

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF DENTON, TEXAS, APPROVING A SPECIFIC USE PERMIT TO ALLOW FOR A MULTI-FAMILY DWELLING USE ON APPROXIMATELY 53.407 ACRES OF LAND, GENERALLY LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF LOCUST STREET AND LOOP 288, IN THE CITY OF DENTON, DENTON COUNTY, TEXAS; ADOPTING AN AMENDMENT TO THE CITY'S OFFICIAL ZONING MAP; PROVIDING FOR A PENALTY IN THE MAXIMUM AMOUNT OF \$2,000.00 FOR VIOLATIONS THEREOF; PROVIDING FOR SEVERABILITY; AND ESTABLISHING AN EFFECTIVE DATE. (S21-0006b, LANDMARK MULTIFAMILY)

WHEREAS, Manhard Consulting, on behalf of the property owner, Melvin Haisler, (hereinafter, the "Developer") has applied for a Specific Use Permit ("SUP") to allow for a multi-family residential use on approximately 53.407 acres, within the Suburban Corridor (SC) zoning district and use classification, as described in Exhibit "A" (hereinafter, "the Property"); and

WHEREAS, the Property is depicted in Exhibit "B" and is shown divided into five tracts and, for identification purposes, Tract 4 is also known as the North Tract and Tract 5 is also known as the South Tract, of which Tracts 4 and 5 collectively comprise 36.49 acres out of the 53.407 acres;

WHEREAS, on October 26, 2022, the Planning and Zoning Commission, in compliance with the laws of the State of Texas, gave the requisite notices by publication and otherwise, and afforded full and fair hearings and to all property owners interested in this regard, recommended approval [6-0] of the requested SUP subject to the site plan, landscape plan, and elevations attached as Exhibit "B"; and

WHEREAS, on November 15, 2022, the City Council likewise conducted a public hearing as required by law, and finds that the request meets and complies with all substantive and procedural standards set forth in Section 2.5.2 of the Denton Development Code ("DDC"), and is consistent with the Denton Plan and the DDC; and

WHEREAS, the City Council of the City of Denton has determined that it will be beneficial to Denton and its citizens to grant the SUP; and such grant will not be detrimental to the health, safety, morals, and general welfare of the City of Denton, and that the SUP should be granted as set forth herein; NOW THEREFORE,

THE COUNCIL OF THE CITY OF DENTON HEREBY ORDAINS:

SECTION 1. The findings and recitations contained in the preamble of this ordinance are incorporated herein by reference and found to be true.

SECTION 2. The SUP to allow the multi-family residential use on Tracts 4 and 5 only of the Property as shown on the Site Plan attached and incorporated herein as Exhibit "B", the Landscape Plan attached and incorporated herein as Exhibit "C", and the Building Elevations attached and incorporated herein as Exhibit "D", is hereby approved, subject to the use-specific standards of the DDC, as amended, and the following conditions:

1. Site and Landscape Plan: The attached Site Plan and Landscape Plan reflect an intent to comply with the 2019 Denton Development Code (DDC) requirements, as amended, for parking, street trees, minimum landscape and tree canopy areas, open space, and landscape screening and compatibility buffers, with administrative approval of alternative landscape elements permitted and parking reductions in accordance with the DDC.
 - a. Minor alterations to the depicted locations of individual plantings and final individual plant selections, as well as increases to landscape area and percentage and number of trees and tree canopy percentage, may be approved by City staff, provided that the final landscaping, as planted, complies with the attached landscape plan in terms of buffers, buffer elements, location of required landscape elements and open space and trails, number of trees, and minimum landscape and tree canopy percentages, as well as all elements of the DDC.
 - b. Minor alterations to the exact locations of individual amenity elements may be approved by City staff, provided final design complies with the attached site plan and landscape plan in terms of types and minimum number of amenities provided within depicted gathering spaces.
 - c. Additional plantings and minor alterations to the Development Impact Area to provide mitigation for the impacts of the proposed trail and the proposed sidewalk along Hercules Lane to the Environmentally Sensitive Area (ESA) on the property may be administratively approved by city staff as part of the Civil Engineering Plans for this development, as long as such mitigation is in accordance with all standards of the Denton Development Code. Final determination of ESA location and exact nature of mitigation shall be approved with the Civil Engineering Plans for this development. This condition does not preclude the project from requiring approval of an Alternative ESA Plan if the scope of impacts to the ESA exceed the administrative allowances provided for in the DDC.
2. Building Elevations: The attached building elevations reflect an intent to comply with the DDC requirements, as amended, for building mass and form, percentage of windows and doors on a façade, and provision of architectural features to highlight entrances and provide visual interest.
 - a. Elevations at the time of permitting shall be consistent with the attached elevations in terms of architectural style and details, specific architectural features that highlight entrances such as ornamental lights and canopies, provision of balconies or patios to articulate individual units, use of recesses, awnings, and changes in material to break up the façade vertically and horizontally and to articulate collections of units at intervals not to exceed 44 feet horizontally or 2 stories vertically, and delineation of the first floor with a change of material and horizontal banding.
 - b. Minor alterations to individual window size and location may be approved by City staff, as long as:
 - i. The style of windows, and the style and number of doors, on each façade is consistent with the attached elevations

- ii. All buildings fronting on a public or private street have entrances facing the public or private street
 - iii. Windows and doors make up either at least the DDC-required percentage for facades facing a public or private street or, for facades not facing a public or private street, at least 11.5% of the side facades and 25.5% of the front and the rear façades, and windows and doors on all facades comply with all DDC standards.
 - c. Garage elevations shall feature two dormer windows on each front and rear elevation and a horizontal change in material type on each façade.
- 3. The attached site plan and landscape plan are incorporated as requirements of the SUP. Staff shall have the ability to approve an increase of up to 5% of any of the amounts specified in requirements a-b, provided all applicable requirements of the DDC are met.
 - a. Three-hundred and thirty-six (336) dwelling units on the North Tract and three-hundred and twenty-four (324) dwelling units on the South Tract.
 - b. 577 parking spaces on the North Tract, and 570 parking spaces on the South Tract, are proposed for the multi-family development indicated on the site plan. Parking may shift to accommodate a change in the unit mixture but shall be in accordance with the requirements of the DDC and within the range of staff approvability.
- 4. All street and sidewalk infrastructure elements, including the full width of Beall Street from N Locust Street to the turnaround shown, and the full width of Ame Drive from North Locust Street to Beall Street shall be constructed in accordance with the plans shown in Exhibit B, and approved by the City of Denton, prior to release of any certificate of occupancy for any multifamily building proposed on this property, though staff may approve minor changes (25' or less) in the location of these streets and/or sidewalks in order to account for proposed TXDOT improvements to Loop 288 and N Locust Street, as long as the final design is in accordance with the standards of the DDC and City criteria manuals.
- 5. Subject to the approval of TXDOT, the Developer shall construct one of the two alternative traffic mitigation measures at the intersection of N Locust Street and Ame Drive. If neither of the alternatives shown in Exhibit B, Sheet C0.5, are acceptable to TXDOT, the City of Denton staff shall have the authority to approve alternative traffic mitigation measures for the intersection of Ame Drive, subject to the approval of TXDOT, without requiring an SUP amendment, as long as the approved mitigation measures comply with the standards of the Denton Development Code and the City criteria manuals. Traffic mitigation measure(s) for the intersection of Ame Drive and N Locust Street, approved by staff and TXDOT, must be constructed prior to issuance of Certificates of Occupancy for any of the multifamily buildings proposed with this development.
- 6. A turnaround must be constructed at the end of Beall Street as shown on Exhibit B, prior to release of any Certificates of Occupancy for this project, but, if plans for future TXDOT improvements to Loop 288 necessitate a shift in the turnaround location, City of Denton staff may approve a shift in the exact location of the center of this turnaround of up to 150', as long as the proposed location is still in accordance with all DDC and

City criteria manual standards and/or any variance to those standards approved by the City Engineer.

7. Minor alterations in design and location of sidewalk, curb, and gutter along Hercules Lane and in location of proposed gravel trail may be necessary based on the final determination of the size and location of the Environmentally Sensitive Area on this property, and staff may approve such minor alterations, as long as the final design and locations are in accordance with the standards of the Denton Development Code and the City's adopted criteria manuals.
8. Notwithstanding the limited administrative approvals authorized in conditions 1-7, the City reserves the right to require approval by ordinance of any amendments or alterations to the SUP, the attached site plan, the attached landscape plan, the attached building elevations, and the elements referenced in conditions 1-7.
9. Subject to the approval of TXDOT, a traffic signal at the intersection of Beall Street and N Locust Street shall be constructed by the Developer and shall be complete and accepted by the City of Denton prior to issuance of any Certificates of Occupancy for any of the multifamily buildings proposed with this development.
10. Prior to approval of any Final Plat for this development, Developer shall pay to the City of Denton the proportion of the cost of a traffic signal at North Locust Street and Loop 288 that was determined by the Traffic Impact Analysis for this project (TIA21-0016) to be the responsibility of the multifamily developer, based on the traffic projected to be generated by that development.
11. The project shall comply with Denton Development Code Section 7.7.4, *Tree Preservation*.
12. The zoning map shall reflect the Specific Use Permit on the property consistent with the DDC.

SECTION 3. The multi-family residential use allowed by the SUP on the Property, depicted on the Site Plan, Landscape Plan, and Building Elevations, requires the following elements, which are hereby incorporated into this ordinance and may only be modified as noted in Section 2 above:

A. Multifamily Lots:

- Tract 4 (North Tract): ~14.09 acres
- Tract 5 (South Tract): ~22.4 acres

B. Dwelling Units:

- Tract 4 (North Tract): 336 one-, two-, and three-bedroom units in 12 three-story buildings
- Tract 5 (South Tract): 324 one-, two-, and three-bedroom units in 12 three-story buildings
- Total: 660 one-, two-, and three-bedroom units in 24 three-story buildings

C. Recreational Areas and Open Space:

- **North Tract:** Amenity center with pool, 36,400 sf of Open Space in 5 areas with benches and/or walking paths.
- **South Tract:** Amenity center with pool, 95,400 sf of Open Space in 5 areas, ~500 linear feet of walking path along pond with fountain.
- **Overall:**
 - Total open space encompasses 147,500 sf -- over 8% of the land area.

- Minimum 2,000 linear feet of gravel trail through the green space in the easement on the east side of the development (green space in easement is in addition to open space).
- D. **Parking:** 1,147 total vehicular spaces provided, for ~1.2 spaces per bedroom; 60 bicycle parking spaces distributed throughout the two tracts.
- E. **Access and Connectivity:** Full, signalized access to N Locust Street is provided to both tracts via the extension of Beall Street to be constructed by the Developer; subject to the approval of the Texas Department of Transportation (TXDOT), the Developer will also be required to construct the signal at Beall Street and Locust Street. Both tracts will have right in, right out access to N Locust Street via the extension of Ame Drive to be constructed by the Developer. The North tract will have three points of access onto Beall Street and the South tract will have two. Pedestrian connectivity will be provided to N Locust Drive via a sidewalk to be constructed by the Developer and via gravel path to Hercules Drive. Developer will also provide a public sidewalk connection in a public access easement through the site from Atlas Drive to the Beall Street sidewalk, to facilitate pedestrian access to the potential future commercial development along N Locust and Loop 288.
- F. **Design:** Building elevations feature balconies or patios for all units, with awnings or decorative sconces or arched roofs at all main entrances, and with buildings oriented around shared open spaces, along trails, or fronting on the shared central boulevard or the right-of-way with direct access to the public sidewalk.
- G. **Landscaping:** New tree plantings in common areas above and beyond required tree canopy; landscape area over 10% above minimum; a combination of large canopy trees, tree preservation, and 70+ feet of buffer width to provide a buffer between multifamily buildings and the single-family neighborhood to the east.

SECTION 4. Administrative Modifications. The Development Services Director or designee may administratively approve the following modifications:

- A. A reduction in the lot coverage, an increase in the landscape area, and a decrease in the number of dwelling units with associated parking by any amount. Additional parking reductions may be granted in accordance with DDC Section 7.9.5E.
- B. Increases of 5% or less of any of the amounts specified in Subsections 3.B & D of this ordinance, provided all applicable requirements of the DDC are met.

SECTION 5. Failure to Comply. Except as otherwise stated above, all terms of the SUP shall be complied with prior to issuance of a Certificate of Occupancy. Failure to comply with any term or condition of the Ordinance will result in the SUP being declared null and void, and of no force and effect. The SUP issued to the entity named above runs with the land, and is assignable and transferable to subsequent owners of the Property.

SECTION 6. SUP Regulations. Upon notice to the Property owner and a hearing before the City Council, a SUP may be revoked or modified if: 1. There is one or more of the conditions imposed by this ordinance that has not been met or has been violated on the Property; or 2. The SUP was obtained or extended by fraud or deception; or 3. As otherwise permitted by law and/or the DDC.

SECTION 7. Unlawful use. It shall be unlawful for any person, firm, entity, or corporation to make use of the Property in some manner other than as authorized by the DDC, City of Denton Code of Ordinances, and this ordinance.

SECTION 8. Severability. If any provision of this ordinance or the application thereof to any person or circumstance is held invalid by any court, such invalidity shall not affect the validity of the provisions or applications, and to this end the provisions of this ordinance are severable.

SECTION 9. Penalty. Any person, firm, entity or corporation violating any provision of this ordinance shall, upon conviction, be fined a sum not exceeding \$2,000.00 for each violation. Each day that a provision of this ordinance is violated shall constitute a separate and distinct offense. The penal provisions imposed under this ordinance shall not preclude the City of Denton from filing suit to enjoin the violation and it retains all legal rights and remedies available to it under local, state and federal law.

SECTION 10. In compliance with Section 2.09(c) of the Denton Charter, this ordinance shall become effective fourteen (14) days from the date of its passage, and the City Secretary is hereby directed to cause the caption of this ordinance to be published twice in the Denton Record-Chronicle, a daily newspaper published in the City of Denton, Texas, within ten (10) days of the date of its passage.

The motion to approve this ordinance was made by _____ and seconded by _____; the ordinance was passed and approved by the following vote [___ - ___]:

	<u>Aye</u>	<u>Nay</u>	<u>Abstain</u>	<u>Absent</u>
Gerard Hudspeth, Mayor:	_____	_____	_____	_____
Vicki Byrd, District 1:	_____	_____	_____	_____
Brian Beck, District 2:	_____	_____	_____	_____
Jesse Davis, District 3:	_____	_____	_____	_____
Alison Maguire, District 4:	_____	_____	_____	_____
Brandon Chase McGee, At Large Place 5:	_____	_____	_____	_____
Chris Watts, At Large Place 6:	_____	_____	_____	_____

PASSED AND APPROVED this the _____ day of _____, 2022.

GERARD HUDSPETH, MAYOR

ATTEST:
ROSA RIOS, CITY SECRETARY

BY: _____

APPROVED AS TO LEGAL FORM:
MACK REINWAND, CITY ATTORNEY

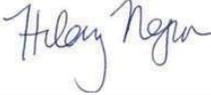
BY:  _____
Hilary Negron
2022.11.09
09:48:15 -06'00'

Exhibit A
Legal Description

BEING a 53.407 acre tract of land situated in the T. Toby Survey, Abstract Number 1288, City of Denton, Denton County, Texas, and being a portion of a called 253.6 acre tract of land (remaining portion) described by deed to J.B. Haisler and wife, Rosa Haisler, recorded in Volume 316, Page 69, Deed Records, Denton County, Texas, and being more particularly described by metes and bounds as follows;

BEGINNING at a 5/8" IRON ROD FOUND at the northwest corner of Lot 16, Block G, Towne North Addition, an addition to the City of Denton, according to the plat recorded in Cabinet A, Page 138, Plat Records, Denton County, Texas, being on the South right-of-way line of S.H. Loop 288, a variable width right-of-way;

THENCE South 00 Degrees 38 Minutes 15 Seconds West, along the West line of said Block G, and the West line of Block G, Towne North Addition, an addition to the City of Denton, according to the plat recorded in Cabinet A, Page 127, Plat Records, Denton County, Texas, and the West line of Block G, Towne North Addition, an addition to the City of Denton, according to the plat recorded in Cabinet A, Page 111, Plat Records, Denton County, Texas, and the West line of a 10' Alley as shown on said Towne North Addition (A-114), at a distance of 1970.54 feet, passing a MAG NAIL FOUND IN A TREE ROOT for reference, and continuing in all 2134.91 feet, to a MAG NAIL SET at the southwest corner of said Towne North Addition (A-114), being on the South line of said called 253.6 acre tract, and being in the approximate centerline of Hercules Lane, a variable width right-of-way;

THENCE North 89 Degrees 59 Minutes 44 Seconds West, departing said common line and along the South line of said called 253.6 acre tract, a distance of 128.51 feet, to a MAG NAIL SET at the southeast corner of a called 13.042 acre tract of land described by deed to Asbury United Methodist Church, recorded in County Clerk's File Number 97-11296, Deed Records, Denton County, Texas;

THENCE North 00 Degrees 42 Minutes 47 Seconds East, departing said South line and along the East line of said called 13.042 acre tract, a distance of 33.57 feet, to a 5/8" IRON ROD FOUND;

THENCE North 53 Degrees 52 Minutes 50 Seconds West, continuing along said East line, a distance of 1008.43 feet, to a 1/2" IRON ROD FOUND;

THENCE North 78 Degrees 24 Minutes 50 Seconds West, continuing along said East line, a distance of 466.02 feet, to a 5/8" CAPPED IRON ROD SET STAMPED "REALSEARCH" at the northwest corner of said called 13.042 acre tract, being on the East right-of-way line of F.M. Highway No. 2164, a 90' a right-of-way;

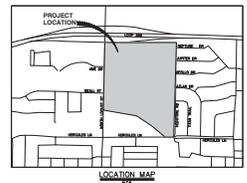
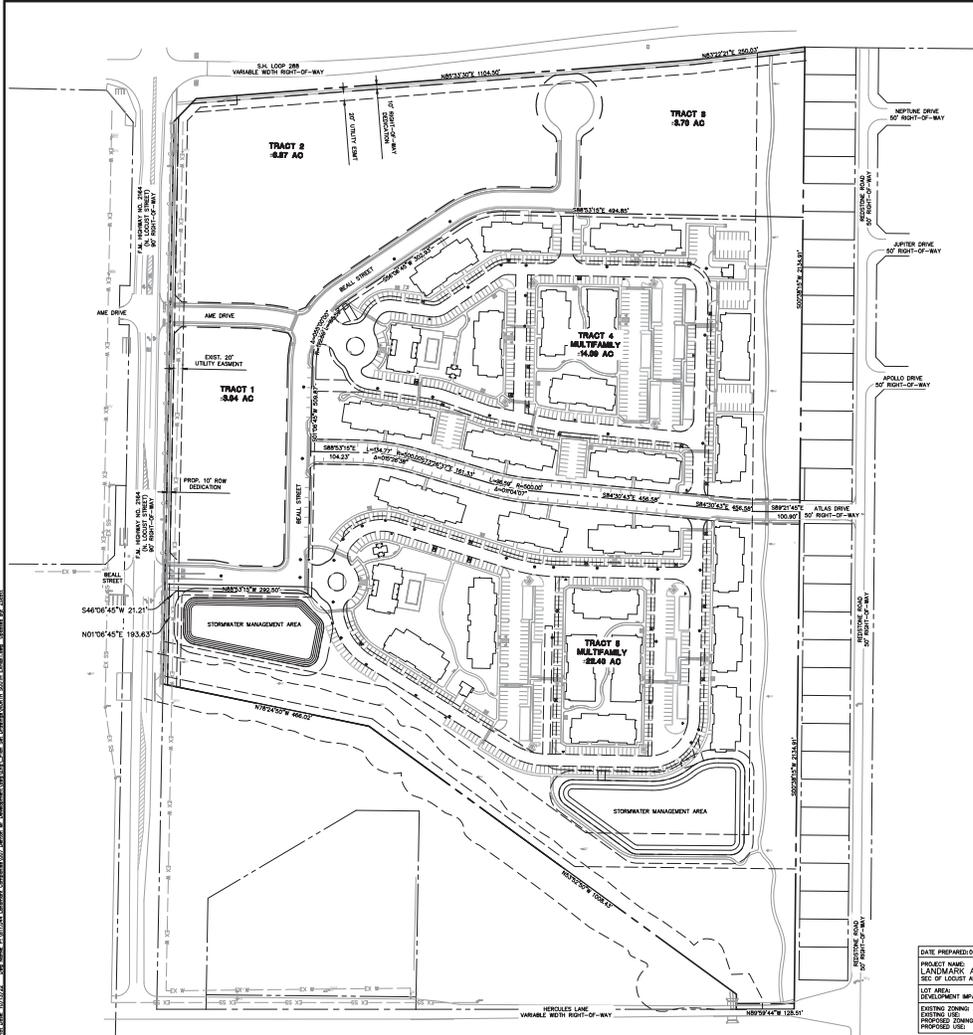
THENCE North 01 Degrees 06 Minutes 45 Seconds East, departing said East line and along said East right-of-way line, a distance of 1248.22 feet, to a TXDOT MONUMENT FOUND at the South end of a corner clip at the intersection of said East right-of-way line and the South right-of-way line of said S.H. Loop 288;

THENCE North 44 Degrees 05 Minutes 02 Seconds East, along said corner clip, a distance of 70.70 feet, to a 5/8" CAPPED IRON ROD SET STAMPED "REALSEARCH", being on the South right-of-way line of said S.H. Loop 288;

THENCE North 85 Degrees 33 Minutes 30 Seconds East, along said South right-of-way line, a distance of 1104.50 feet, to a CUT OFF T-POST FOUND;

THENCE North 83 Degrees 22 Minutes 21 Seconds East, continuing along said South right-of-way line, a distance of 250.03 feet, to the POINT OF BEGINNING, and containing 53.407 acres or 2,326,389 square feet of land, more or less.

Exhibit B
Site Plan



LEGEND

○	DOUBLE CLEANOUT
●	SANITARY MANHOLE
□	JUNCTION BOX
○	CURB INLET
○	GRATE INLET
○	TDC
○	FIRE HYDRANT
○	BARREER FREE RAMP
---	PROPERTY LINE
---	ROW

DATE PREPARED: 09/13/2022

PROJECT NAME: LANDMARK AT BEALL STREET
 SITE OF LOT 21 AND LOT 22

LOT AREA: 1,284,402 S.F.
 DEVELOPMENT IMPACT AREA: 1,024,422 S.F.

EXISTING ZONING: SC
 PROPOSED ZONING: SFP FOR MULTIFAMILY
 PROPOSED USE: MULTIFAMILY

OWNER: MARY MOUNTAIN
 1217 GREENVILLE AVE STE 1000
 DALLAS, TEXAS 75247
 972.773.2200 PH
 972.773.2200 FX
 WWW.MOUNTAIN.P.E

DESIGNER: LANDMARK COMPANIES
 2700 ROSKOPF BOULEVARD,
 SUITE 100, F. 3290
 CARL W. WITTELL
 972.448.2200
 CENTRETEL.LANDMARKCOMPANIES.COM

REGISTERED PROFESSIONAL ENGINEER
 STATE OF TEXAS
 REGISTRATION NO. 127122

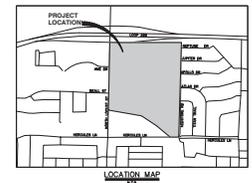
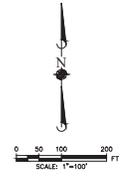
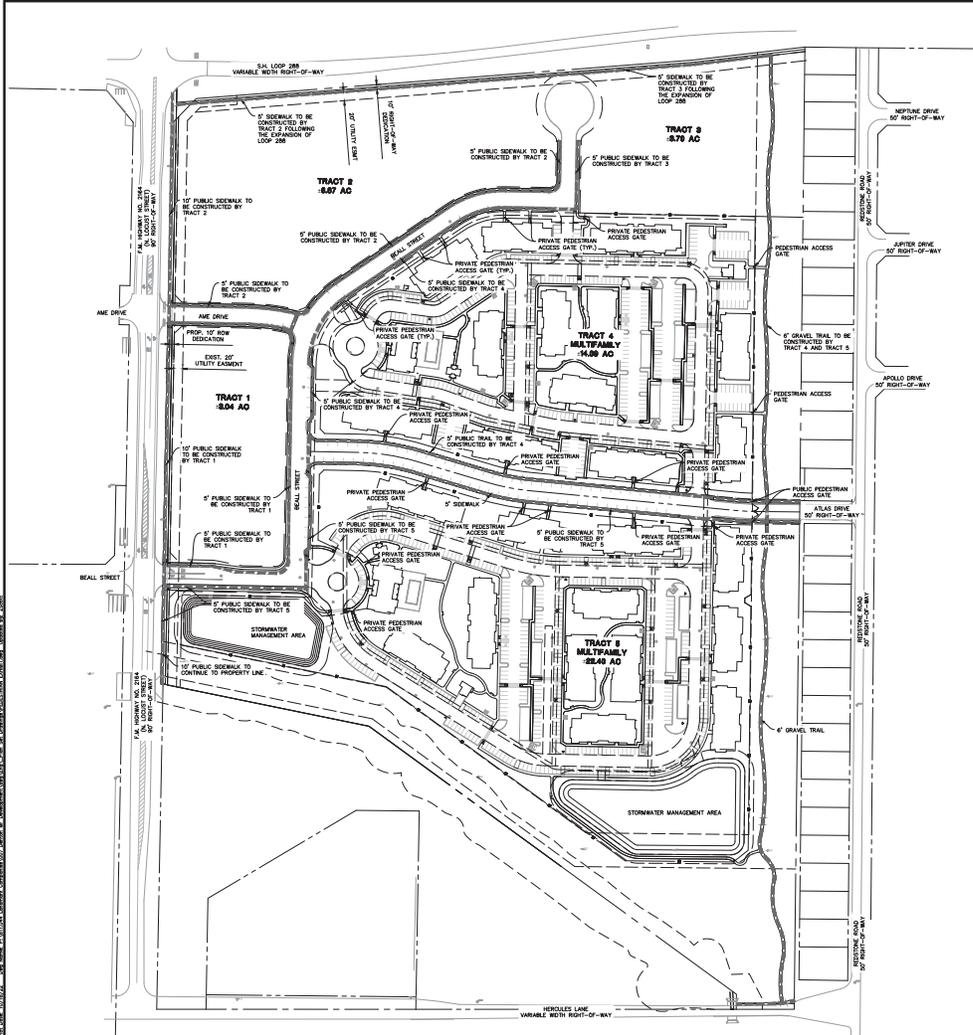
PROJECT S21-0006

Manhard CONSULTING

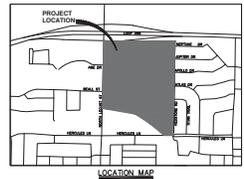
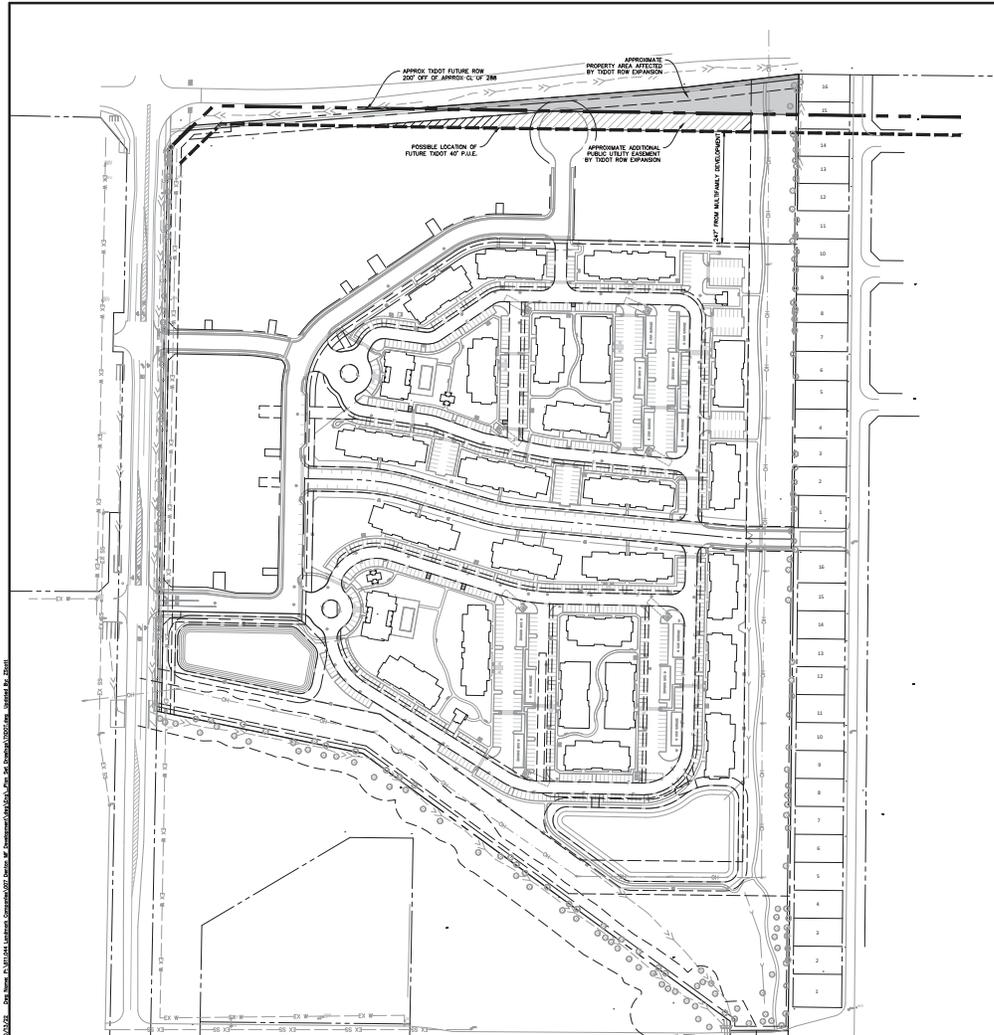
LANDMARK RESIDENTIAL
 A1288 A. T. TOBY, TR 13, 53.933 ACRES, CITY OF DENTON, TEXAS
 SITE BOUNDARY EXHIBIT

FOR REVIEW ONLY
 THIS DOCUMENT IS NOT
 TO BE USED FOR CONSTRUCTION
 OR PERMITTING PURPOSES
 JOHN L. BUCKNER, P.E.
 TEXAS P.E. NO. 38334
 ISSUED THIS DATE:
 10/13/2022

SHEET
C0.2
 83156507



LANDMARK RESIDENTIAL A1285 A. T. TOBY, TR 13, 53.93 ACRES, CITY OF DENTON, TEXAS PEDESTRIAN CIRCULATION PLAN	
DATE PREPARED: 09/13/2022 PROJECT NAME: LANDMARK AT BEALL STREET DEC. OF LOCUS AND LOOP 288	ENGINEER: MANHARD CONSULTING 12229 GREENVILLE AVE STE 1000 DALLAS, TEXAS 75244 972.972.4000 PH 972.972.4000 FX WWW.MANHARD.COM
LOT AREA: 148,840 S.F. DEVELOPMENT IMPACT AREA: 1,552,433 S.F.	OWNER: DARTY MCCLINTOCK 1211 GREENBRIAR ST, DENTON TX 76208 1200 COWLING RD, DANKER MILTON MASSACHUSETTS 01901 DALTON@DENTONPAPER.COM
EXISTING ZONING: SC EXISTING USE: AGRICULTURE PROPOSED ZONING: SC-SUP FOR MULTIFAMILY PROPOSED USE: MULTIFAMILY	ARCHITECT: DALTON DENTON PAPER 1000 WILSON BOULEVARD SUITE 100 DENTON, TX 76208 817-288-2468 817-288-2468 DENTON@DENTONPAPER.COM
SHEET: C0.3 817-288-2468	PROJECT: 521-0006



UTILITY LEGEND

⊠	DOUBLE CLEANOUT
⊙	SAFETY MARKER
⊞	JUNCTION BOX
⊞	CURB INLET
⊞	GRATE INLET
⊞	FIRE HYDRANT
⊞	WATER FITTINGS
⊞	GATE VALVES
⊞	POC

- NOTES**
1. REFER TO SHEET 3 GENERAL NOTES FOR GENERAL NOTES, PAVING NOTES, AND A COMPLETE LEGEND.
 2. REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION SCHEDULE CROSSING PAVED AREAS.
 3. REFER TO STRUCTURAL PLANS FOR ALL BUILDING, DETACHED GARAGE, AND SHEDS FOR ENCLASURE FOUNDATION DESIGN AND DETAILS.
 4. THE CONTRACTOR HAS 14 DAYS TO INSTALL THE DRIVEWAY APPROACH AFTER REMOVING THE EXISTING CURB ON FACE A FINE OF \$500 PER FOOT IF IT IS NOT INSTALLED.
 5. ALL SANDLOTS AND CONCRETE REMOVAL WITHIN 1" OF A JOINT SHALL BE REMOVED AND RECONSTRUCTED TO THE JOINT.

Manhard CONSULTING
 12000 W. 34th Street, Suite 100, Dallas, TX 75244
 (972) 412-1234
 www.manhardconsulting.com
 State of Texas Professional Engineers and Land Surveyors Registration No. 271722

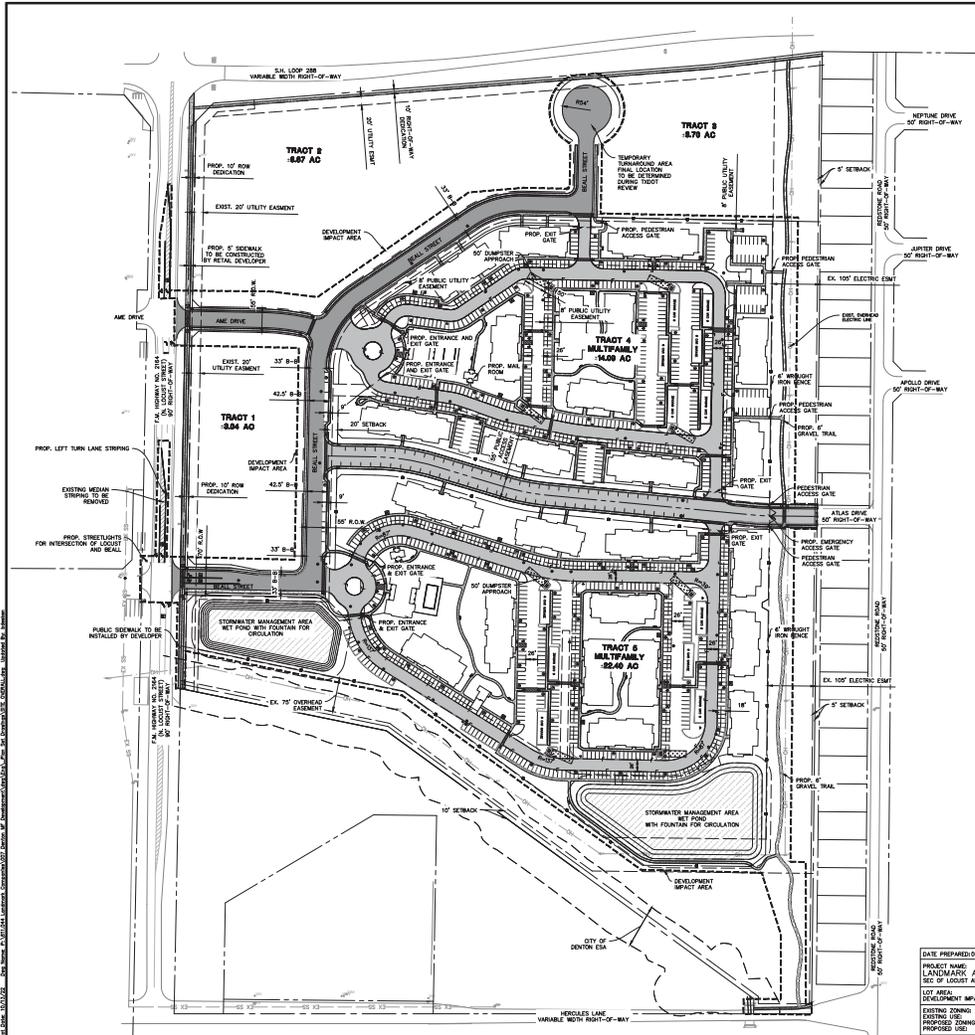
LANDMARK RESIDENTIAL
 A1288 A. TOBY, TR 13, 53.93 ACRES, CITY OF DENTON, TEXAS
 TxDOT ROW EXHIBIT

FOR INTERIM REVIEW ONLY
 THIS DOCUMENT IS NOT
 TO BE USED FOR CONSTRUCTION
 OR PERMITTING PURPOSES
 DRAWN BY: HICKS/CORREY, P.E.
 TEXAS P.E. No. 38334
 ISSUED THIS DATE:
 10/13/2022

Project No. 88
 Prop. No. 278
 Issued: JUL
 Date: 10/13/2022

SHEET
C0.4
 811.046502

PROJECT 821-0006



LEGEND

- DOUBLE CLEANOUT
- SANITARY MANHOLE
- JUNCTION BOX
- CURB INLET
- GATE INLET
- FDC
- FIRE HYDRANT
- BARRIER FREE RAMP
- TRANSFORMER
- FIRE RACK
- FIRE LINE
- PROPERTY LINE
- PROPOSED FENCE
- DEVELOPMENT IMPACT AREA
- DRAINAGE SWALE

PAVING LEGEND

- ▨ SIDEWALKS
- ▨ GRAVEL TRAIL
- ▨ PUBLIC ROAD
- ▨ FIRELANE
- ▨ ROAD NORMAL SURFACE ELEVATION

0 50 100 200 FT
SCALE: 1"=100'

LOCATION MAP

NORTH PROPERTY (TRACT 4)		
	REQUIRED	PROVIDED
LOT AREA	MIN. 10,000 S.F.	14,09 AC
BUILDING AREA	MAX. 587,785 S.F.	121,020 S.F.
BUILDING COVERAGE	MAX. 80%	21.60%
OPEN SPACE	MIN. 58,779 S.F.	41% (254,909) S.F.
BUILDING HEIGHT	<55'	47'2"
PARKING	575	577
ACCESSIBLE PARKING	12	12
BICYCLE PARKING	30	32
NUMBER OF UNITS		336
	1 BEDROOM	216
	2 BEDROOM	108
	3 BEDROOM	12

SOUTH PROPERTY (TRACT 5)		
	REQUIRED	PROVIDED
LOT AREA	MIN. 10,000 S.F.	22.4 AC
BUILDING AREA	MAX. 709,880 S.F.	119,220 S.F.
BUILDING COVERAGE	MAX. 80%	13.20%
OPEN SPACE	MIN. 8% (71,000 S.F.)	64% (633,359 S.F.)
BUILDING HEIGHT	<55'	47'2"
PARKING	584	570
ACCESSIBLE PARKING	11	12
BICYCLE PARKING	27	28
NUMBER OF UNITS		324
	1 BEDROOM	198
	2 BEDROOM	114
	3 BEDROOM	12

DATE PREPARED: 09/28/2022

PROJECT NAME: LANDMARK AT BEALL STREET
SIC OF LOT/ST AND LOOP 208

LOT AREA: 1,284,603 S.F.
DEVELOPMENT IMPACT AREA: 1,082,422 S.F.

EXISTING ZONING: SC
PROPOSED ZONING: SGP - SGP FOR MULTIFAMILY
PROPOSED USE: MULTIFAMILY

DESIGNER: MORGAN CONLEY INC
1222 GREENVILLE AVE STE 1000
DALLAS, TEXAS 75247
972-732-2200 PH
972-732-2200 FAX
MORGANCONLEY.COM

LANDSCAPE ARCHITECT: LANDSCAPE ARCHITECTS, P.C.
2100 ROCKWELL BOULEVARD
SUITE 200, DALLAS, TEXAS 75244
972-448-2488 PH
972-448-2488 FAX
LANDSCAPEARCHITECTS.COM

OWNER: BEHRENS PARTNERS LLC
1660 DALLAS PARKWAY, STE 2000
DALLAS, TEXAS 75246
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BEHRENSPARTNERS.COM

OTHER: BEHRENS PARTNERS LLC
3710 WOODBRUN ST, DENTON
TX 76208
940-389-9000 PH
3710 WOODBRUN ST, DENTON
TX 76208
940-389-9000 PH
BEHRENSPARTNERS.COM

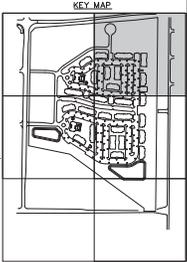
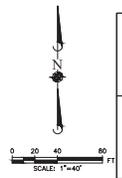
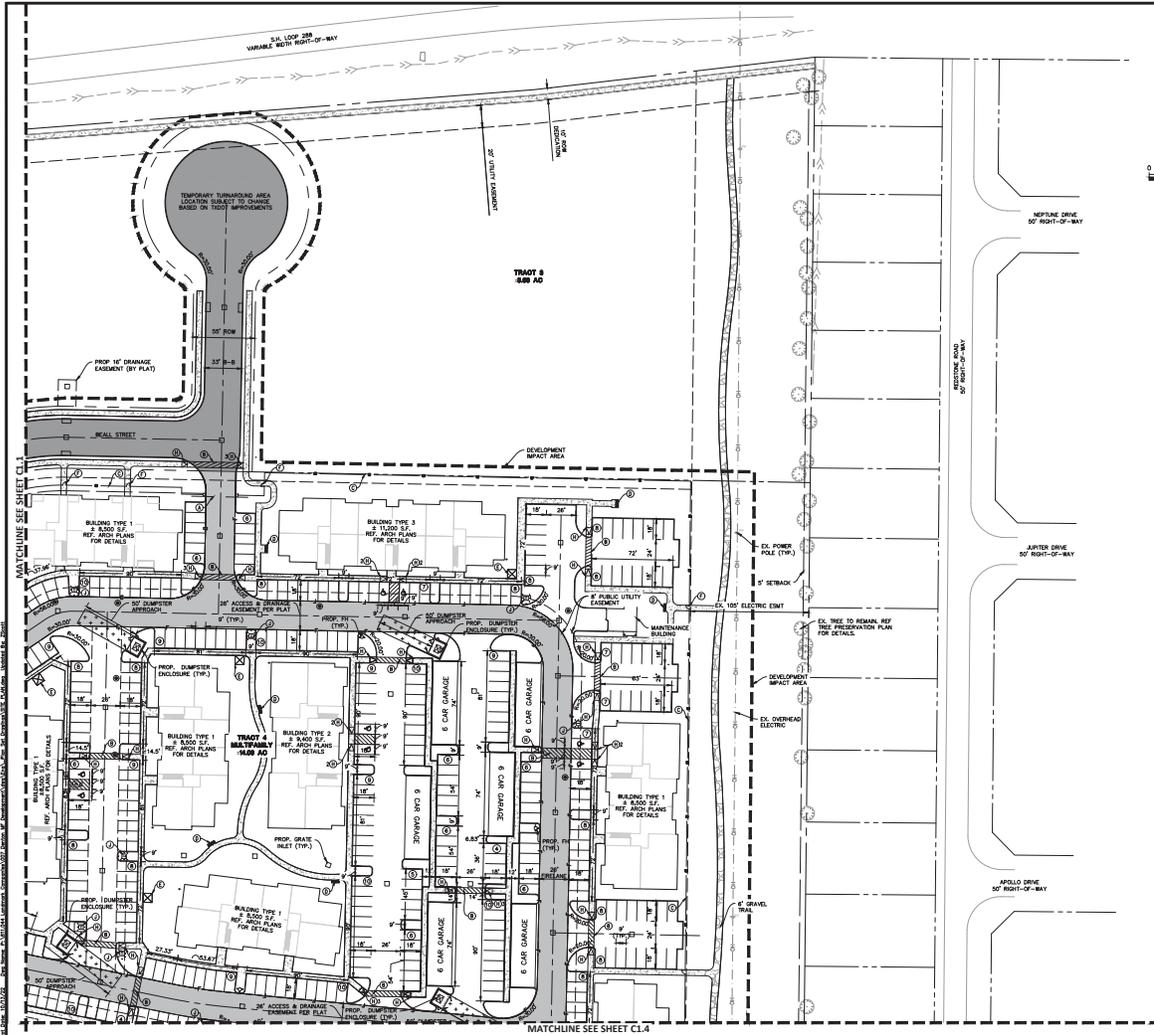
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OVERALL SITE PLAN

PROJECT S21-0006

SHEET C1.0



- LEGEND**
- DOUBLE CLEANOUT
 - SANITARY MANHOLE
 - JUNCTION BOX
 - CURB INLET
 - GRATE INLET
 - FIC
 - FIRE HYDRANT
 - BARRIER FREE RAMP
 - FIRE LANE
 - DEVELOPMENT IMPACT AREA
 - PROPERTY LINE
 - PROPOSED FENCE
 - DRAINAGE SWALE

- PAVING LEGEND**
- SIDEWALKS
 - GRAVEL TRAIL
 - PUBLIC ROAD
 - FIRELANE
 - POND NORMAL SURFACE ELEVATION

- HARDSCAPE LEGEND**
- ① ENTRANCE/GATE
 - ② PROP. CROSSWALK HIGHLIGHTED WITH MORE THAN PAINT, PER DOC. TABLE 9.9
 - ③ 4\"/>

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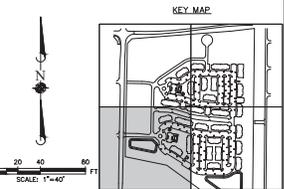
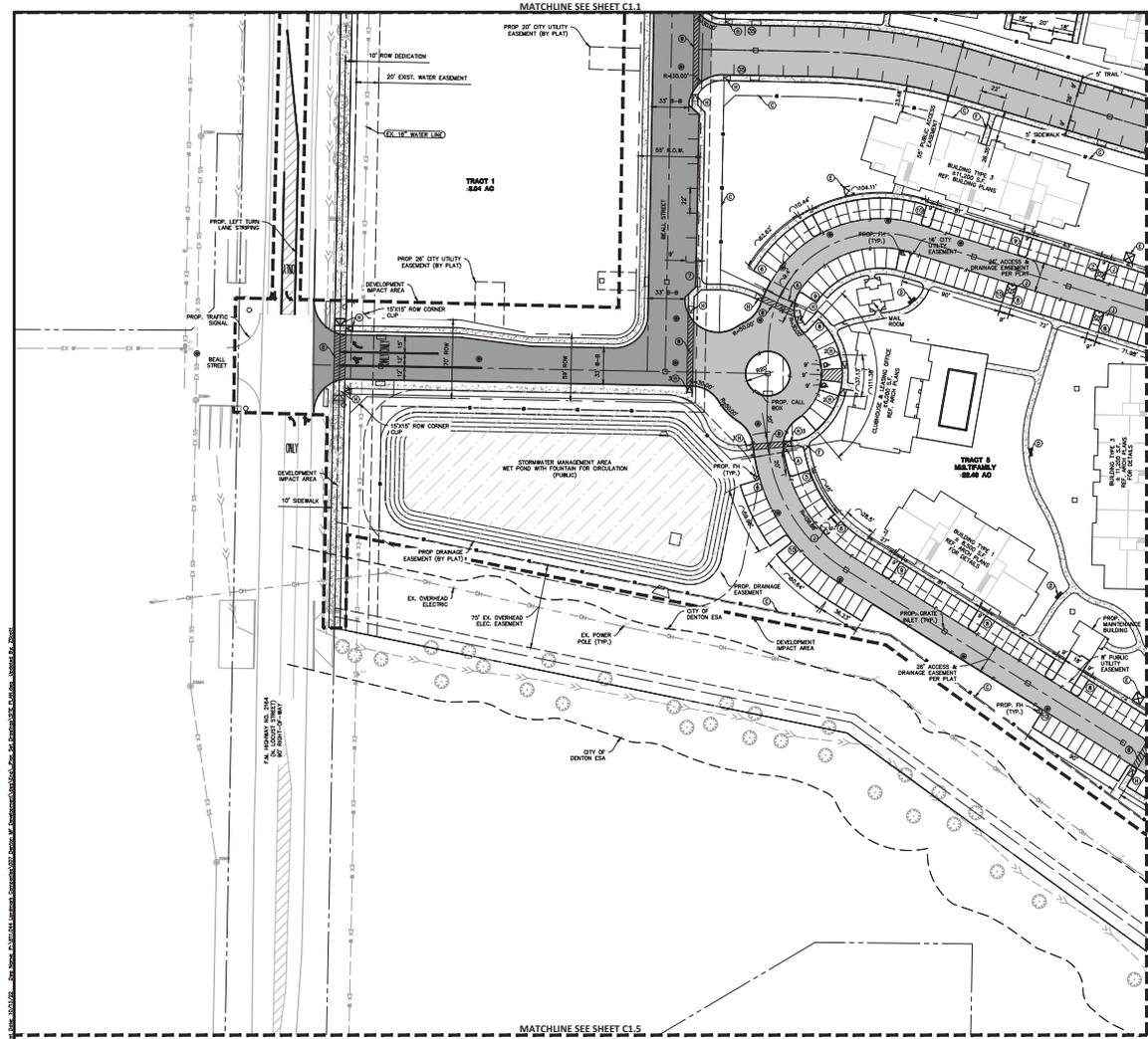
A1286 A. T. TOBY, TR 13, 53.939 ACRES, CITY OF DENTON, TEXAS

PAVING AND DIMENSIONAL CONTROL PLAN

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TEXAS P.E. NO. 38334
ISSUED THIS DATE:
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C1.2
10/13/2022

PROJECT S21-0006



LEGEND

- ⊕ DOUBLE CLEANOUT
- ⊙ SANITARY MANHOLE
- ⊠ JUNCTION BOX
- ⊞ CURB INLET
- ⊡ GRATE INLET
- ⊕ FIC
- ⊕ FIRE HYDRANT
- ⊕ BARRIER FREE RAMP
- FIRE LANE
- ▨ DEVELOPMENT IMPACT AREA
- PROPERTY LINE
- PROPOSED FENCE
- DRAINAGE SWALE

PAVING LEGEND

- ▨ SIDEWALKS
- ▨ GRAVEL TRAIL
- ▨ PUBLIC ROAD
- ▨ FIRELANE
- ▨ POND NORMAL SURFACE ELEVATION

HARDSCAPE LEGEND

- ⊙ ENTRANCE/EXIT GATE
- ⊙ PROP. CROSSWALK HIGHLIGHTED WITH MORE THAN PAINT, PER DOC T-1012.0
- ⊙ 4" MROUGHT IRON FENCE
- ⊙ BENCH (REF. LANDSCAPE PLANS)
- ⊙ 8"X8" BIRCH PAVILION
- ⊙ SEEDSTRIP GATE (REF. LANDSCAPE PLANS)
- ⊙ BARRIER FREE RAMP (TYPE 1A UNLESS OTHERWISE SPECIFIED)
- ⊙ PROP. TRANSFORMER AND ELECTRIC METER

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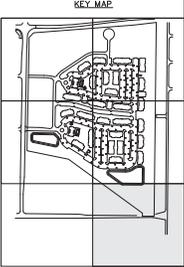
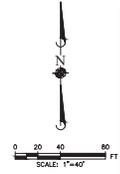
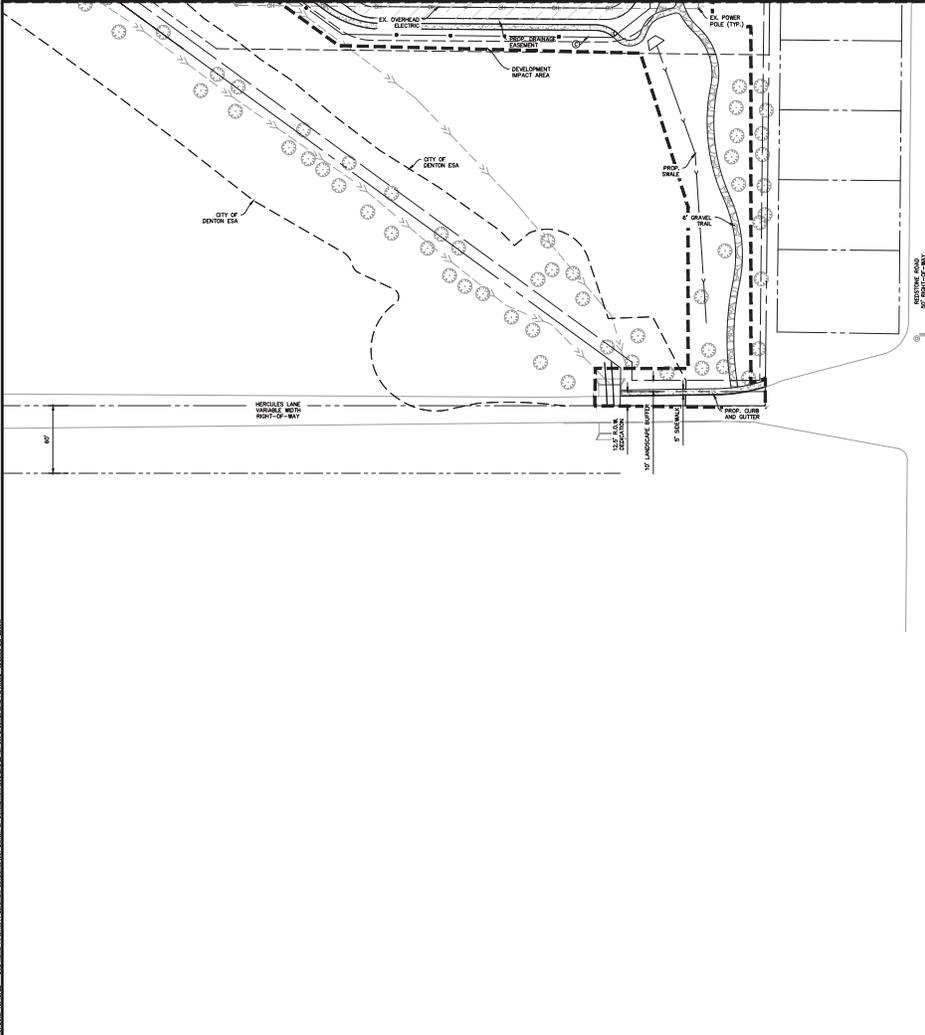
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C1.3

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MATCHLINE SEE SHEET C1.4



LEGEND

- ⊕ DOUBLE CLEANOUT
- ⊙ SANITARY MANHOLE
- ⊠ JUNCTION BOX
- CURB INLET
- ▭ GRATE INLET
- ⊕ FIC
- ⊕ FIRE HYDRANT
- ▭ BARRIER FREE RAMP
- ▭ FIRE LANE
- DEVELOPMENT IMPACT AREA
- PROPERTY LINE
- PROPOSED FENCE
- DRAINAGE SWALE

PAVING LEGEND

- ▨ SIDEWALKS
- ▨ GRAVEL TRAIL
- ▨ PUBLIC ROAD
- ▨ FIRELANE
- ▨ POND NORMAL SURFACE ELEVATION

HARDSCAPE LEGEND

- ⊕ ENTRANCE/EXIT GATE
- ⊕ PROP. CROSSWALK HIGHLIGHTED WITH MORE THAN PAINT, PER DCC 7.4.10.2.9
- ⊕ 4" WROUGHT IRON FENCE
- ⊕ BENCH (REF. LANDSCAPE PLANS)
- ⊕ 8"X8" BIKE RACK AREA
- ⊕ BIKESTRAVE GATE (REF. LANDSCAPE PLANS)
- ⊕ BARRIER FREE RAMP (TYPE 1A UNLESS OTHERWISE SPECIFIED)
- ⊕ PROP. TRANSFORMER AND ELECTRIC METER

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STATE OF TEXAS
 ENGINEERING EXAMINER
 LICENSE NO. 10127
 EXPIRES 12/31/2025

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 PAVING AND DIMENSIONAL CONTROL PLAN

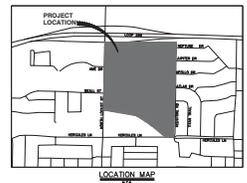
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Sheet No. 001
 Total Sheets: 25
 Project No. 821-0006
 Date: 10/13/2022

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C1.5
 811-866001

PROJECT 821-0006



LEGEND

- 100' EX. CONTOUR
- DRAINAGE DIVIDE
- APPROX. 500 YR FLOODPLAIN

NOTES
 1. FEMA FIRM PANEL NUMBER 482100220 EFFECTIVE 04/04/2011

BREAKOUT DAM



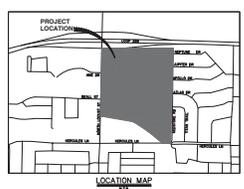
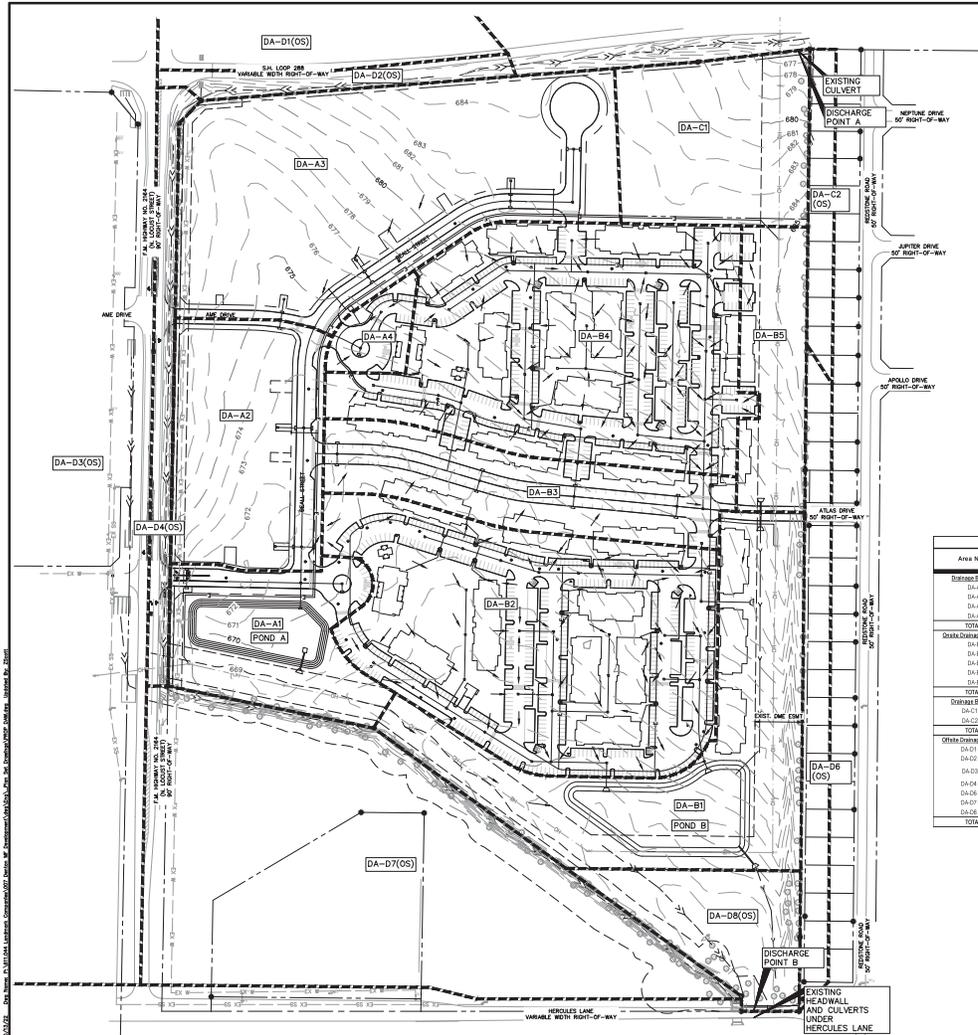
EXISTING DRAINAGE CONDITIONS												
Area Name	Area (acres)	C (ft)	T ₁ (ft)	T ₂ (ft)	h ₁ (ft)	h ₂ (ft)	Q ₁ (cfs)	Q ₂ (cfs)	Q ₃ (cfs)	Notes		
Drainage Basin 'A'												
DA-41	5.10	0.00	20		5.60	1.10	0.03	8.42	0.96	1.25	0.30	13.28
DA-42	0.25	0.00	15		6.41	1.10	2.72	4.28	7.91	1.25	0.91	5.87
Basin Totals	5.35						13.66					5.87
Drainage Basin 'B'												
DA-81(10)	6.70	0.00	20		5.80	1.10	0.30	14.84	0.96	1.25	0.44	20.68
DA-82(0)	0.91	0.00	15		6.41	1.10	1.00	5.81	7.91	1.25	1.00	7.17
DA-83(0)												
DA-84(0)	1.53	0.00	15		6.41	1.10	1.00	5.78	7.91	1.25	1.00	12.01
DA-85	46.36	0.00	20		5.80	1.10	0.30	99.37	0.96	1.25	0.30	102.22
DA-86(0)	1.90	0.00	15		6.41	1.10	0.72	6.96	7.91	1.25	0.91	12.52
DA-87(0)	12.71	0.00	10		7.58	1.10	0.30	47.51	0.24	1.25	0.55	60.00
Basin Totals	72.85						176.07					176.07

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 EXISTING DRAINAGE AREA MAP

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PROJECT 521-0006



LEGEND

- 100 — EX. CONTOUR
- — — DRAINAGE DRAIN
- — — APPROX. 500' W/ FLOORPLAN

NOTES
 1. FIRM FIRM NUMBER 481020220 EFFECTIVE 04/03/2021

DRAINAGE DESIGN INTENT:
 POND "B" AS SHOWN IS INTENDED TO SERVE THE STORM WATER DETENTION AND WATER QUALITY REQUIREMENTS FOR BOTH THE MULTIFAMILY AND RETAIL TRACTS. DETAILED DETENTION AND WATER QUALITY CALCULATIONS WILL BE PROVIDED DURING ENGINEERING REVIEW.
 NOTE: POND "A" & "B" WILL BE WET PONDS AND SERVE AS AN AMENITY FOR THE DEVELOPMENT.

PROPOSED DRAINAGE CONDITIONS										
Area Name	Area (Acres)	C ₁	T ₁ (hr)	S ₁ (in/hr)	Q ₁ (cfs)	C ₂	T ₂ (hr)	S ₂ (in/hr)	Q ₂ (cfs)	Notes
Drainage Basin "A"										
DA-A1	3.08	0.30	1.50	1.10	0.33	6.70	6.00	1.25	0.36	8.00
DA-A2	4.22	0.30	1.50	1.10	0.33	7.80	6.00	1.25	0.38	10.00
DA-A3	9.43	0.30	1.50	1.10	0.33	17.43	6.00	1.25	0.38	24.00
DA-A4	5.08	0.30	1.50	1.10	0.33	10.86	6.00	1.25	0.38	17.00
TOTALS	18.81					33.84				64.00
Drainage Basin "B"										
DA-B1	6.38	0.30	1.50	1.10	0.33	13.78	6.00	1.25	0.44	18.00
DA-B2	9.31	0.30	1.50	1.10	0.33	20.07	6.00	1.25	0.38	27.00
DA-B3	3.44	0.30	1.50	1.10	0.33	7.57	6.00	1.25	0.38	10.00
DA-B4	8.89	0.30	1.50	1.10	0.33	19.48	6.00	1.25	0.38	27.00
DA-B5	2.11	0.40	1.75	1.10	0.50	7.87	6.00	1.25	0.50	10.00
TOTALS	30.23					68.77				92.00
Drainage Basin "C"										
DA-C1 (OS)	3.58	0.30	1.50	1.10	0.33	8.41	6.00	1.25	0.36	8.00
DA-C2 (OS)	0.83	0.30	1.50	1.10	0.33	1.72	6.00	1.25	0.38	2.40
TOTALS	4.41					10.13				10.40
Other Drainage Basin "D"										
DA-D1 (OS)	0.79	0.30	20.00	1.50	1.10	0.33	14.83	6.00	1.25	0.44
DA-D2 (OS)	0.91	0.30	15.00	1.50	1.10	1.50	5.83	6.00	1.25	1.00
DA-D3 (OS)										0.00
DA-D4 (OS)	1.53	0.30	15.00	1.50	1.10	1.50	8.81	6.00	1.25	1.00
DA-D5 (OS)	1.96	0.30	15.00	1.50	1.10	0.33	3.62	6.00	1.25	0.50
DA-D6 (OS)	10.71	0.30	1.50	1.10	0.33	41.68	6.00	1.25	0.38	51.00
DA-D7 (OS)	2.38	0.40	1.75	1.10	0.50	8.21	6.00	1.25	0.50	11.28
TOTALS	18.36					84.88				112.00

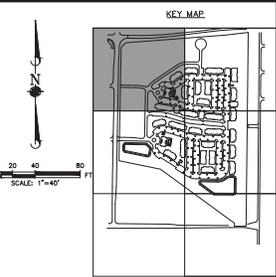
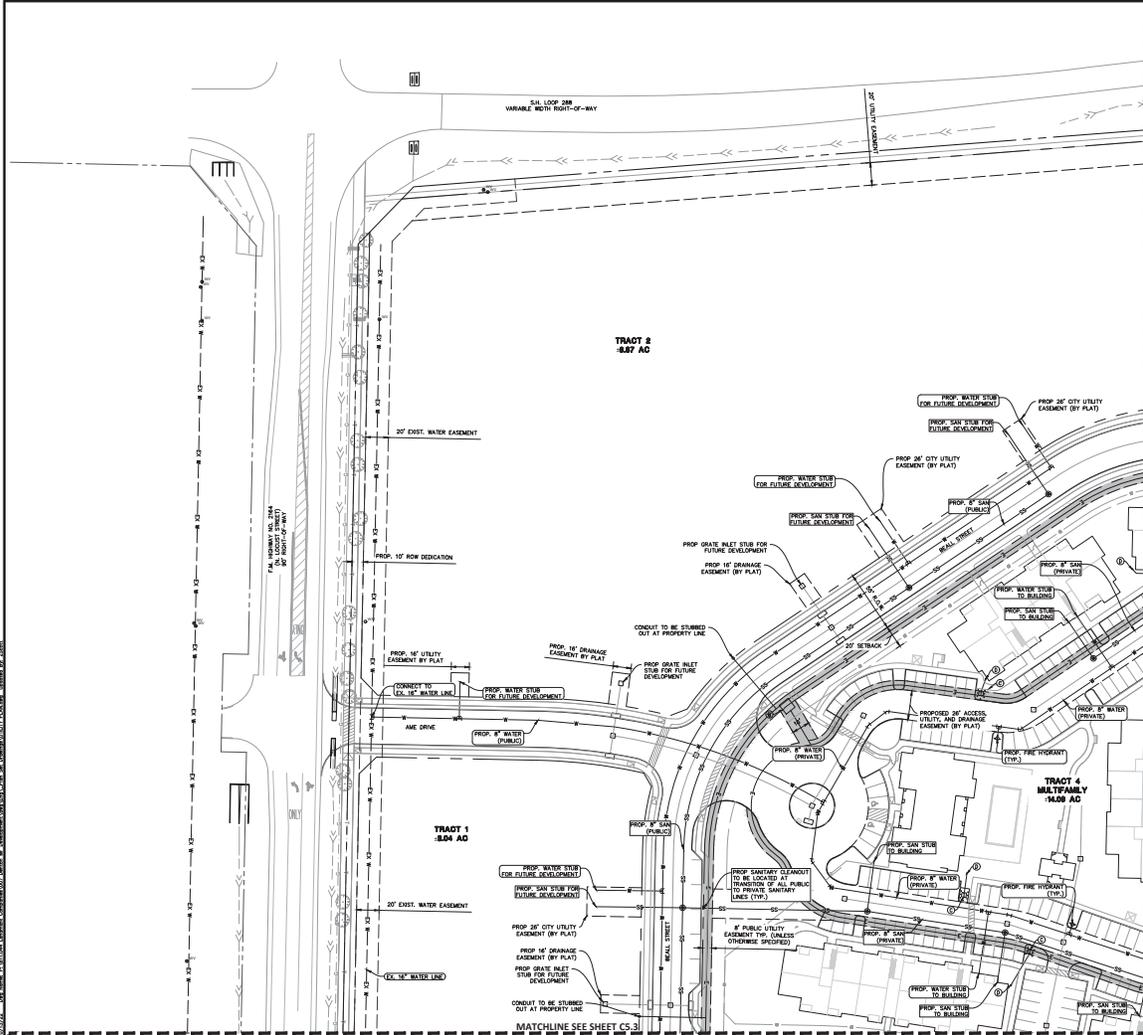
Manhard CONSULTING
 1100 W. 14TH STREET, SUITE 100, DENVER, CO 80202
 (303) 733-8800
 www.manhardconsulting.com

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 PROPOSED DRAINAGE AREA MAP

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PROJECT S21-0006



UTILITY LEGEND

- ⊞ DOUBLE CLEANOUT
- ⊞ SANITARY MANHOLE
- ⊞ JUNCTION BOX
- ⊞ CURB INLET
- ⊞ GRADE INLET
- ⊞ FIRE HYDRANTS
- ⊞ WATER FITTINGS
- ⊞ GATE VALVES
- ⊞ FDC
- ⊞ PUBLIC UTILITY EASEMENT FOR ONE ACCESS

- NOTES**
- REFER TO SHEET 1 GENERAL NOTES FOR GENERAL NOTES, PAVING NOTES, AND A COMPLETE LEGEND.
 - REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION CLEARLY CROSSING PAVED AREAS.
 - REFER TO STRUCTURE PLANS FOR ALL BUILDING DETACHED GARAGE, AND CHANGERS ENCLOSURE FOUNDATION DESIGN AND DETAILS.
 - THE CONTRACTOR HAS 14 DAYS TO INSTALL THE DRIVEWAY APPROACH AFTER REMOVING THE EXISTING CURB OR PAVE A FACE OF BROADWAY FOR EACH DAY IT IS REMOVED.
 - ALL SANICUTE AND CONCRETE REMOVAL WITHIN 3" OF A JOINT SHALL BE REMOVED AND RECONSTRUCTED TO THE JOINT.

ELECTRIC UTILITY LEGEND

- ⊞ PROPOSED ONE BROADCASTER IN 30' PUBLIC UTILITY EASEMENT
- ⊞ ONE PRIMARY CONNECTION CABINET
- ⊞ ONE TRANSFORMER (DEVELOPER TO INSTALL PAD)
- ⊞ ELECTRIC METER
- ⊞ UNDERGROUND PRIMARY ELECTRIC LINE
- ⊞ UNDERGROUND ELECTRIC SERVICE LINE

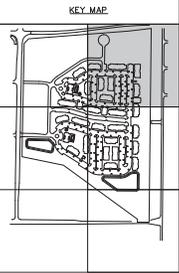
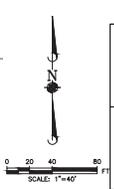
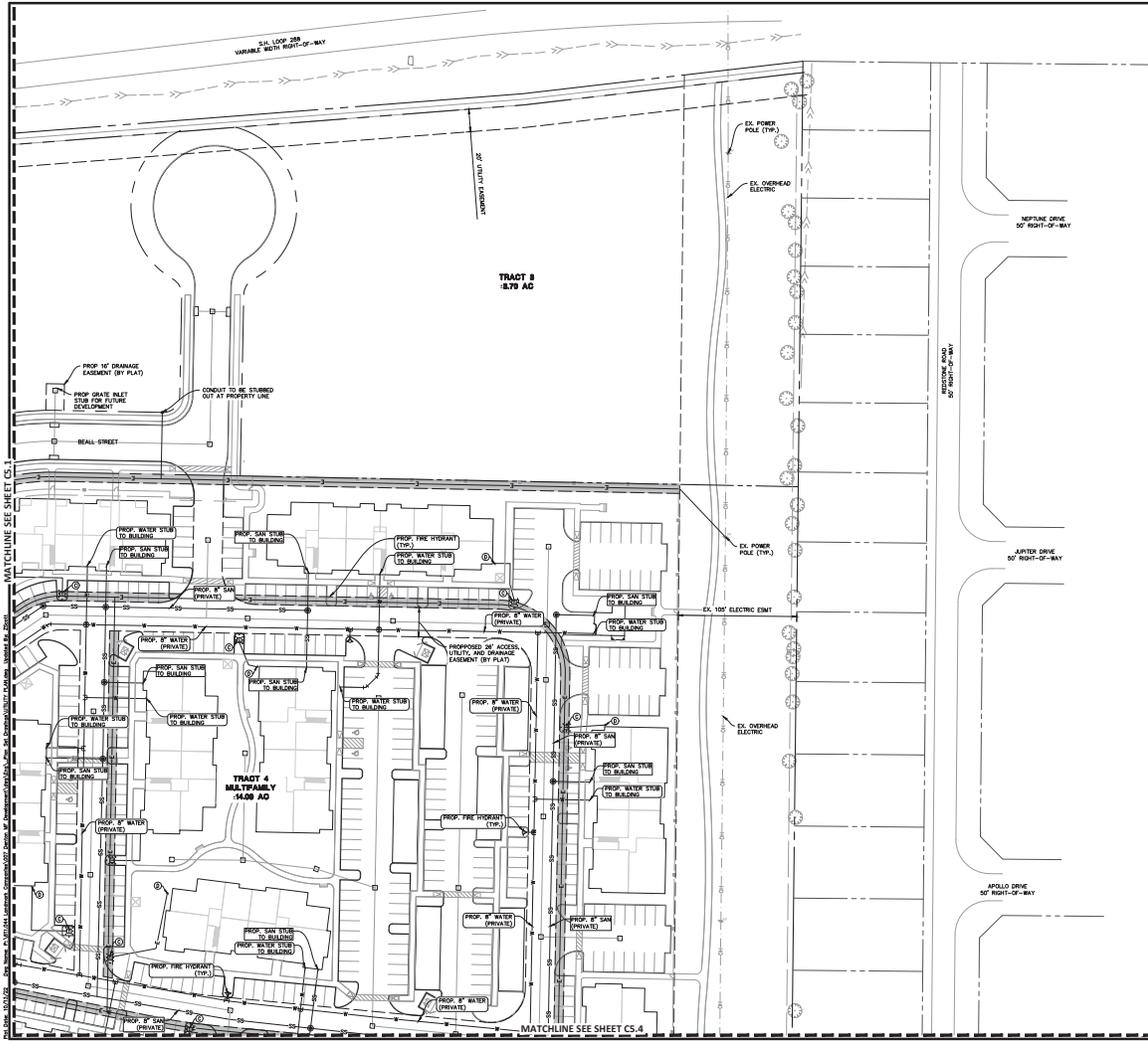
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UTILITY PLAN

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833.64602

PROJECT S21-0006



UTILITY LEGEND

⊠	DOUBLE CLEANOUT
⊙	SANITARY MANHOLE
⊠	JUNCTION BOX
⊠	CURB INLET
⊠	GRATE INLET
⊠	FIRE HYDRANTS
⊠	WATER FITTINGS
⊠	GATE VALVES
⊠	FDC
⊠	PUBLIC UTILITY EASEMENT FOR ONE ACCESS

- NOTES**
- REFER TO SHEET 1 GENERAL NOTES FOR GENERAL NOTES, PAVING NOTES, AND A COMPLETE LEGEND.
 - REFER TO LANDSCAPE PLANS FOR LANDSCAPE IMPROVEMENTS AND IRRIGATION LEAKS CROSSING PAVED AREAS.
 - REFER TO STRUCTURE PLANS FOR THE BUILDING OUTSTANDING GARAGE, AND DISPERSE ENCLOSURE FOUNDATION DESIGN AND DETAILS.
 - THE CONTRACTOR HAS 18 DAYS TO INSTALL THE UTILITY APPROACH AFTER RECEIVING THE EXISTING CURB OR FACE A FINE OF \$500/DAY FOR EACH DAY IT IS NOT INSTALLED.
 - ALL SANDS AND CONCRETE REMOVAL WITHIN 3" OF A JOINT SHALL BE REMOVED AND RECONSTRUCTED TO THE JOINT.

ELECTRIC UTILITY LEGEND

⊙	PROPOSED ONE SWITCHER IN 30' PUBLIC UTILITY EASEMENT
⊙	ONE PRIMARY CONNECTION CABINET
⊙	ONE TRANSFORMER (DEVELOPER TO INSTALL PAD)
⊙	ELECTRIC METER
⊙	UNDERGROUND PRIMARY ELECTRIC LINE
⊙	UNDERGROUND ELECTRIC SERVICE LINE

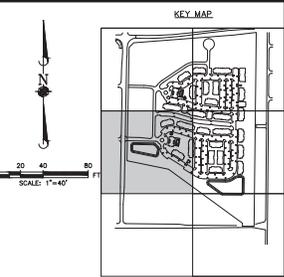
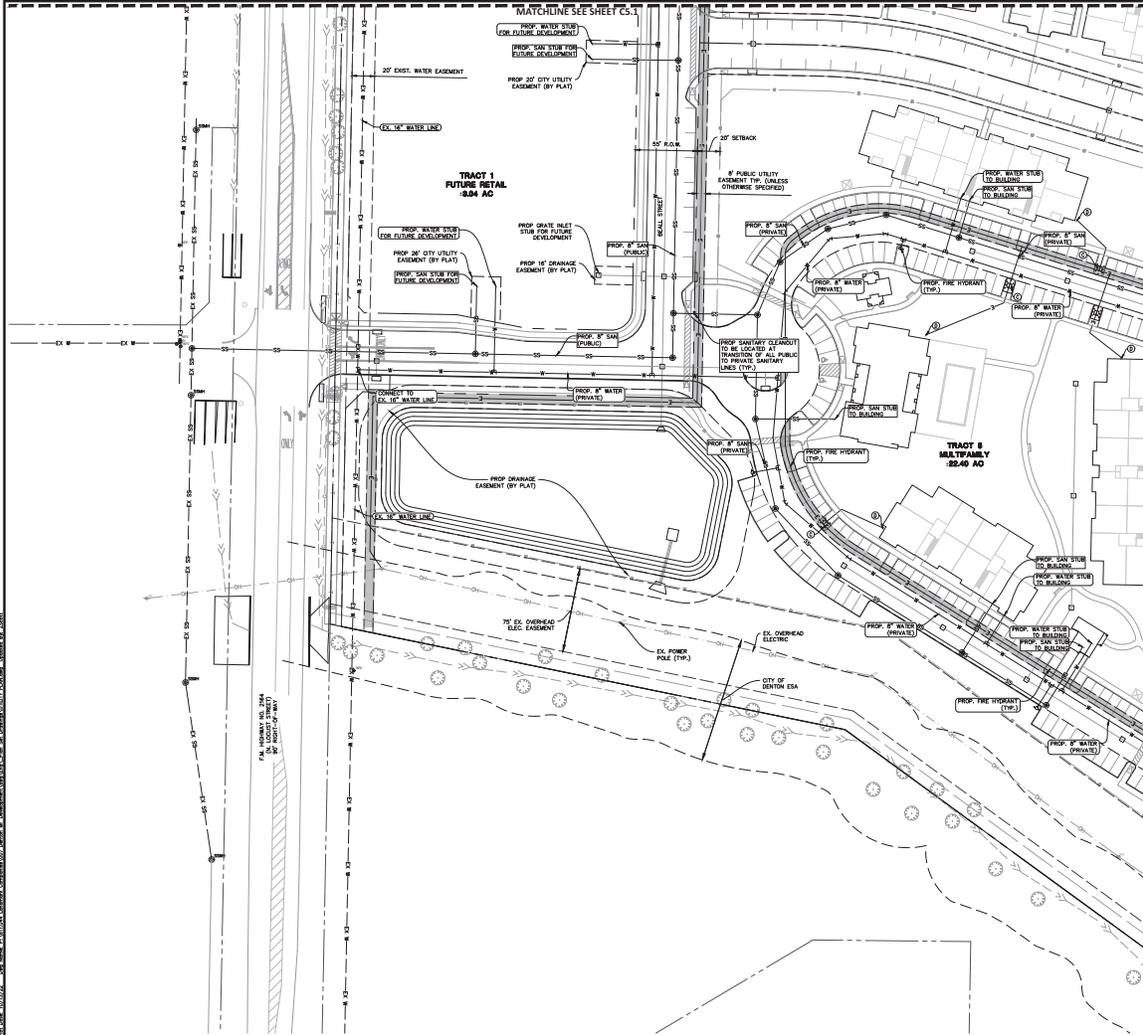
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 WWW: WWW.MANHARDCONSULTING.COM

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 UTILITY PLAN

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 83154697

PROJECT 521-0006



UTILITY LEGEND

- ⊞ DOUBLE CLEANOUT
- ⊙ SANITARY MANHOLE
- JUNCTION BOX
- ⊞ CURB INLET
- ⊞ GRATE INLET
- ⊞ FIRE HYDRANTS
- ⊞ WATER FITTINGS
- ⊞ GATE VALVES
- ⊞ FDC
- ⊞ PUBLIC UTILITY EASEMENT FOR ONE ACCESS

- NOTES**
- REFER TO SHEET 1 GENERAL NOTES FOR GENERAL NOTES, PAVING NOTES, AND A COMPLETE LEGEND.
 - REFER TO LANDSCAPE PLANS FOR Hardscape IMPROVEMENTS AND IRRIGATION LEAKS CROSSING PAVED AREAS.
 - REFER TO STRUCTURE PLANS FOR ALL BUILDING OVERHEAD GARAGE, AND DISPATCH ENCLOSURE FOUNDATION DETAILS AND DETAILS.
 - THE CONTRACTOR HAS 18 DAYS TO INSTALL THE UTILITY APPROACH AFTER REMOVING THE EXISTING CURB OR FACE A FINE OF \$500/DAY FOR EACH DAY IT IS NOT INSTALLED.
 - ALL SANDLOTS AND CONCRETE REMOVAL WITHIN 3" OF A JOINT SHALL BE REMOVED AND RECONSTRUCTED TO THE JOINT.

ELECTRIC UTILITY LEGEND

- ⊞ PROPOSED ONE SWITCHER IN 30' PUBLIC UTILITY EASEMENT
- ⊞ ONE PRIMARY CONNECTION CABINET
- ⊞ ONE TRANSFORMER (DEVELOPER TO INSTALL PAD)
- ⊞ ELECTRIC METER
- ⊞ UNDERGROUND PRIMARY ELECTRIC LINE
- ⊞ UNDERGROUND ELECTRIC SERVICE LINE

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 UTILITY PLAN

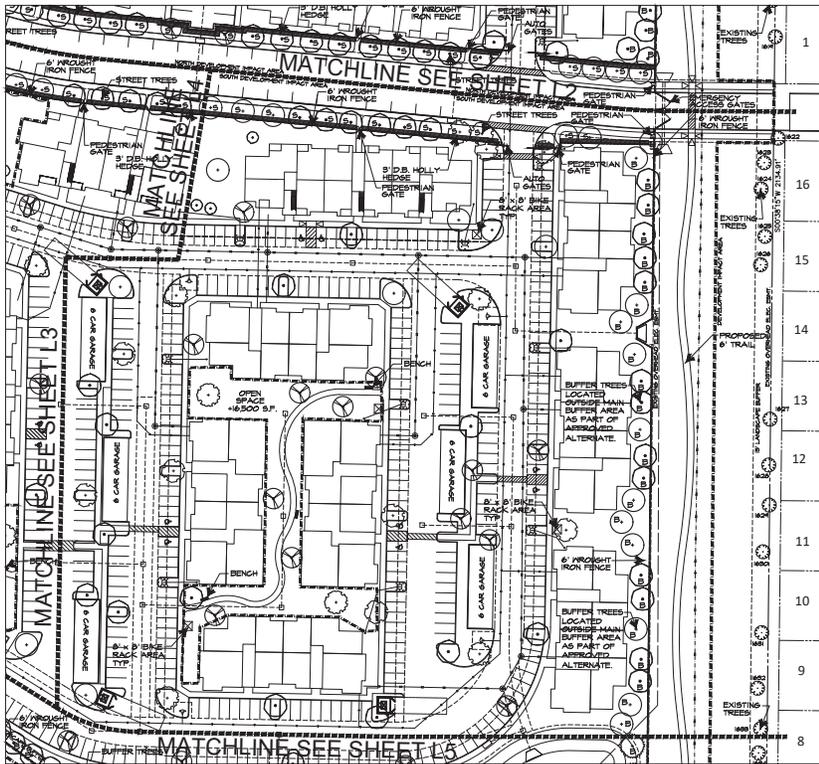
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 Project No. 221
 Date: 10/13/2022

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C5.3
 811-84697

PROJECT S21-0006

Exhibit C
Landscape Plan



CANOPY TREES	
SYMBOL	COPYRIGHT NAME
(Symbol)	CONCEPT DMC
(Symbol)	LANDMARK BLM
(Symbol)	BALD OFFSHORE
(Symbol)	LIVE DMC
(Symbol)	ORSHEE PERIAGE
(Symbol)	SHAWARD RED OAK
ORNAMENTAL TREES	
SYMBOL	COPYRIGHT NAME
(Symbol)	CHANDLER POWER PRINCE
TREE LOCATION SYMBOLS	
SYMBOL	LOCATION
(Symbol)	ON SITE STREET TREE
(Symbol)	STREET BUFFER TREE
(Symbol)	PERIMETER BUFFER TREE

DENTON LANDSCAPE TABULATIONS - SOUTH LOT

DEVELOPMENT IMPACT AREA (DIA)
 30% OF THE DIA SHALL BE IN PERMANENT LANDSCAPING
 TOTAL OVERALL DEVELOPMENT IMPACT AREA: 184,560 SQ. FT. 39.85 ACRES
 OFF SITE DIA: 274,050 SQ. FT. 62.83 ACRES
 SOUTHERN TRACT DIA: 89,366.00 SQ. FT. 20.35 ACRES

SOUTHERN TRACT LANDSCAPE AREA REQUIRED: (89,366 / 30% = 297,887 SQ. FT.)
 SOUTHERN TRACT LAND AREA PROVIDED: 126,126.00 SQ. FT. 28.93 ACRES
 SOUTHERN TRACT DIA: 89,366.00 SQ. FT. 20.35 ACRES

SITE TREE CANOPY COVERAGE
 TREE CANOPY COVERAGE SHALL BE A MIN. 50% OF THE DIA OR OVERALL
 1% MIN. USED OVERALL LOT PERUS BLD. COVERAGE

SOUTHERN APARTMENT TRACT 975,744 ± SQ. FT. BLD. COVERAGE 18,220 ± 856,524 SQ. FT.
 30% TREE CANOPY AREA REQUIRED: 546,556 SQ. FT. 12.5 ACRES
 221 LARGE CANOPY TREES PROVIDED (221 x 1256 SQ. FT.)
 34% TREE CANOPY AREA PROVIDED: 79,330 SQ. FT. 1.82 ACRES

OPEN SPACE
 SOUTHERN APARTMENT TRACT 975,744 ± SQ. FT. 18,640 SQ. FT. PROVIDED
 SOUTHERN APARTMENT TRACT PROVIDED (10%) 90,460 SQ. FT. PROVIDED

LANDSCAPE SITE ELLEMENT POINTS
 30 OVERALL SITE POINTS REQUIRED
 RIGHT OF WAY ELLEMENTS APPLIED
 ONE LARGE CANOPY TREE PER 40 L.F.
 3 HIGH CONTINUOUS EVERGREEN HEDGE
 10 PERIMETER ELLEMENTS APPLIED

INTERNAL LANDSCAPE ISLANDS AT A RATE OF 1 PER 100 SQUARE FEET OF ONE CANOPY TREE
 END CAP ISLANDS WITH ONE CANOPY TREE
 AT LEAST 75% OF PROPOSED PLANTS ARE DROUGHT TOLERANT PER APPROVED PLANT LIST
 EACH PLANTED CANOPY TREE MUST BE 4" CALIPER AT PLANTING

LANDSCAPE BUFFER POINTS
 EAST - BETWEEN RESIDENTIAL AND MULTI-FAMILY (10' BUFFER AND 20 POINTS)
 WEST - BETWEEN RESIDENTIAL AND MULTI-FAMILY (10' BUFFER AND 20 POINTS)
 ONE LARGE CANOPY TREE PER 30 L.F. (100' / 30' = 3.33) = 3 POINTS
 AS ONE MORE FEET OF ADDITIONAL LAND BUFFER PROVIDED
 5 POINTS
 PRESERVATION OF EXISTING CANOPY TREES WITHIN 50% OF THE BUFFER AREA. 50 POINTS

SOUTH - BETWEEN INSTITUTIONAL AND MULTI-FAMILY (10' BUFFER AND 20 POINTS)
 WEST - BETWEEN RESIDENTIAL AND MULTI-FAMILY (10' BUFFER AND 20 POINTS)
 ONE LARGE CANOPY TREE PER 30 L.F. (100' / 30' = 3.33) = 3 POINTS
 AS ONE MORE FEET OF ADDITIONAL LAND BUFFER PROVIDED
 5 POINTS
 PRESERVATION OF EXISTING CANOPY TREES WITHIN 50% OF THE BUFFER AREA. 50 POINTS

STREET BUFFER TREES
 ONE CANOPY TREE PER 40 L.F. STREET FRONTAGE
 REAL STREET FRONTAGE L.F. 865.00 L.F. 18 TREES
 REQUIRED STREET BUFFER TREES (865 / 40 = 21.6) = 21 TREES
 STREET BUFFER TREES PROVIDED: 18 TREES

STREET TREE
 ONE CANOPY TREE PER 30 L.F. STREET FRONTAGE
 REAL STREET FRONTAGE L.F. 865.00 L.F. 18 TREES
 REQUIRED STREET TREES (865 / 30 = 28.8) = 29 TREES
 STREET TREES PROVIDED: 18 TREES

NORTH LOCUST STREET
 FRONTAGE L.F. 210.00 L.F. 1 TREES
 REQUIRED STREET TREES (210 / 30 = 7) = 7 TREES
 STREET TREES PROVIDED: 1 TREES

RULINE - ATLAS DRIVE
 FRONTAGE L.F. 1096.00 L.F. 31 TREES
 REQUIRED STREET TREES (1096 / 30 = 36.5) = 37 TREES
 STREET TREES PROVIDED: 31 TREES

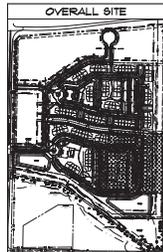
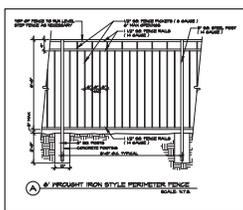
RULINE - MERIDIAN LANE
 FRONTAGE L.F. 1031 L.F. 9 TREES
 REQUIRED STREET TREES (1031 / 30 = 34.3) = 35 TREES
 STREET TREES PROVIDED EXISTING (82 CALIPER INCHES) 1 TREES

LARGE CANOPY TREES - SOUTH LOT

QUANTITY	SYMBOL	COPYRIGHT NAME	SCIENTIFIC NAME	SIZE AND CONDITION
27	(Symbol)	CONCEPT DMC	Quercus coccinea	2" DBH, 10'0" H, 10" CALIPER, 100% CANOPY, LEADER SHALL BE INTACT
18	(Symbol)	LANDMARK BLM	Quercus prinus	2" DBH, 10'0" H, 10" CALIPER, 100% CANOPY, LEADER SHALL BE INTACT
4	(Symbol)	BALD OFFSHORE	Taxodium distichum	2" DBH, 10'0" H, 10" CALIPER, 100% CANOPY, LEADER SHALL BE INTACT
5A	(Symbol)	LIVE DMC	Quercus prinus	2" DBH, 10'0" H, 10" CALIPER, 100% CANOPY, LEADER SHALL BE INTACT
5B	(Symbol)	ORSHEE PERIAGE	Pinus strobus	2" DBH, 10'0" H, 10" CALIPER, 100% CANOPY, LEADER SHALL BE INTACT
2	(Symbol)	SHAWARD RED OAK	Quercus shumardii	2" DBH, 10'0" H, 10" CALIPER, 100% CANOPY, LEADER SHALL BE INTACT

ORNAMENTAL TREES - SOUTH LOT

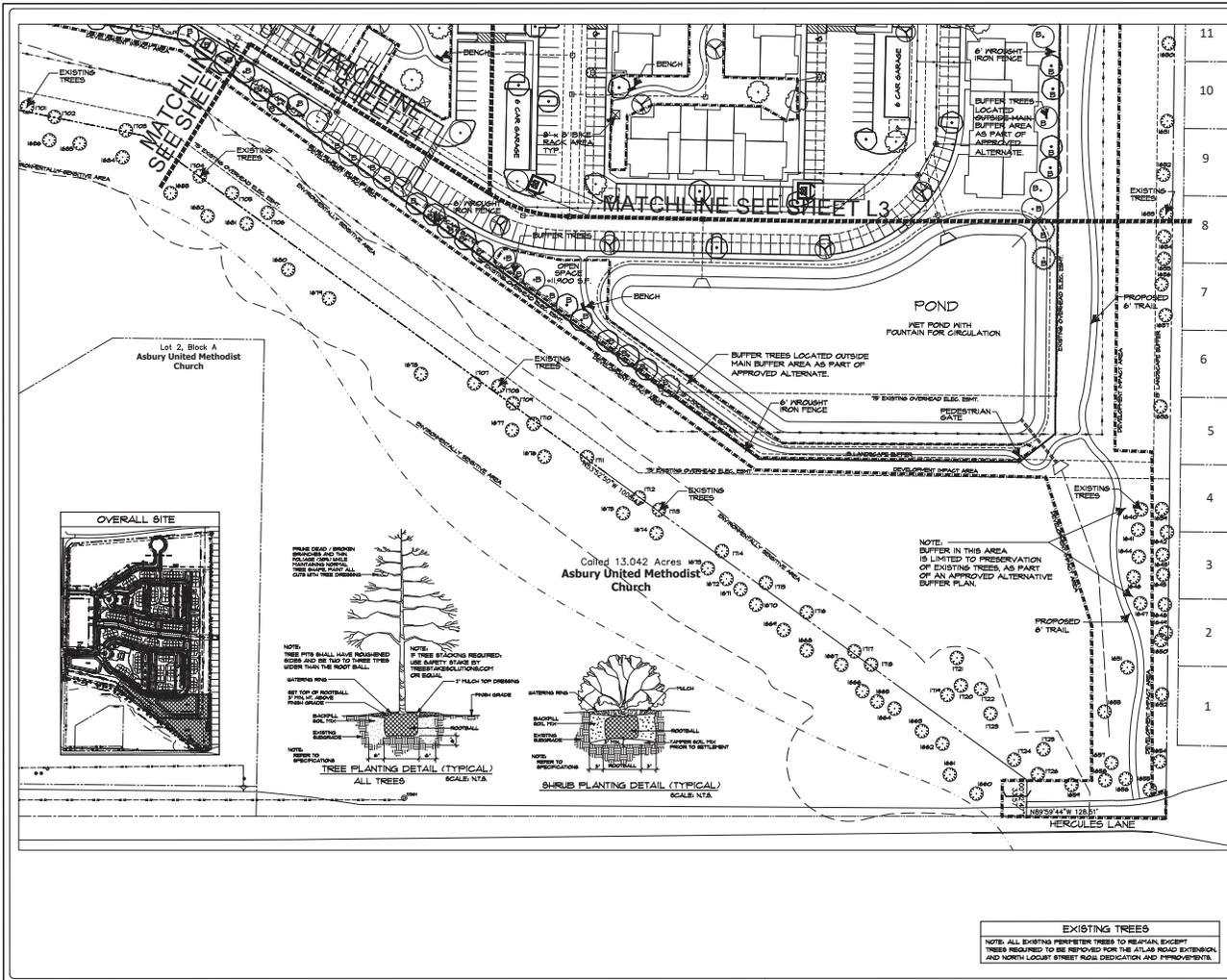
QUANTITY	SYMBOL	COPYRIGHT NAME	SCIENTIFIC NAME	SIZE AND CONDITION
8	(Symbol)	CHANDLER POWER PRINCE	Quercus prinus	1" DBH, 10'0" H, 10" CALIPER, 100% CANOPY, LEADER SHALL BE INTACT



Sheet Title: **Landmark Residential**
 Denton Texas

Sheet Number: **L3**
 of L5 Sheets

Grubbs Design Group, P.L.L.C. - 403 South Tennessee Street - McKinney, Texas 75069 - Phone (972) 548-5020



CANOPY TREES	
SYMBOL	COMMON NAME
	COFFEE CANE
	ASHLEAF OAK
	BALD CYPRESS
	LIVE OAK
	GREEN STAGHORN
	SHAVED RED OAK
ORNAMENTAL TREES	
SYMBOL	COMMON NAME
	GERANIUM
	DOGWOOD
TREE LOCATION SYMBOLS	
SYMBOL	LOCATION
	ON SITE
	STREET
	PERIMETER

Drawn By	JSD
Date	10-11-2022
Issued For:	SUBMITTAL
Job No:	21118
Scale:	1" = 40'-0"

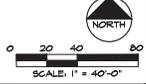
Landmark Residential
Denton Texas



Landscape Plan
Southern Lot

Sheet Number:
L5
of L5
Sheets

EXISTING TREES
NOTE: ALL EXISTING PERIMETER TREES TO REMAIN EXCEPT TREES REQUIRED TO BE REMOVED FOR THE PLANS ROAD EXTENSION AND NORTH LOGGOT STREET ROAD DEDICATION AND IMPROVEMENTS.



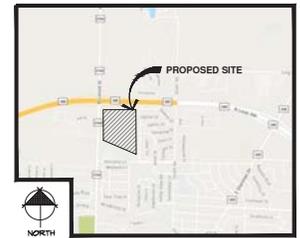
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**Exhibit D
Elevations**

THE APARTMENTS AT DENTON

600 UNIT APARTMENT COMMUNITIES
LOOP 288 & CR 2164, DENTON TEXAS

VICINITY MAP



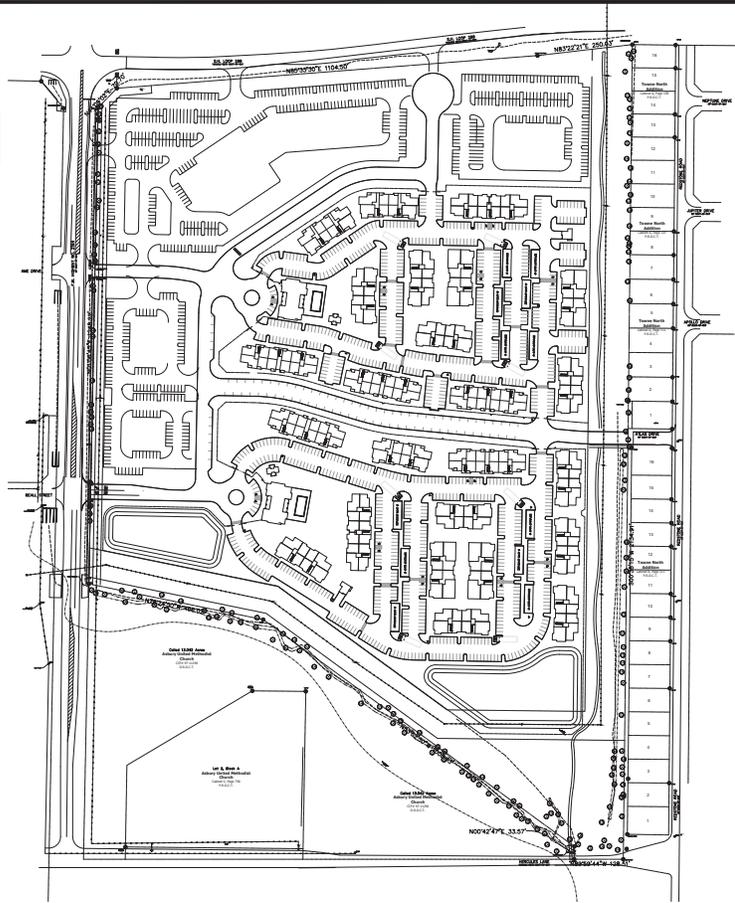
ISSUE 07-II-22

INDEX	COVER PAGE
A0	COVER PAGE
A1	ARCH SITE PLAN OVER-ALL
A2	ARCH SITE PLAN NORTH PARCEL
A3	ARCH SITE PLAN SOUTH PARCEL
A4	BLDG I A ELEVATIONS
A5	BLDG I B ELEVATIONS
A6	BLDG I STREET ELEVATIONS
A7	BLDG I STREET ELEVATIONS
A8	BLDG II A ELEVATIONS
A9	BLDG III A ELEVATIONS
A10	BLDG III STREET ELEVATIONS
A11	BLDG III STREET ELEVATIONS
A12	TRASH ENCLOSURE
A13	GARAGE DESIGN

LANDMARK COMPANIES 21500 BISCAYNE BOULEVARD 4TH FLOOR - SUITE 402 AVENTURA, FL 33180 PHONE: 954-455-0336	OWNER CONTACT: DAVID COLDEA
IKEMIRE ARCHITECTS 16660 DALLAS PARKWAY, SUITE 2900 DALLAS, TX 75248 PHONE: 972-248-2486	ARCHITECTS CONTACT: ROSS IKEMIRE
MANHARD CONSULTING 12225 GREENVILLE AVENUE, SUITE 1000, DALLAS, TX 75243 PHONE: 972-972-4255	CIVIL ENGINEERS CONTACT: ARIEL REYES
GRUBBS DESIGN GROOUP 403 S. TENNESSEE ST. MCKINNEY, TX 75069 PHONE: 972-548-5020	LANDSCAPING ARCH. CONTACT: JOE GRUBBS

CODE INFORMATION
ZONING AND CONSTRUCTION TYPE
ZONING: CONSTRUCTION TYPE: VA (NON-RATED) VB (CLUB)
OCCUPANCY
GROUP R2 - 2 STORY APARTMENT BUILDINGS
SPRINKLER TYPE
13 R - LOW RISE RESIDENTIAL
APPLICABLE CODES - CITY OF DENTON, TEXAS
2012 INTERNATIONAL RESIDENTIAL CODE (WITH CITY OF CROWLEY AMMENDMENTS)
2012 INTERNATIONAL BUILDING CODE (WITH CITY OF CROWLEY AMMENDMENTS)
2012 INTERNATIONAL PLUMBING CODE (WITH CITY OF CROWLEY AMMENDMENTS)
2012 INTERNATIONAL MECHANICAL CODE (WITH CITY OF CROWLEY AMMENDMENTS)
2011 NATIONAL ELECTRIC CODE (WITH CITY OF CROWLEY AMMENDMENTS)
2012 INTERNATIONAL FUEL GAS CODE (WITH CITY OF CROWLEY AMMENDMENTS)
2015 INTERNATIONAL ENERGY CONSERVATION CODE (WITH CITY OF CROWLEY AMMENDMENTS)
2015 NAECA
2012 TAS (TEXAS ACCESSIBILITY STANDARDS)
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN ICC/A117.1-2009
FAIR HOUSING ACT 1998

NOTE: ARCHITECTURAL SITE PLAN FOR
REF ONLY. REFER TO SITE PLAN PREPARED
BY MANHARD CONSULTING



01- ARCHITECTURAL SITE PLAN OVER-ALL

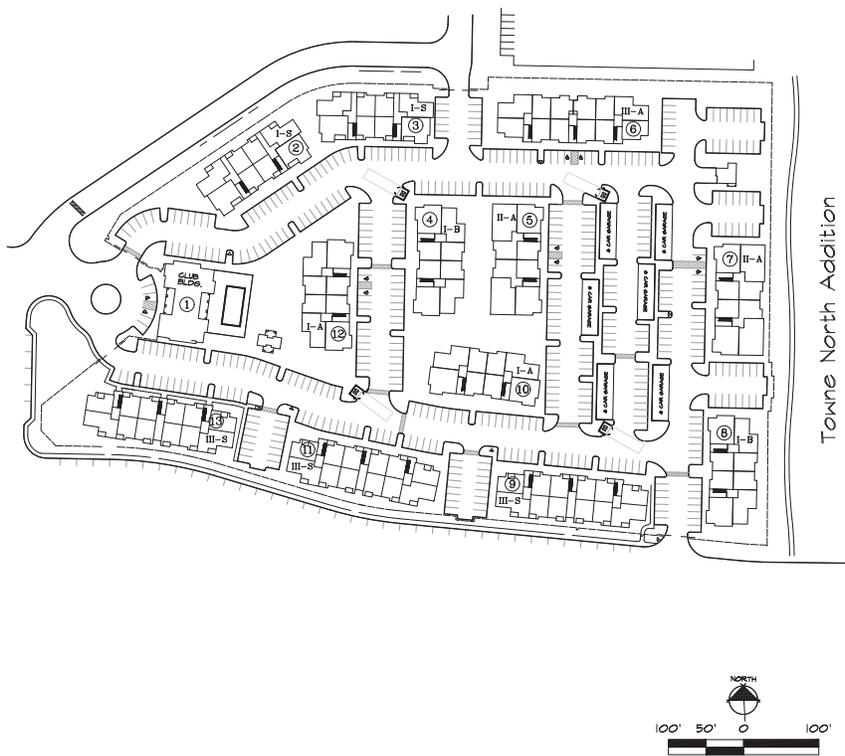
SCALE: NTS

DATE 07-11-22
REV L# 6
NAME
REVISIONS

600 UNIT MULTI-FAMILY APARTMENTS
& ADJACENT COMMERCIAL
LOOP 2808 & CR 264 DENTON TEXAS DEVELOPER - LANDMARK CO.

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WWW.IKEMIREARCHITECTS.COM 972.248.1327

A1
JOB# 220063



NOTE: ARCHITECTURAL SITE PLAN FOR REF ONLY. REFER TO SITE PLAN PREPARED BY MANHARD CONSULTING

SITE PROGRAM - DENTON NORTH APTS				
APARTMENT UNITS				
UNIT TYPE	UNIT DESCRIPTION	NO. OF UNITS	UNIT SQ. FT.	TOTAL SQ. FT.
A-1A	1T BEDROOM / 1 BATH	36	109	3924
A-1B	1T BEDROOM / 1 BATH	6	107	642
A-2C	1T BEDROOM / 1 BATH	6	202	1212
A-2D	1T BEDROOM / 1 BATH	18	202	3636
A-2	1T BEDROOM / 1 BATH	24	202	4848
B-1A	2 BEDROOM / 2 BATH	62	174	10788
B-1B	2 BEDROOM / 2 BATH	8	174	1392
B-2	2 BEDROOM / 2 BATH	10	174	1740
C-1	2 BEDROOM / 2 BATH	12	174	2088
TOTAL APARTMENTS				20676
NO. OF CAR SPOTS				60
AUXILIARY BUILDINGS				
CLUB BUILDING AND LEASING				4000 SQ. FT.
HALLWAYS				800 SQ. FT.
MAIL				800 SQ. FT.
TOTAL BUILDING AREA				39000 SQ. FT.
PARKING DISTRIBUTION				
TOTAL PARKING SPACES				60 SPACES
GARAGE PARKING SPACES				60 SPACES
UNDEVELOPED PARKING				0 SPACES
TOTAL PARKING SPACES				120 SPACES



4 - BLDG. TYPE I-A/B @ 24 UNITS EA.
2 - STORY
6,486 SQ. FT. FOOTPRINT
22,782 SQ. FT. LIVING



2 - BLDG. TYPE I-B @ 24 UNITS EA.
2 - STORY
2,546 SQ. FT. FOOTPRINT
22,480 SQ. FT. LIVING



2 - BLDG. TYPE I-A @ 24 UNITS EA.
2 - STORY
4,560 SQ. FT. FOOTPRINT
25,212 SQ. FT. LIVING



1 - BLDG. TYPE III-A @ 56 UNITS EA.
2 - STORY
1,228 SQ. FT. FOOTPRINT
24,616 SQ. FT. LIVING



5 - BLDG. TYPE III-B @ 56 UNITS EA.
2 - STORY
1,228 SQ. FT. FOOTPRINT
24,617 SQ. FT. LIVING



6 - 6 CAR GARAGES

01- ARCHITECTURAL SITE PLAN NORTH PROPERTY
SCALE: 1"=60'-0"

DATE: 01-11-22
Rev. No.
NAME
REVISIONS

108 UNIT MULTI-FAMILY APARTMENTS
& ADJACENT COMMERCIAL

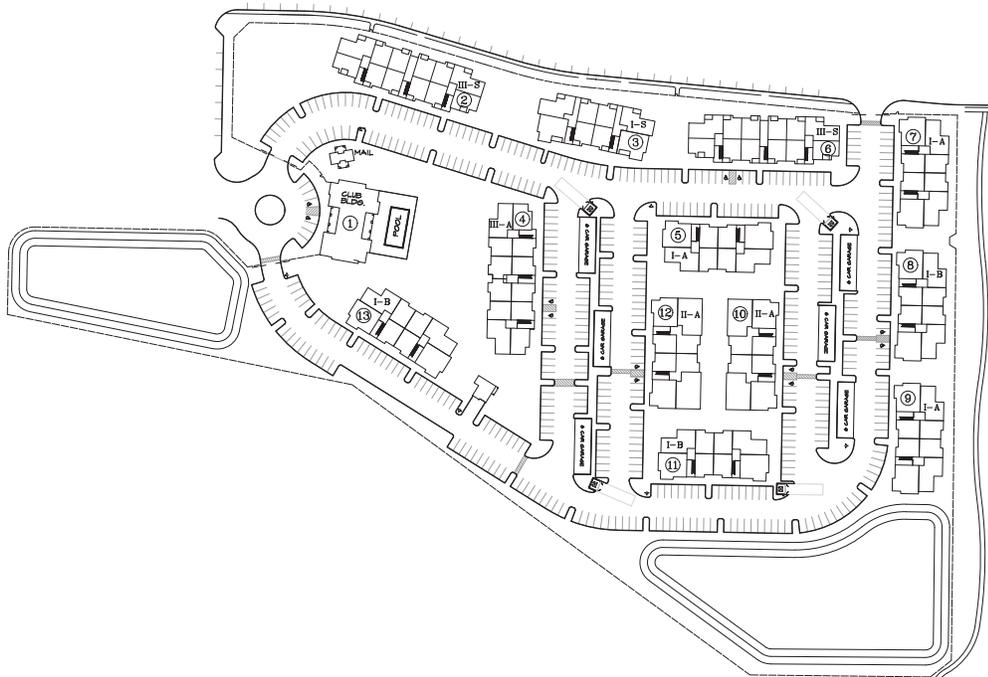
LOOP 286 & CR 284 DENTON, TEXAS DEVELOPER - LANDMARK CO.

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ARCHITECTURE & PLANNING

2800 DALLAS, TEXAS 75245
PH: 972.248.1835
WWW.IKEMIREARCHITECTS.COM

A2

JOB# 220060



NOTE: ARCHITECTURAL SITE PLAN FOR REF ONLY. REFER TO SITE PLAN PREPARED BY MANHARD CONSULTING

NOTE: ARCHITECTURAL SITE PLAN FOR REF ONLY. REFER TO SITE PLAN PREPARED BY MANHARD CONSULTING

SITE PROGRAM - DENTON SOUTH APTS				
APARTMENT UNITS				
UNIT TYPE	UNIT DESCRIPTION	NO. OF UNITS	NET SQ. FT.	TOTAL SQ. FT.
A-1A	11 BEDROOM / 7 BATH	55	158	8690
A-1B	11 BEDROOM / 7 BATH	5	437	2185
A-2C	11 BEDROOM / 7 BATH	5	437	2185
A-2D	11 BEDROOM / 7 BATH	5	437	2185
A-2	11 BEDROOM / 7 BATH	15	635	10288
B-1A	2 BEDROOM / 2 BATH	52	174	9038
B-1B	2 BEDROOM / 2 BATH	8	100	4248
B-2	2 BEDROOM / 2 BATH	51	171	8876
C-1	2 BEDROOM / 2 BATH	12	181	10201
TOTAL APARTMENTS				29426
SUB. OF PER. APT.				424
AUXILIARY BUILDINGS				
CLUB BLDG. AND LEASING				4000 SQ. FT.
HALLWAY				800 SQ. FT.
MAIL				400 SQ. FT.
TOTAL BUILDING AREA				67000
PARKING REQUIREMENTS				
MIN. PARKING PROVIDED				588 SPACES
MINIMUM PARKING PROVIDED				588 SPACES
MINIMUM PARKING PROVIDED				588 SPACES
TOTAL PARKING PROVIDED				176 PER APT.
				511,870 SQ. FT.

TOWNE North Addition



01- ARCHITECTURAL SITE PLAN SOUTH PROPERTY
SCALE: 1"=60'-0"

DATE: 01-11-22
 Rev: 1.0
 NAME: JCM
 REVISIONS:
 108 UNIT MULTI-FAMILY APARTMENTS
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A3
 JOB# 220060



01 - FRONT ELEVATION - BUILDING TYPE I-A

SCALE: 1/8" = 1'-0"



03 - LEFT ELEVATION - BUILDING TYPE I-A

SCALE: 1/8" = 1'-0"

FINISH SPECIFICATIONS FOR REFER SITE PLAN A2 FOR LOCATION REF. A 504 FOR DETAIL

SUBSTRATE	BRICK	STUCCO	WOOD	TOTAL	PERCENT	STUCCO	WOOD
FRONT	1800 SF	1848 SF	434 SF	4082 SF	47%	41%	12%
REAR	2000 SF	1300 SF	444 SF	4344 SF	47%	42%	11%
LEFT	124 SF	136 SF	80 SF	340 SF	40%	42%	18%
RIGHT	134 SF	138 SF	80 SF	352 SF	40%	42%	18%
TOTAL	4278 SF	5462 SF	1038 SF	10778 SF	45%	42%	13%



02 - RIGHT ELEVATION - BUILDING TYPE I-A

SCALE: 1/8" = 1'-0"

FINISH SPECIFICATIONS FOR REFER SITE PLAN A2 FOR LOCATION REF. A 504 FOR DETAIL



04 - REAR ELEVATION - BUILDING TYPE I-A

SCALE: 1/8" = 1'-0"

DATE: 01-11-22
 Rev: 1.0
 NAME: [REDACTED]
 REVISIONS: [REDACTED]

600 UNIT MULTI-FAMILY APARTMENTS
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A4

JOB# 220060



01 - FRONT ELEVATION - BUILDING TYPE I-B

SCALE: 1/8" = 1'-0"



03 - RIGHT ELEVATION - BUILDING TYPE I-B

SCALE: 1/8" = 1'-0"

STACKING KEY
 FIRE SPRINKLER
 BOX REFER TO SITE PLAN A2
 FOR LOCATION
 REF. A-504
 FOR DETAIL



02 - RIGHT ELEVATION - BUILDING TYPE I-B

SCALE: 1/8" = 1'-0"

STACKING KEY
 FIRE SPRINKLER
 BOX REFER TO SITE PLAN A2
 FOR LOCATION
 REF. A-504
 FOR DETAIL



04 - REAR ELEVATION - BUILDING TYPE I-B

SCALE: 1/8" = 1'-0"

STACKING KEY

DATE: 01-10-22
 Rev: 1.0
 NAME: [REDACTED]
 REVISIONS: [REDACTED]

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A5
 JOB# 220060



01 - FRONT ELEVATION - BUILDING TYPE I-S

SCALE: 1/8" = 1'-0"



03 - LEFT ELEVATION - BUILDING TYPE I-S

SCALE: 1/8" = 1'-0"

PIPE SPINDLER
FOR REFER SITE PLAN A2
FOR LOCATION
REF. A.304
FOR DETAIL



02 - RIGHT ELEVATION - BUILDING TYPE I-S

SCALE: 1/8" = 1'-0"

PIPE SPINDLER
FOR REFER SITE PLAN A2
FOR LOCATION
REF. A.304
FOR DETAIL



04 - REAR ELEVATION - BUILDING TYPE I-S

SCALE: 1/8" = 1'-0"

DATE: 07-10-22
 REVISIONS:
 NAME:
 REVISIONS:
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 & ADJACENT COMMERCIAL
 LOOP 2884 OR 2884 DENTON, TEXAS DEVELOPER - LANDMARK CO.

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 FAX: 972.248.1557

A6
 JOB# 220060



02 - LEFT ELEVATION - BUILDING TYPE I-S
 SOUTH PROPERTY - BUILDING #2 & #8
 SCALE: 1/8" = 1'-0"

ADDITIONAL HINDOS ADDED TO
 BUILDING #2 OF SOUTH PHASE FACING
 BEALL DRIVE & BUILDING #8 FACING
 ALJAS DRIVE
 (1 90 SF GLAZING)

STACKING KEY
 FIRE SPRINKLER
 ON REFER ELEV PLAN A2
 FOR LOCATION
 SEE A-204
 FOR DETAIL



01 - RIGHT ELEVATION - BUILDING TYPE I-S
 SOUTH PROPERTY - BUILDING #2
 SCALE: 1/8" = 1'-0"

ADDITIONAL HINDOS ADDED TO
 BUILDING #2 OF SOUTH PHASE FACING
 ALJAS DRIVE
 (1 90 SF GLAZING)

STACKING KEY
 FIRE SPRINKLER
 ON REFER ELEV PLAN A2
 FOR LOCATION
 SEE A-204
 FOR DETAIL

DATE: 09-02
 Rev. No.
 NAME
 REVISIONS
 600 UNIT MULTI-FAMILY APARTMENTS
 & ADJACENT COMMERCIAL
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 FAX: 817.248.1855

A7
 JOB# 220060



01 - FRONT ELEVATION - BUILDING TYPE II-A

SCALE: 1/8" = 1'-0"



03 - RIGHT ELEVATION - BUILDING TYPE II-A

SCALE: 1/8" = 1'-0"

STACKING KEY

SEE SPECIFICATIONS FOR UPPER SITE PLAN A2 FOR LOCATION
REF. A.504 FOR DETAIL



02 - RIGHT ELEVATION - BUILDING TYPE II-A

SCALE: 1/8" = 1'-0"

STACKING KEY

SEE SPECIFICATIONS FOR UPPER SITE PLAN A2 FOR LOCATION
REF. A.504 FOR DETAIL



04 - REAR ELEVATION - BUILDING TYPE II-A

SCALE: 1/8" = 1'-0"

STACKING KEY

DATE 09-10-22
 Rev. No. _____
 NAME _____
 REVISIONS _____
 600 UNIT MULTI-FAMILY APARTMENTS
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A8

JOB# 220060



01 - FRONT ELEVATION - BUILDING TYPE III-A

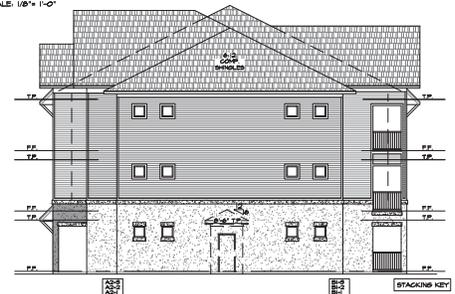
SCALE: 1/8" = 1'-0"



03 - RIGHT ELEVATION - BUILDING TYPE III-A

SCALE: 1/8" = 1'-0"

SEE SPECIFIER FOR UPPER SITE PLAN A2 FOR LOCATION. SEE A 304 FOR DETAIL.



02 - RIGHT ELEVATION - BUILDING TYPE III-A

SCALE: 1/8" = 1'-0"

SEE SPECIFIER FOR UPPER SITE PLAN A2 FOR LOCATION. SEE A 304 FOR DETAIL.



04 - REAR ELEVATION - BUILDING TYPE III-A

SCALE: 1/8" = 1'-0"

DATE 07-11-22
 Rev Line
 NAME
 REVISIONS
 600 UNIT MULTI-FAMILY APARTMENTS
 & ADJACENT COMMERCIAL
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 972.248.2488
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 972.248.2597

A9

JOB# 220060



01 - FRONT ELEVATION - BUILDING TYPE III-S

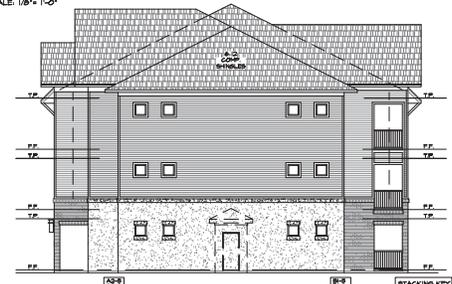
SCALE: 1/8" = 1'-0"



03 - RIGHT ELEVATION - BUILDING TYPE III-S

SCALE: 1/8" = 1'-0"

FIRE SPRINKLER
REF. REFER TO PLAN A2
FOR LOCATION
REF. A SIGN
FOR DETAIL



02 - RIGHT ELEVATION - BUILDING TYPE III-S

SCALE: 1/8" = 1'-0"

FIRE SPRINKLER
REF. REFER TO PLAN A2
FOR LOCATION
REF. A SIGN
FOR DETAIL

ADDITIONAL WINDOWS ADDED TO
BUILDING IN 2ND NORTH RANGE FACING
BEHALF STREET (100 SF GLAZING)



04 - REAR ELEVATION - BUILDING TYPE III-S

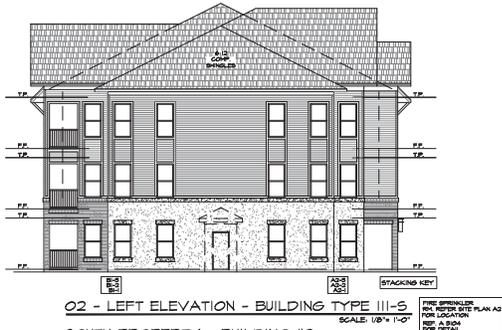
SCALE: 1/8" = 1'-0"

DATE: 07-11-22
 REVISIONS:
 NAME:
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 & ADJACENT COMMERCIAL
 LOOP 288 & CR 2164 BENTON, TEXAS DEVELOPER - LANDMARK CO.

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A10

JOB# 220060



O2 - LEFT ELEVATION - BUILDING TYPE III-S
SOUTH PROPERTY - BUILDING #2
 SCALE: 1/8" = 1'-0"
 SEE SPECIFICATIONS FOR WINDOW SIZES AND FOR LOCATION. SEE A-204 FOR DETAIL.

ADDITIONAL WINDOWS ADDED TO BUILDING #2 OF SOUTH PHASE FACING BEAL STREET (1 100 SF GLAZING)



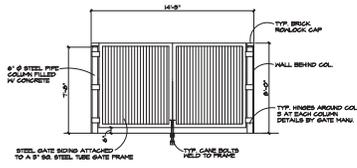
O1 - RIGHT ELEVATION - BUILDING TYPE III-S
NORTH PROPERTY - BUILDING #3
 SCALE: 1/8" = 1'-0"
 SEE SPECIFICATIONS FOR WINDOW SIZES AND FOR LOCATION. SEE A-204 FOR DETAIL.

ADDITIONAL WINDOWS ADDED TO BUILDING #3 OF NORTH PHASE FACING BEAL STREET (1 100 SF GLAZING)

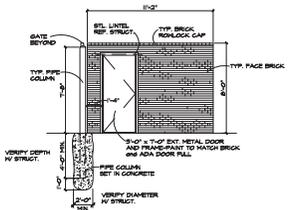
DATE: 09-10-22
 Rev: No
 NAME
 REVISIONS
 600 UNIT MULTI-FAMILY APARTMENTS
 & ADJACENT COMMERCIAL
 LOOP 286 & CR 2841 DENTON, TEXAS DEVELOPER - LANDMARK CO.

IKEMIRE ARCHITECTS LLC
 ARCHITECTURE • PLANNING • INTERIORS
 2000 DALLAS, TEXAS 75245
 www.ikemirearchitects.com TEL: 817.221.2438 FAX: 817.221.2438

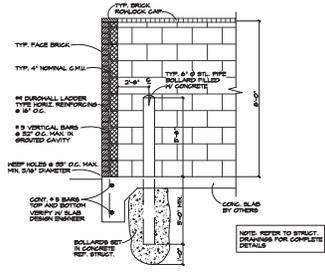
A11
 JOB# 220060



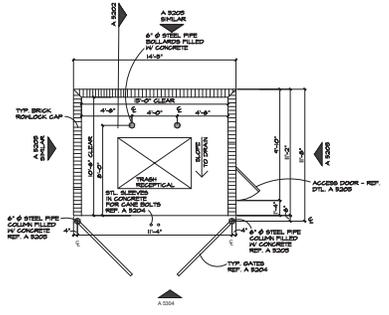
04- FRONT ELEVATION
SCALE: 1/4" = 1'-0"



03- RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



02- WALL SECTION DETAIL
SCALE: 1/2" = 1'-0"



01- DUMPSTER ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

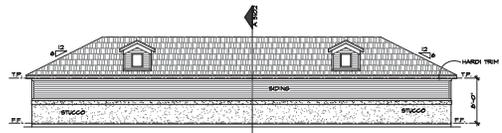
DUMPSTER ENCLOSURE DETAILS

DATE: 09-10-22
 Rev: Line
 NAME
 REVISIONS
 600 UNIT MULTI-FAMILY APARTMENTS
 & ADJACENT COMMERCIAL
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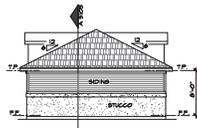
IKEMIRE ARCHITECTS LLC
 ARCHITECTURE • PLANNING • INTERIORS
 1000 W. WILSON AVENUE, SUITE 2800 DALLAS, TEXAS 75203
 WWW.IKEMIREARCHITECTS.COM TEL: 972.248.1850 FAX: 972.248.1850

A12
 JOB# 220060

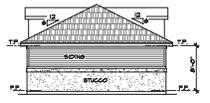
	BRICK VENEER
	HARD-PLANK FIBER
	CEMENT SIDING OF EQUAL
	COMPOSITION SHINGLES 30 YEAR



06- REAR ELEVATION - GARAGE 6
SCALE: 1/8" = 1'-0"



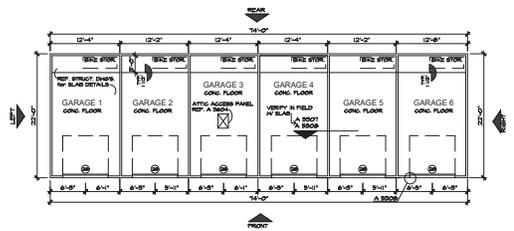
05- LEFT - GARAGE
SCALE: 1/8" = 1'-0"



04- RIGHT - GARAGE
SCALE: 1/8" = 1'-0"



03- FRONT ELEVATION - GARAGE 6
SCALE: 1/8" = 1'-0"



01- FLOOR PLAN - GARAGE 6 1,900 S.F.
REF. TO SHEET A21 FOR DOOR SCHEDULE
TYPE V-B 1 HOUR CONST.
SCALE: 1/8" = 1'-0"

DATE: 01-11-22
 Rev. No.
 NAME
 REVISIONS
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A13
 JOB# 220060