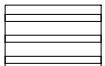

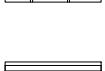
A14

REFLECTED CEILING PLANS









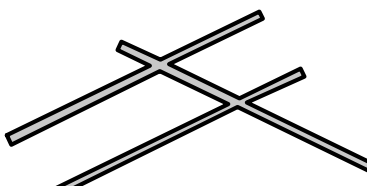








02 LEVEL 02 - RCP
 $\frac{3}{16}'' = 1'-0''$

CEILING PLAN LEGEND

- | | |
|---|---|
|  | PAINTED GYP BD CEILING SYSTEM, CA-1, REF
FINISH SCHEDULE |
|  | 1x5 ACOUSTICAL CEILING SYSTEM,
CA-2A |
|  | 2x2 ACOUSTICAL CEILING SYSTEM,
CA-2B |
|  | METAL IN LAY GRID SYSTEM, CA-3 |
|  | WOOD VENEER FINISH ON SUBSTRATE, CA-4B |
|  | WOOD VENEER FINISH ON SUBSTRATE, CA-4C |
|  | EXPOSED TO STRUCTURE w/ K-13 ACOUSTICAL
(BLACK) SPRAY, CA-6 |
|  | EXPOSED TO STRUCTURE w/ K-13 ACOUSTICAL
(BLACK) SPRAY, WOOD SLAT CEILING SYSTEM, CA-7A |
|  | EXPOSED TO STRUCTURE w/ K-13 ACOUSTICAL
(BLACK) SPRAY & WOOD, MDF, AND ACOUSTICAL
PANEL SUSPENDED SYSTEM, CA-7B |
|  | EXPOSED TO STRUCTURE w/ K-13 ACOUSTICAL
(BLACK) SPRAY, WOOD SLAT CEILING SYSTEM, CA-7C |
|  | MOTORIZED ROLLER SHADE, RS-1 |

LIGHTING LEGEND

- | | | |
|---|------|----------------------------------|
|  | L1 | LED SURFACE MOUNTED CAN LIGHT |
|  | L2 | LED RECESSED CAN LIGHT, |
|  | L3 | DECORATIVE PENDANT / FLUSHMOUNT |
|  | L4 | DECORATIVE LINEAR |
|  | EX | EXHAUST FAN |
|  | C1 | LED 4FT LINEAR PENDANT |
|  | C2 | LED 6FT LINEAR PENDANT |
|  | C3 | LED 6FT SPECIALTY PENDANT |
|  | C4 | LED FEATURE PENDANT |
|  | EL1 | EXTERIOR RECESSED |
|  | EL2 | EXTERIOR DECORATIVE WALL SCONCE |
|  | EL3 | EXT PATH LIGHT |
|  | EL5 | EXTERIOR WALL MTD FLOOD LIGHT |
|  | EL6 | EXTERIOR WALL MTD FLOOD (MOTION) |
| MS | | |
|  | RS-1 | MOTORIZED ROLLER SHADE |

CEILING PLAN NOTES

1. ALL CEILING DIMENSIONS SHOWN ARE TAKEN FROM FACE OF SUBSTRATE.
2. CEILING HEIGHTS LISTED ARE TO BE TAKEN FROM TOP OF SLAB. CEILING SHALL BE CONSISTENT ACROSS THE ENTIRE PROJECT.
3. PROVIDE FIRE RATED PARTITIONS, DOORS, AND PENETRATIONS AT WALLS DENOTED TO RECEIVE 1-HR RATED FIRE PROTECTION.
4. ALL RECESSED LIGHTING FIXTURES SHALL BE PURCHASED WITH ADDITIONAL LENGTH AND BE POSITIONED TO INTENDED HEIGHT AT DIRECTION OF ARCHITECT UPON INSTALL.
5. GYPSUM BOARD CEILING SYSTEMS, CA-1, TO BE PAINTED AS SCHEDULED.
6. POSITION ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING, AND ACCESS CONTROL ELEMENTS REQUIRING MAINTENANCE OR OTHER ACCESS PANELS SHALL BE POSITIONED ABOVE ACCESSIBLE CEILING SYSTEMS OR AS APPROVED BY THE ARCHITECT ON SITE.
7. ALL REQUIRED ACCESS PANELS IN GYP SHALL BE DRYWALL - EACH, MUD-IN, AND FINISHED TO MATCH BEST ACCESS DOORS, BA-FZA, OR EQUAL, SIZE AS NEEDED.
8. ALL EXPOSED ELECTRICAL AND DATA CONDUITS SHALL BE RUN TIGHT TO THE CEILING DECKING AND STRUCTURAL MEMBERS. IF AT ALL POSSIBLE, ROUTE CONDUIT ACROSS STRUCTURAL MEMBERS WHERE HIDDEN BY OTHER CEILING ELEMENTS, RATHER THAN EXPOSED CONDITIONS. PAINT CONDUIT TO MATCH DECKING AS SCHEDULED.

LIGHTING NOTES

1. PROVIDE UL COMPLIANT BACK BOXES AT ALL RECESSED LIGHTING FIXTURES.
2. EXTEND PENDANT LIGHTING FIXTURES AS DIRECTED IN FIELD BY DESIGNER OR OWNER, PURCHASE ADJUSTABLE HEIGHT PENDANTS. STANDARD RULE OF THUMB: 7" HEAD HANG AT PENDANTS UNLESS AT FIXED ILLUMIN, WHICH ARE TO BE POSITIONED 32" ABOVE COUNTERTOP.
3. ALIGN ALL LIGHT FIXTURES AS SHOWN ON LIGHTING AND SWITCHING PLANS BY CENTERLINES.
4. COORDINATE W/ OWNER FOR IN-FIELD ADJUSTMENTS OF LIGHTING FIXTURES UPON POSITIONING OF LIGHTING BACK BOXES.
5. ALL EXTERIOR LIGHTING FIXTURES AND FIXTURES WITHIN SHOWER AREAS ARE TO BE EXTERIOR MOISTURE RATED PER MANUFACTURER.
6. ALL SWITCHES SHALL BE GANGED TOGETHER, GANGS BEYOND 5 SWITCHES SHALL RECEIVE SMART DIGITAL CEILING PANELS (LITTON) OR EQUAL.
7. ALL CEILING FANS ARE TO BE CENTERED AMONG LIGHTING FIXTURES AND/OR IN THE ROOM AS NOTED.
8. ALL SWITCHES SHALL BE MOUNTED AT 48" AFF UNLESS NOTED OTHERWISE.



01 LEVEL 01 - RCP
3/16" = 1'-0"

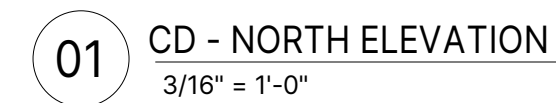
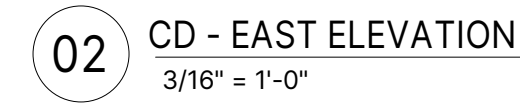
WORK IN PROGRESS SET - NOT FOR CONSTRUCTION

WP-1 DELTA MILLWORKS OR SIMILAR THERMAL OAK, CLEAR
SEALER, 6" WIDE, SSB EDGES, W/ SS FASTENERS,
COLOR: DARK, VERT/HORIZ INSTALL PER ELEVATIONS

WP-3

BR-2

RF-1 PRE-FINISHED STANDING SEAM METAL ROOF
COLOR: BLACK - MATCH ADJACENT BUILDING



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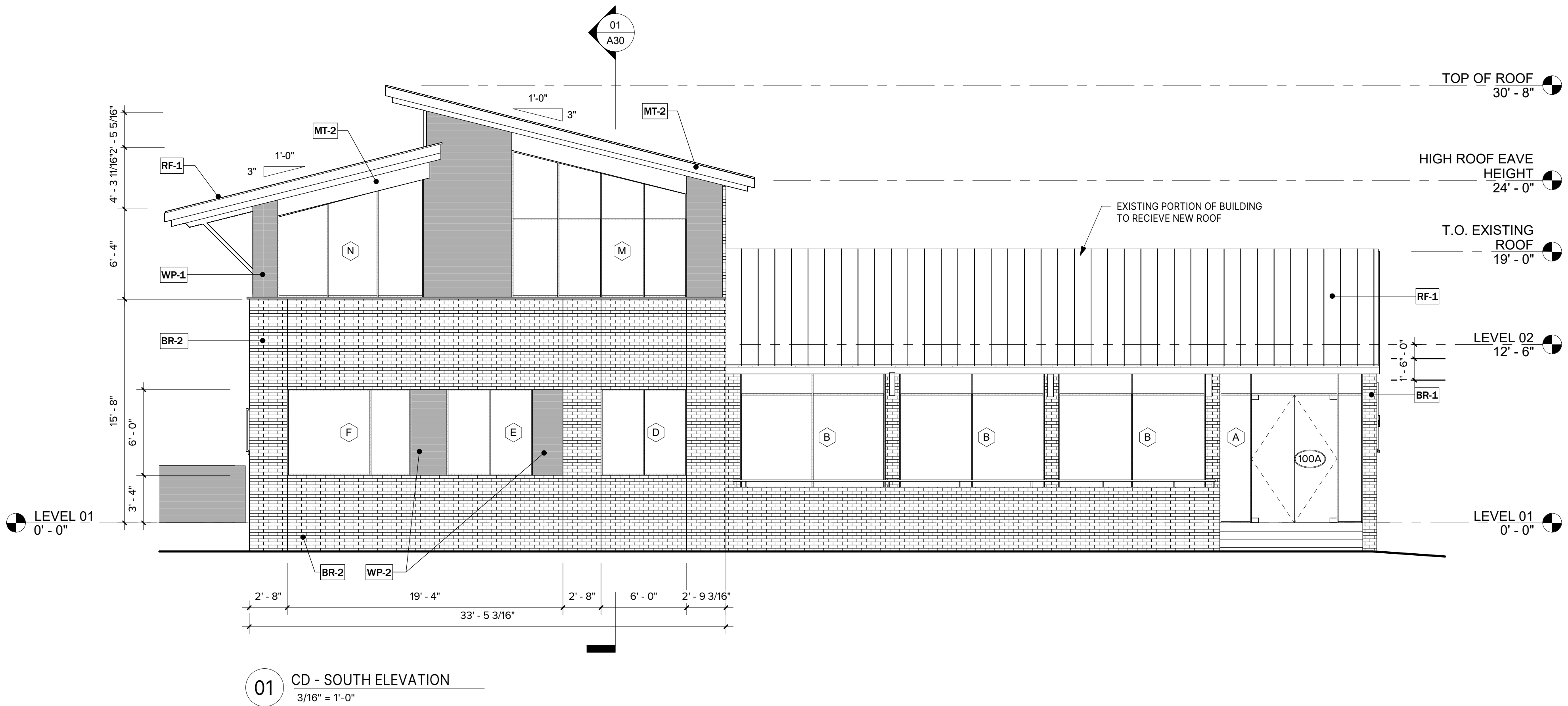
REV	DESCRIPTION	DATE
00.01	SCHEMATIC	11.20.23
00.02	DEVELOPMENT	01.04.24

A 20

EXTERIOR ELEVATIONS

MATERIAL LEGEND

- WP-1 DELTA MILLWORKS OR SIMILAR THERMAL OAK, CLEAR SEALER, 6" WIDE, SSB EDGES, W/ SS FASTENERS, COLOR: DARK, VERT/HORIZ INSTALL PER ELEVATIONS.
- WP-2
- WP-3
- BR-1 STAINED BRICK: WHITE
- BR-2
- MT-1 BREAK METAL WALL PANELS, PROVIDE CONCEALED FASTENERS, MATCH WINDOW COLORS ADJACENT
- RF-1 PRE-FINISHED STANDING SEAM METAL ROOF COLOR: BLACK - MATCH ADJACENT BUILDING



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EAGLE 212

212 W SYCAMORE STREET, DENTON, TX

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A21

EXTERIOR ELEVATIONS

WORK IN PROGRESS SET - NOT FOR CONSTRUCTION

NOTE:
CONCEPT RENDERINGS FOR DESIGN INTENT ONLY,
REFERENCE DRAWING SET FOR FINAL DIRECTION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

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EAGLE 212
212 W SYCAMORE STREET, DENTON, TX

REV	DESCRIPTION	DATE
00.01	SCHEMATIC	11.20.23

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A91
CONCEPT RENDERINGS

WORK IN PROGRESS SET - NOT FOR CONSTRUCTION