

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE OF THE CITY OF DENTON, TEXAS, APPROVING A SPECIFIC USE PERMIT TO ALLOW FOR A MULTI-FAMILY DWELLING USE ON APPROXIMATELY 53.407 ACRES OF LAND, GENERALLY LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF LOCUST STREET AND LOOP 288, IN THE CITY OF DENTON, DENTON COUNTY, TEXAS; ADOPTING AN AMENDMENT TO THE CITY'S OFFICIAL ZONING MAP; PROVIDING FOR A PENALTY IN THE MAXIMUM AMOUNT OF \$2,000.00 FOR VIOLATIONS THEREOF; PROVIDING FOR SEVERABILITY; AND ESTABLISHING AN EFFECTIVE DATE. (S21-0006b, LANDMARK MULTIFAMILY)

WHEREAS, Manhard Consulting, on behalf of the property owner, Melvin Haisler, (hereinafter, the "Developer") has applied for a Specific Use Permit ("SUP") to allow for a multi-family residential use on approximately 53.407 acres, within the Suburban Corridor (SC) zoning district and use classification, as described in Exhibit "A" (hereinafter, "the Property"); and

WHEREAS, the Property is depicted in Exhibit "B" and is shown divided into five tracts and, for identification purposes, Tract 4 is also known as the North Tract and Tract 5 is also known as the South Tract, of which Tracts 4 and 5 collectively comprise 36.49 acres out of the 53.407 acres;

WHEREAS, on October 26, 2022, the Planning and Zoning Commission, in compliance with the laws of the State of Texas, gave the requisite notices by publication and otherwise, and afforded full and fair hearings and to all property owners interested in this regard, recommended approval [6-0] of the requested SUP subject to the site plan, landscape plan, and elevations attached as Exhibit "B"; and

WHEREAS, on November 15, 2022, the City Council likewise conducted a public hearing as required by law, and finds that the request meets and complies with all substantive and procedural standards set forth in Section 2.5.2 of the Denton Development Code ("DDC"), and is consistent with the Denton Plan and the DDC; and

WHEREAS, the City Council of the City of Denton has determined that it will be beneficial to Denton and its citizens to grant the SUP; and such grant will not be detrimental to the health, safety, morals, and general welfare of the City of Denton, and that the SUP should be granted as set forth herein; NOW THEREFORE,

THE COUNCIL OF THE CITY OF DENTON HEREBY ORDAINS:

SECTION 1. The findings and recitations contained in the preamble of this ordinance are incorporated herein by reference and found to be true.

SECTION 2. The SUP to allow the multi-family residential use on Tracts 4 and 5 only of the Property as shown on the Site Plan attached and incorporated herein as Exhibit "B", the Landscape Plan attached and incorporated herein as Exhibit "C", and the Building Elevations attached and incorporated herein as Exhibit "D", is hereby approved, subject to the use-specific standards of the DDC, as amended, and the following conditions:

1. Site and Landscape Plan: The attached Site Plan and Landscape Plan reflect an intent to comply with the 2019 Denton Development Code (DDC) requirements, as amended, for parking, street trees, minimum landscape and tree canopy areas, open space, and landscape screening and compatibility buffers, with administrative approval of alternative landscape elements permitted and parking reductions in accordance with the DDC.
  - a. Minor alterations to the depicted locations of individual plantings and final individual plant selections, as well as increases to landscape area and percentage and number of trees and tree canopy percentage, may be approved by City staff, provided that the final landscaping, as planted, complies with the attached landscape plan in terms of buffers, buffer elements, location of required landscape elements and open space and trails, number of trees, and minimum landscape and tree canopy percentages, as well as all elements of the DDC.
  - b. Minor alterations to the exact locations of individual amenity elements may be approved by City staff, provided final design complies with the attached site plan and landscape plan in terms of types and minimum number of amenities provided within depicted gathering spaces.
  - c. Additional plantings and minor alterations to the Development Impact Area to provide mitigation for the impacts of the proposed trail and the proposed sidewalk along Hercules Lane to the Environmentally Sensitive Area (ESA) on the property may be administratively approved by city staff as part of the Civil Engineering Plans for this development, as long as such mitigation is in accordance with all standards of the Denton Development Code. Final determination of ESA location and exact nature of mitigation shall be approved with the Civil Engineering Plans for this development. This condition does not preclude the project from requiring approval of an Alternative ESA Plan if the scope of impacts to the ESA exceed the administrative allowances provided for in the DDC.
2. Building Elevations: The attached building elevations reflect an intent to comply with the DDC requirements, as amended, for building mass and form, percentage of windows and doors on a façade, and provision of architectural features to highlight entrances and provide visual interest.
  - a. Elevations at the time of permitting shall be consistent with the attached elevations in terms of architectural style and details, specific architectural features that highlight entrances such as ornamental lights and canopies, provision of balconies or patios to articulate individual units, use of recesses, awnings, and changes in material to break up the façade vertically and horizontally and to articulate collections of units at intervals not to exceed 44 feet horizontally or 2 stories vertically, and delineation of the first floor with a change of material and horizontal banding.
  - b. Minor alterations to individual window size and location may be approved by City staff, as long as:
    - i. The style of windows, and the style and number of doors, on each façade is consistent with the attached elevations

- ii. All buildings fronting on a public or private street have entrances facing the public or private street
  - iii. Windows and doors make up either at least the DDC-required percentage for facades facing a public or private street or, for facades not facing a public or private street, at least 11.5% of the side facades and 25.5% of the front and the rear façades, and windows and doors on all facades comply with all DDC standards.
- c. Garage elevations shall feature two dormer windows on each front and rear elevation and a horizontal change in material type on each façade.
- 3. The attached site plan and landscape plan are incorporated as requirements of the SUP. Staff shall have the ability to approve an increase of up to 5% of any of the amounts specified in requirements a-b, provided all applicable requirements of the DDC are met.
  - a. Three-hundred and thirty-six (336) dwelling units on the North Tract and three-hundred and twenty-four (324) dwelling units on the South Tract.
  - b. 577 parking spaces on the North Tract, and 570 parking spaces on the South Tract, are proposed for the multi-family development indicated on the site plan. Parking may shift to accommodate a change in the unit mixture but shall be in accordance with the requirements of the DDC and within the range of staff approvability.
- 4. All street and sidewalk infrastructure elements, including the full width of Beall Street from N Locust Street to the turnaround shown, and the full width of Ame Drive from North Locust Street to Beall Street shall be constructed in accordance with the plans shown in Exhibit B, and approved by the City of Denton, prior to release of any certificate of occupancy for any multifamily building proposed on this property, though staff may approve minor changes (25' or less) in the location of these streets and/or sidewalks in order to account for proposed TXDOT improvements to Loop 288 and N Locust Street, as long as the final design is in accordance with the standards of the DDC and City criteria manuals.
- 5. Subject to the approval of TXDOT, the Developer shall construct one of the two alternative traffic mitigation measures at the intersection of N Locust Street and Ame Drive. If neither of the alternatives shown in Exhibit B, Sheet C0.5, are acceptable to TXDOT, the City of Denton staff shall have the authority to approve alternative traffic mitigation measures for the intersection of Ame Drive, subject to the approval of TXDOT, without requiring an SUP amendment, as long as the approved mitigation measures comply with the standards of the Denton Development Code and the City criteria manuals. Traffic mitigation measure(s) for the intersection of Ame Drive and N Locust Street, approved by staff and TXDOT, must be constructed prior to issuance of Certificates of Occupancy for any of the multifamily buildings proposed with this development.
- 6. A turnaround must be constructed at the end of Beall Street as shown on Exhibit B, prior to release of any Certificates of Occupancy for this project, but, if plans for future TXDOT improvements to Loop 288 necessitate a shift in the turnaround location, City of Denton staff may approve a shift in the exact location of the center of this turnaround of up to 150', as long as the proposed location is still in accordance with all DDC and

City criteria manual standards and/or any variance to those standards approved by the City Engineer.

7. Minor alterations in design and location of sidewalk, curb, and gutter along Hercules Lane and in location of proposed gravel trail may be necessary based on the final determination of the size and location of the Environmentally Sensitive Area on this property, and staff may approve such minor alterations, as long as the final design and locations are in accordance with the standards of the Denton Development Code and the City's adopted criteria manuals.
8. Notwithstanding the limited administrative approvals authorized in conditions 1-7, the City reserves the right to require approval by ordinance of any amendments or alterations to the SUP, the attached site plan, the attached landscape plan, the attached building elevations, and the elements referenced in conditions 1-7.
9. Subject to the approval of TXDOT, a traffic signal at the intersection of Beall Street and N Locust Street shall be constructed by the Developer and shall be complete and accepted by the City of Denton prior to issuance of any Certificates of Occupancy for any of the multifamily buildings proposed with this development.
10. Prior to approval of any Final Plat for this development, Developer shall pay to the City of Denton the proportion of the cost of a traffic signal at North Locust Street and Loop 288 that was determined by the Traffic Impact Analysis for this project (TIA21-0016) to be the responsibility of the multifamily developer, based on the traffic projected to be generated by that development.
11. The project shall comply with Denton Development Code Section 7.7.4, *Tree Preservation*.
12. The zoning map shall reflect the Specific Use Permit on the property consistent with the DDC.

SECTION 3. The multi-family residential use allowed by the SUP on the Property, depicted on the Site Plan, Landscape Plan, and Building Elevations, requires the following elements, which are hereby incorporated into this ordinance and may only be modified as noted in Section 2 above:

**A. Multifamily Lots:**

- Tract 4 (North Tract): ~14.09 acres
- Tract 5 (South Tract): ~22.4 acres

**B. Dwelling Units:**

- Tract 4 (North Tract): 336 one-, two-, and three-bedroom units in 12 three-story buildings
- Tract 5 (South Tract): 324 one-, two-, and three-bedroom units in 12 three-story buildings
- Total: 660 one-, two-, and three-bedroom units in 24 three-story buildings

**C. Recreational Areas and Open Space:**

- **North Tract:** Amenity center with pool, 36,400 sf of Open Space in 5 areas with benches and/or walking paths.
- **South Tract:** Amenity center with pool, 95,400 sf of Open Space in 5 areas, ~500 linear feet of walking path along pond with fountain.
- **Overall:**
  - Total open space encompasses 147,500 sf -- over 8% of the land area.



- Minimum 2,000 linear feet of gravel trail through the green space in the easement on the east side of the development (green space in easement is in addition to open space).
- D. **Parking:** 1,147 total vehicular spaces provided, for ~1.2 spaces per bedroom; 60 bicycle parking spaces distributed throughout the two tracts.
- E. **Access and Connectivity:** Full, signalized access to N Locust Street is provided to both tracts via the extension of Beall Street to be constructed by the Developer; subject to the approval of the Texas Department of Transportation (TXDOT), the Developer will also be required to construct the signal at Beall Street and Locust Street. Both tracts will have right in, right out access to N Locust Street via the extension of Ame Drive to be constructed by the Developer. The North tract will have three points of access onto Beall Street and the South tract will have two. Pedestrian connectivity will be provided to N Locust Drive via a sidewalk to be constructed by the Developer and via gravel path to Hercules Drive. Developer will also provide a public sidewalk connection in a public access easement through the site from Atlas Drive to the Beall Street sidewalk, to facilitate pedestrian access to the potential future commercial development along N Locust and Loop 288.
- F. **Design:** Building elevations feature balconies or patios for all units, with awnings or decorative sconces or arched roofs at all main entrances, and with buildings oriented around shared open spaces, along trails, or fronting on the shared central boulevard or the right-of-way with direct access to the public sidewalk.
- G. **Landscaping:** New tree plantings in common areas above and beyond required tree canopy; landscape area over 10% above minimum; a combination of large canopy trees, tree preservation, and 70+ feet of buffer width to provide a buffer between multifamily buildings and the single-family neighborhood to the east.

SECTION 4. Administrative Modifications. The Development Services Director or designee may administratively approve the following modifications:

- A. A reduction in the lot coverage, an increase in the landscape area, and a decrease in the number of dwelling units with associated parking by any amount. Additional parking reductions may be granted in accordance with DDC Section 7.9.5E.
- B. Increases of 5% or less of any of the amounts specified in Subsections 3.B & D of this ordinance, provided all applicable requirements of the DDC are met.

SECTION 5. Failure to Comply. Except as otherwise stated above, all terms of the SUP shall be complied with prior to issuance of a Certificate of Occupancy. Failure to comply with any term or condition of the Ordinance will result in the SUP being declared null and void, and of no force and effect. The SUP issued to the entity named above runs with the land, and is assignable and transferable to subsequent owners of the Property.

SECTION 6. SUP Regulations. Upon notice to the Property owner and a hearing before the City Council, a SUP may be revoked or modified if: 1. There is one or more of the conditions imposed by this ordinance that has not been met or has been violated on the Property; or 2. The SUP was obtained or extended by fraud or deception; or 3. As otherwise permitted by law and/or the DDC.

SECTION 7. Unlawful use. It shall be unlawful for any person, firm, entity, or corporation to make use of the Property in some manner other than as authorized by the DDC, City of Denton Code of Ordinances, and this ordinance.

SECTION 8. Severability. If any provision of this ordinance or the application thereof to any person or circumstance is held invalid by any court, such invalidity shall not affect the validity of the provisions or applications, and to this end the provisions of this ordinance are severable.

SECTION 9. Penalty. Any person, firm, entity or corporation violating any provision of this ordinance shall, upon conviction, be fined a sum not exceeding \$2,000.00 for each violation. Each day that a provision of this ordinance is violated shall constitute a separate and distinct offense. The penal provisions imposed under this ordinance shall not preclude the City of Denton from filing suit to enjoin the violation and it retains all legal rights and remedies available to it under local, state and federal law.

SECTION 10. In compliance with Section 2.09(c) of the Denton Charter, this ordinance shall become effective fourteen (14) days from the date of its passage, and the City Secretary is hereby directed to cause the caption of this ordinance to be published twice in the Denton Record-Chronicle, a daily newspaper published in the City of Denton, Texas, within ten (10) days of the date of its passage.

The motion to approve this ordinance was made by \_\_\_\_\_ and seconded by \_\_\_\_\_; the ordinance was passed and approved by the following vote [\_\_\_\_ - \_\_\_\_]:

	<u>Aye</u>	<u>Nay</u>	<u>Abstain</u>	<u>Absent</u>
Gerard Hudspeth, Mayor:	_____	_____	_____	_____
Vicki Byrd, District 1:	_____	_____	_____	_____
Brian Beck, District 2:	_____	_____	_____	_____
Jesse Davis, District 3:	_____	_____	_____	_____
Alison Maguire, District 4:	_____	_____	_____	_____
Brandon Chase McGee, At Large Place 5:	_____	_____	_____	_____
Chris Watts, At Large Place 6:	_____	_____	_____	_____


PASSED AND APPROVED this the \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
GERARD HUDSPETH, MAYOR

ATTEST:  
ROSA RIOS, CITY SECRETARY

BY: \_\_\_\_\_

APPROVED AS TO LEGAL FORM:  
MACK REINWAND, CITY ATTORNEY

BY:  Hilary Negron  
2022.11.09  
09:48:15 -06'00'

**Exhibit A**  
**Legal Description**

BEING a 53.407 acre tract of land situated in the T. Toby Survey, Abstract Number 1288, City of Denton, Denton County, Texas, and being a portion of a called 253.6 acre tract of land (remaining portion) described by deed to J.B. Haisler and wife, Rosa Haisler, recorded in Volume 316, Page 69, Deed Records, Denton County, Texas, and being more particularly described by metes and bounds as follows;

BEGINNING at a 5/8" IRON ROD FOUND at the northwest corner of Lot 16, Block G, Towne North Addition, an addition to the City of Denton, according to the plat recorded in Cabinet A, Page 138, Plat Records, Denton County, Texas, being on the South right-of-way line of S.H. Loop 288, a variable width right-of-way;

THENCE South 00 Degrees 38 Minutes 15 Seconds West, along the West line of said Block G, and the West line of Block G, Towne North Addition, an addition to the City of Denton, according to the plat recorded in Cabinet A, Page 127, Plat Records, Denton County, Texas, and the West line of Block G, Towne North Addition, an addition to the City of Denton, according to the plat recorded in Cabinet A, Page 111, Plat Records, Denton County, Texas, and the West line of a 10' Alley as shown on said Towne North Addition (A-114), at a distance of 1970.54 feet, passing a MAG NAIL FOUND IN A TREE ROOT for reference, and continuing in all 2134.91 feet, to a MAG NAIL SET at the southwest corner of said Towne North Addition (A-114), being on the South line of said called 253.6 acre tract, and being in the approximate centerline of Hercules Lane, a variable width right-of-way;

THENCE North 89 Degrees 59 Minutes 44 Seconds West, departing said common line and along the South line of said called 253.6 acre tract, a distance of 128.51 feet, to a MAG NAIL SET at the southeast corner of a called 13.042 acre tract of land described by deed to Asbury United Methodist Church, recorded in County Clerk's File Number 97-11296, Deed Records, Denton County, Texas;

THENCE North 00 Degrees 42 Minutes 47 Seconds East, departing said South line and along the East line of said called 13.042 acre tract, a distance of 33.57 feet, to a 5/8" IRON ROD FOUND;

THENCE North 53 Degrees 52 Minutes 50 Seconds West, continuing along said East line, a distance of 1008.43 feet, to a 1/2" IRON ROD FOUND;

THENCE North 78 Degrees 24 Minutes 50 Seconds West, continuing along said East line, a distance of 466.02 feet, to a 5/8" CAPPED IRON ROD SET STAMPED "REALSEARCH" at the northwest corner of said called 13.042 acre tract, being on the East right-of-way line of F.M. Highway No. 2164, a 90' a right-of-way;

THENCE North 01 Degrees 06 Minutes 45 Seconds East, departing said East line and along said East right-of-way line, a distance of 1248.22 feet, to a TXDOT MONUMENT FOUND at the South end of a corner clip at the intersection of said East right-of-way line and the South right-of-way line of said S.H. Loop 288;

THENCE North 44 Degrees 05 Minutes 02 Seconds East, along said corner clip, a distance of 70.70 feet, to a 5/8" CAPPED IRON ROD SET STAMPED "REALSEARCH", being on the South right-of-way line of said S.H. Loop 288;

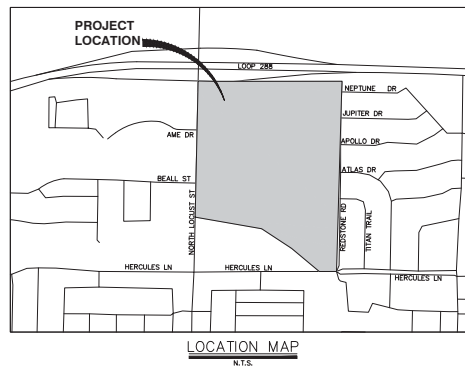
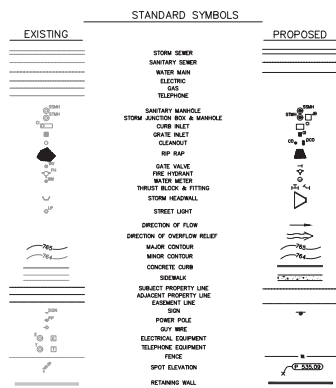
THENCE North 85 Degrees 33 Minutes 30 Seconds East, along said South right-of-way line, a distance of 1104.50 feet, to a CUT OFF T-POST FOUND;

THENCE North 83 Degrees 22 Minutes 21 Seconds East, continuing along said South right-of-way line, a distance of 250.03 feet, to the POINT OF BEGINNING, and containing 53.407 acres or 2,326,389 square feet of land, more or less.

**Exhibit B**  
**Site Plan**



**SH LOOP 288 & LOCUST DRIVE  
CITY OF DENTON, DENTON COUNTY, TEXAS**



Sheet List Table	
SHEET NUMBER	SHEET TITLE
C0.0	TITLE PAGE
C0.1	GENERAL NOTES
C0.2	SITE BOUNDARY EXHIBIT
C0.3	PEDESTRIAN CIRCULATION PLAN
C0.4	TXDOT ROW EXHIBIT
C1.0	OVERALL SITE PLAN
C1.1	PAVING AND DIMENSIONAL CONTROL PLAN
C1.2	PAVING AND DIMENSIONAL CONTROL PLAN
C1.3	PAVING AND DIMENSIONAL CONTROL PLAN
C1.4	PAVING AND DIMENSIONAL CONTROL PLAN
C1.5	PAVING AND DIMENSIONAL CONTROL PLAN
C2.0	EXISTING DRAINAGE AREA MAP
C3.0	PROPOSED DRAINAGE AREA MAP
C4.0	OVERALL STORM PLAN
C5.0	OVERALL UTILITY PLAN
C5.1	UTILITY PLAN
C5.2	UTILITY PLAN
C5.3	UTILITY PLAN
C5.4	UTILITY PLAN
C5.5	UTILITY PLAN

[illegible]

NOTES:

1. THE BOUNDARY LINES AND TOPOGRAPHY FOR THIS PROJECT ARE BASED ON A SURVEY PREPARED BY REALSEARCH OF TEXAS, LLC DATED APRIL 5TH, 2021. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY MANHARD CONSULTING AND THE CLIENT IN WRITING OF ANY DIFFERING CONDITIONS. MANHARD CONSULTING HAS NOT VERIFIED THIS SURVEY AND IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY BOUNDARY AND/OR

2. MANHARD CONSULTING, LTD. IS NOT RESPONSIBLE FOR THE SAFETY OF ANY PARTY AT OR ON THE CONSTRUCTION SITE. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND ANY OTHER PERSON OR ENTITY PERFORMING WORK OR SERVICES. NEITHER THE OWNER NOR ENGINEER ASSUMES ANY RESPONSIBILITY FOR THE JOB SITE SAFETY OF PERSONS ENGAGED IN THE WORK OR THE MEANS OR METHODS OF CONSTRUCTION.

**BENCHMARKS:**

SOURCE BENCHMARK:  
X  
X  
Y

ELEVATION = XXX.XX



# Manhard

12225 Greenville Ave., Suite 1000 Dallas, TX 75243 ph: 972.972.4250 [manhard.com](http://manhard.com)  
**Oil Engineers • Wireline • Valve • Hydraulic Fracturing • Water • Steam • Production •**  
**Construction • Maintenance • Environmental • Geophysics • Landmark Production • Planning**  
**Team Manhard • Professional Engineers • Production No. 1-1982-1**

**ENGINEER**  
MANHARD CONSULTING  
12225 GREENVILLE AVE.,  
SUITE 1000  
DALLAS, TEXAS 75243  
972.972.4250 PH  
BRIAN BRIDGEWATER, P.E.

**ARCHITECT**  
IKEMIRE ARCHITECTS  
16660 DALLAS PARKWAY  
SUITE 2900  
DALLAS, TX, 75248  
972.248.2486 PH  
ROSS IKEMIRE

SURVEYOR  
REALSEARCH OF TEXAS, LLC  
P.O. BOX 1006  
GODLEY, TX, 76044  
682.200.6050 PH  
JEREMY DEAL, R.P.L.S.

**LANDSCAPE**  
GRUBBS DESIGN GROUP  
403. S TENNESSEE ST  
MCKINNEY, TX, 75069  
972.548.5020 PH  
JOE GRUBBS

**OWNER:**  
LANDMARK COMPANIES  
21500 BISCAYNE BOULEVARD  
SUITE 402  
AVENTURA, FL, 33180  
954.455.0336 PH  
CARL WHITEFIELD

[illegible]

**Manhard**  
CONSULTING

ARK RESIDENTIAL  
3.93 ACRES, CITY OF DENTON, TEXAS  
TITLE PAGE

FOR INTERIM REVIEW ONLY  
THIS DOCUMENT IS NOT  
ISSUED FOR CONSTRUCTION  
OR PERMITTING PURPOSES  
BRUNN J. BRIDGEMAN, P.E.  
TEXAS P.E. No. 98334  
ISSUED THIS DATE:  
10/13/2022

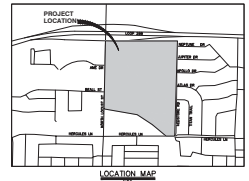
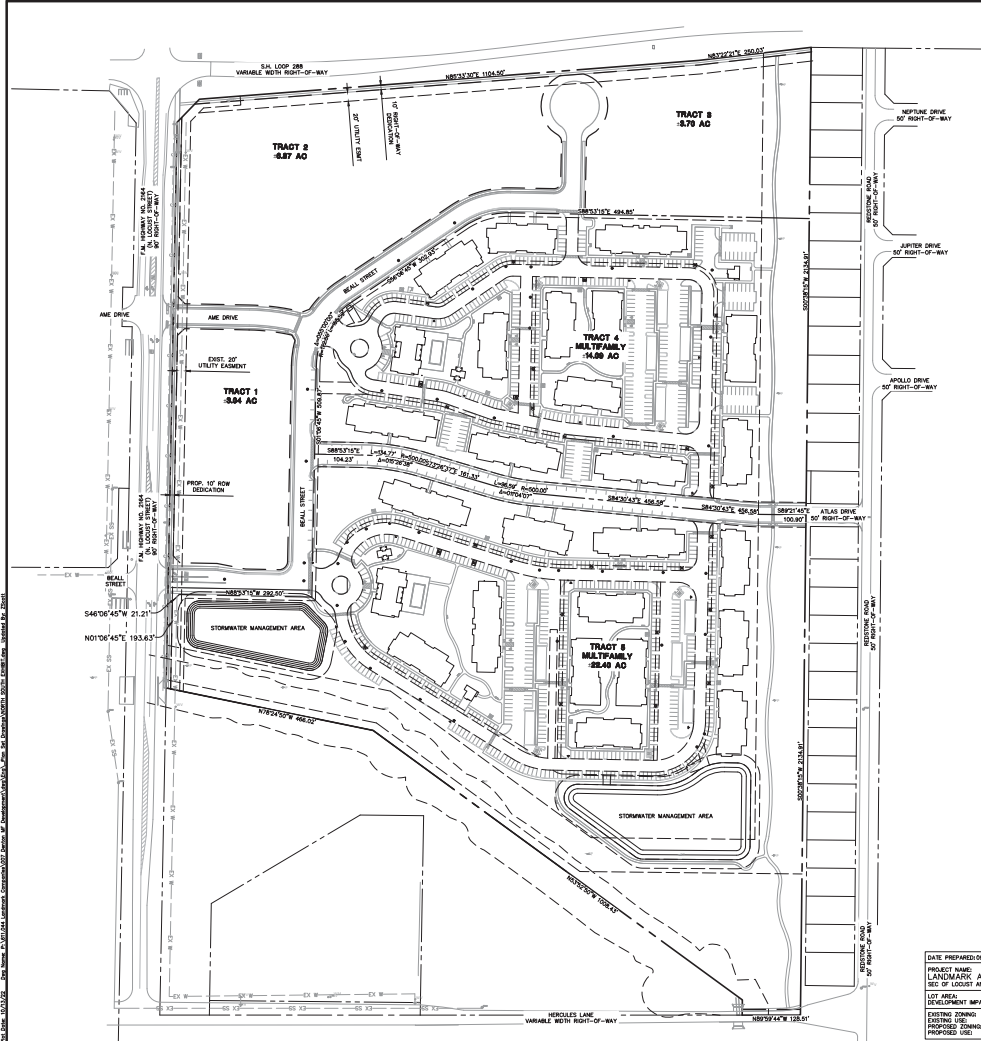
PROG. WORK. 89  
PROG. ASSOC. 75  
DRAIN. ST. 80

10/13/2022  
SHEET  
C00

611.044007

**PROJECT S21-0006**





LEGEND	
	DOUBLE CLEANOUT
	SANITARY MANHOLE
	JUNCTION BOX
	CURB INLET
	GRATE INLET
	FDC
	FIRE HYDRANT
	BARrier FREE RAMP
	PROPERTY LINE
	ROW

DATE PREPARED: 09/13/2022

PROJECT NAME: LANDMARK AT BEALL STREET

DEVELOPMENT IMPACT AREA: 1,084,422 S.F.

EXISTING ZONING: SC

PROPOSED ZONING: SGP FOR MULTIFAMILY

OWNER:

MORRIS CORP. INC.

12221 GREENVILLE AVE. STE 1000

DALLAS, TEXAS 75247

872.873.4320 PH

872.873.4320 FX

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

OWNER:

MORRIS CORP. INC.

12221 GREENVILLE AVE. STE 1000

DALLAS, TEXAS 75247

872.873.4320 PH

872.873.4320 FX

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

OWNER:

MORRIS CORP. INC.

12221 GREENVILLE AVE. STE 1000

DALLAS, TEXAS 75247

872.873.4320 PH

872.873.4320 FX

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

OWNER:

MORRIS CORP. INC.

12221 GREENVILLE AVE. STE 1000

DALLAS, TEXAS 75247

872.873.4320 PH

872.873.4320 FX

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

OWNER:

MORRIS CORP. INC.

12221 GREENVILLE AVE. STE 1000

DALLAS, TEXAS 75247

872.873.4320 PH

872.873.4320 FX

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

OWNER:

MORRIS CORP. INC.

12221 GREENVILLE AVE. STE 1000

DALLAS, TEXAS 75247

872.873.4320 PH

872.873.4320 FX

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320

OWNER:

MORRIS CORP. INC.

12221 GREENVILLE AVE. STE 1000

DALLAS, TEXAS 75247

872.873.4320 PH

872.873.4320 FX

872.873.4320

872.873.4320

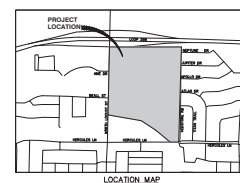
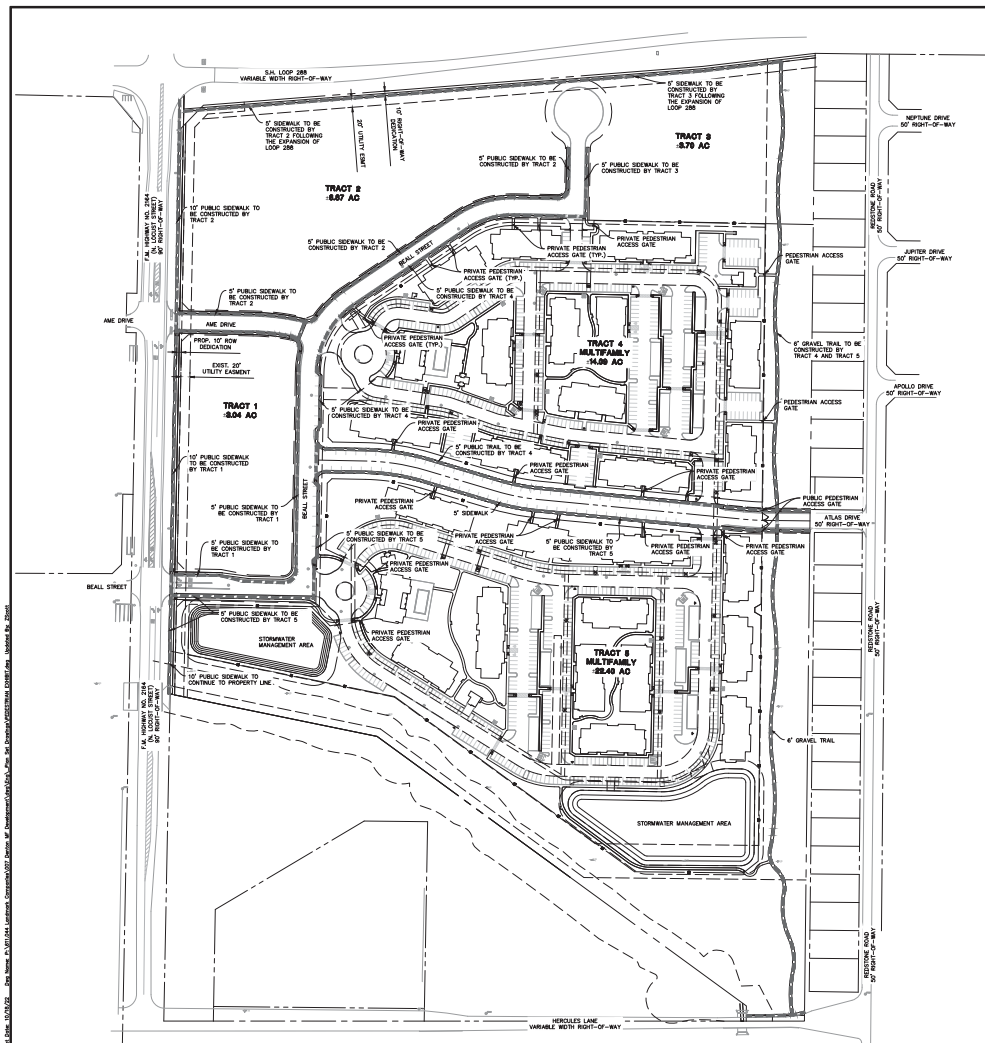
872.873.4320

872.873.4320

872.873.4320

872.873.4320

872.873.4320



**LEGEND**

--- PUBLIC PEDESTRIAN ACCESS

DATE PREPARED 09/13/2022		ENGINEER		OWNER	
PROJECT NAME		MANHARD CONSULTING		DAVID MCCLINTON	
PROJECT ADDRESS		1228 GREENVILLE AVE STE 1000		1217 GREENBRIAR ST, DENTON	
PROJECT CITY/STATE		DALLAS, TEXAS 75247		DENTON, TEXAS 76201	
PROJECT COUNTY		DALLAS COUNTY, TEXAS		DALLAS COUNTY, TEXAS	
PROJECT ZIP		75247-4000		76201-3400	
PROJECT PHONE		(214) 343-1111		(817) 343-1111	
PROJECT FAX		(214) 343-1112		(817) 343-1112	
PROJECT EMAIL		MANHARD@MANHARDCONSULTING.COM		D.MCCLINTON@DENTONPREMIER.COM	
PROJECT WEBSITE		WWW.MANHARDCONSULTING.COM		WWW.DENTONPREMIER.COM	
PROJECT DESCRIPTION		LANDMARK RESIDENTIAL		LANDMARK RESIDENTIAL	
EXISTING ZONING		LDR-400 S.F.		LDR-400 S.F.	
EXISTING USE		MULTIFAMILY		MULTIFAMILY	
PROPOSED ZONING		LDR-400 S.F.		LDR-400 S.F.	
PROPOSED USE		MULTIFAMILY		MULTIFAMILY	
PROPOSED LOT		1.00 AC		1.00 AC	

DATE	09/13/2022
BY	JLM
CHECKED	JLM
DATE	09/13/2022
BY	JLM
CHECKED	JLM
DATE	09/13/2022
BY	JLM
CHECKED	JLM
DATE	09/13/2022
BY	JLM
CHECKED	JLM



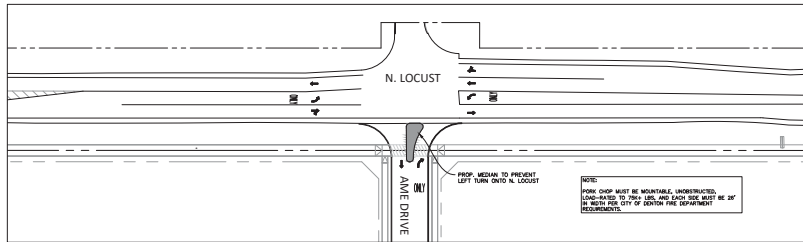
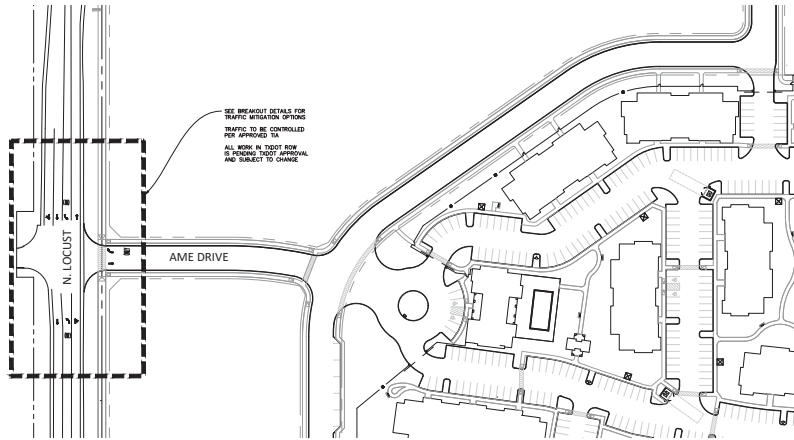
**LANDMARK RESIDENTIAL**  
**A1288 A.T. TOBY, TR 13, 53.93 ACRES, CITY OF DENTON, TEXAS**  
**PEDESTRIAN CIRCULATION PLAN**

FOR REVIEW ONLY  
 THIS DOCUMENT IS NOT  
 TO BE USED FOR CONSTRUCTION  
 OR PERMITTING PURPOSES  
 DATE: 09/13/2022  
 TEXAS P.E. NO. 38334  
 ISSUED THE DATE:  
 09/13/2022

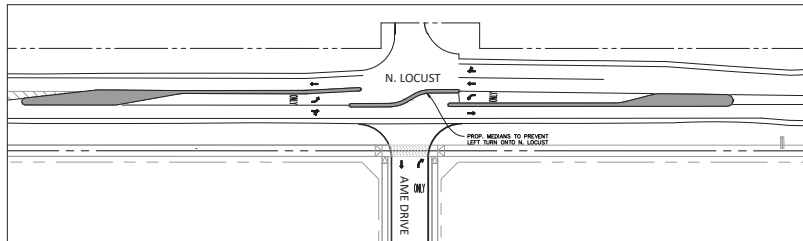
**C0.3**

**PROJECT S21-0006**

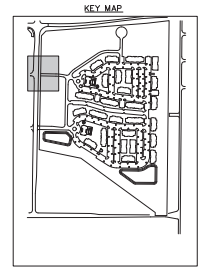




TRAFFIC MITIGATION OPTION #1  
DRIVEWAY PORKCHOP



TRAFFIC MITIGATION OPTION #2  
TxDOT HOODED MEDIAN



LEGEND	
⬮	DOUBLE CLEANOUT
⊙	SANITARY MANHOLE
□	JUNCTION BOX
◻	CURB INLET
▣	GRATE INLET
△	FDC
⋈	FIRE HYDRANT
⌵	BARRIER FREE RAMP
—	FIRE LANE

NOTE: ALTERNATIVE MITIGATION MEASURES FOR AME DRIVE MAY BE PROPOSED, SUBJECT TO REVIEW AND APPROVAL BY THE CITY OF DENTON AND TxDOT IF NEITHER OF THE ALTERNATIVES SHOWN ARE ACCEPTABLE TO TxDOT.

NO.	REVISION	DATE
1	ISSUED FOR PERMITTING	10/13/2022



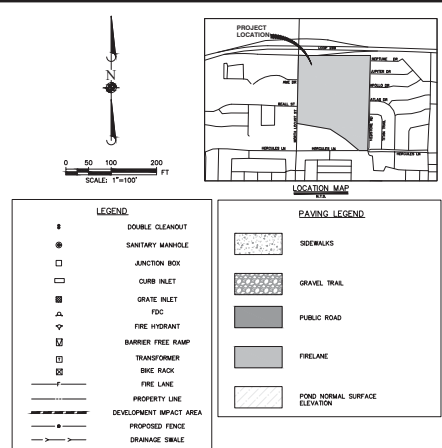
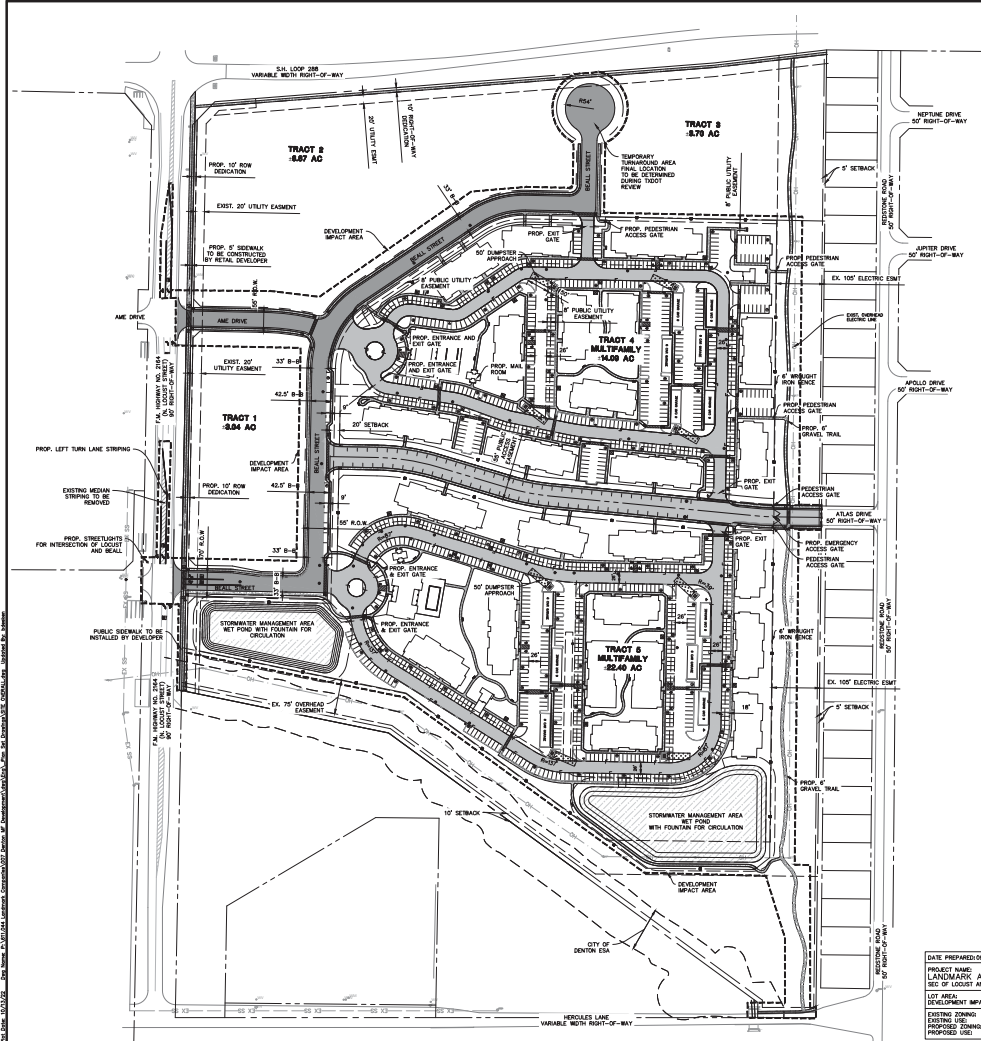
**LANDMARK RESIDENTIAL**  
A1288 A T. TOBY, TR 13, 53.93 ACRES, CITY OF DENTON, TEXAS  
AME & LOCUST TRAFFIC MITIGATION EXHIBIT

FOR INTERIM REVIEW ONLY  
THIS DOCUMENT IS NOT  
TO BE USED FOR CONSTRUCTION  
OR PERMITTING PURPOSES  
DENTON, TEXAS  
ISSUED DATE: 10/13/2022

PROJECT NO. 821-0006  
SHEET  
**C0.5**  
817-044907

PROJECT 821-0006





NORTH PROPERTY (TRACT 4)		
	REQUIRED	PROVIDED
LOT AREA	MIN. 10,000 S.F.	14.09 AC
BUILDING AREA	MAX. 587,785 S.F.	121,020 S.F.
BUILDING COVERAGE	MAX. 80%	21.60%
OPEN SPACE	MIN. 58,779 S.F.	41% (254,909 S.F.)
BUILDING HEIGHT	<55'	47'2"
PARKING	575	577
ACCESSIBLE PARKING	12	12
BICYCLE PARKING	30	32
NUMBER OF UNITS		336
	1 BEDROOM	216
	2 BEDROOM	108
	3 BEDROOM	12

SOUTH PROPERTY (TRACT 5)		
	REQUIRED	PROVIDED
LOT AREA	MIN. 10,000 S.F.	22.4 AC
BUILDING AREA	MAX. 709,980 S.F.	119,220 S.F.
BUILDING COVERAGE	MAX. 80%	13.20%
OPEN SPACE	MIN. 8% (71,000 S.F.)	64% (633,359 S.F.)
BUILDING HEIGHT	<55'	47'2"
PARKING	584	570
ACCESSIBLE PARKING	11	12
BICYCLE PARKING	27	28
NUMBER OF UNITS		324
	1 BEDROOM	198
	2 BEDROOM	114
	3 BEDROOM	12

DATE PREPARED: 09/28/2022

PROJECT NAME: LANDMARK AT BEALL STREET

LOT AREA: 1.84 AC

DEVELOPMENT IMPACT AREA: 1.84 AC

EXISTING ZONING: SC

PROPOSED ZONING: SC-UP FOR MULTIFAMILY

PROPOSED USE: MULTIFAMILY

DESIGNED BY: MCGOUGH CONSULTING

1200 GREENVILLE AVE STE 1000

DALLAS, TEXAS 75247

972-448-2488

WWW.MCGOUGHCONSULTING.COM

ARCHITECT: HENNINGSEN ARCHITECTS LLC

1680 DALLAS PARKWAY, STE 2000

DALLAS, TEXAS 75247

972-448-2488

WWW.HENNINGSENARCHITECTS.COM

OWNER: LANDMARK COMPANIES

1700 BUCKINGHAM BOULEVARD

SUITE 200

DALLAS, TEXAS 75247

972-448-2488

WWW.LANDMARKCOMPANIES.COM

DATE: 09/28/2022

BY: [Signature]

PROJECT S21-0006

**Manhard Consulting**

1200 GREENVILLE AVE STE 1000  
DALLAS, TEXAS 75247  
972-448-2488  
WWW.MCGOUGHCONSULTING.COM

**LANDMARK RESIDENTIAL**

A1288 A T. TOBY, TR 13, 53.93 ACRES, CITY OF DENTON, TEXAS

OVERALL SITE PLAN

FOR REVIEW ONLY  
THIS DOCUMENT IS NOT  
TO BE USED FOR CONSTRUCTION  
OR PERMITTING PURPOSES

ISSUED: 10/13/2022

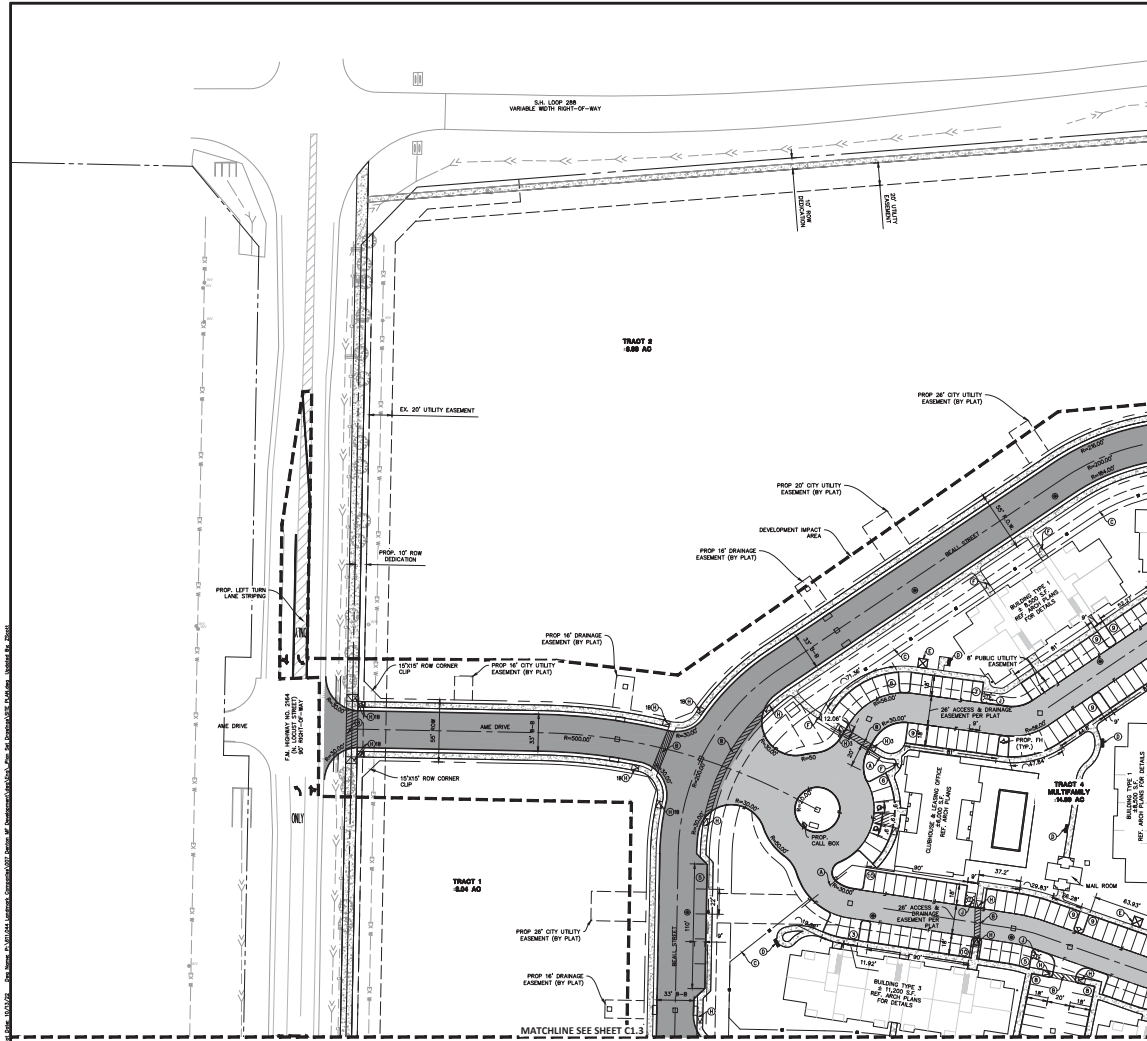
TEXAS P.E. NO. 38334

ISSUED: 10/13/2022

SHEET

**C1.0**

10/13/2022



**LEGEND**

- DOUBLE CLEANOUT
- SANITARY MANHOLE
- JUNCTION BOX
- CURB INLET
- GRATE INLET
- △ FIC
- ▽ FIRE HYDRANT
- ▽ BARRIER FREE RAMP
- FIRE LANE
- DEVELOPMENT IMPACT AREA
- PROPERTY LINE
- PROPOSED FENCE
- DRAINAGE SWALE

**KEY MAP**

SCALE: 1"=40' FT

0 20 40 80

**PAVING LEGEND**

- ▨ SIDEWALKS
- ▨ GRAVEL TRAIL
- ▨ PUBLIC ROAD
- ▨ FIRELANE
- ▨ POND NORMAL SURFACE ELEVATION

**HARDSCAPE LEGEND**

- ① ENTRANCE/EXIT GATE
- ② PROP. CROSSWALK HIGHLIGHTED WITH MORE THAN PAINT, PER DOC 1A T&E 3.3
- ③ 6" WROUGHT IRON FENCE
- ④ BENCH (DEF. LANDSCAPE PLANS)
- ⑤ 8'x8' BIKE RACK AREA
- ⑥ RECREATION GATE (DEF. LANDSCAPE PLANS)
- ⑦ BARRIER FREE RAMP (TYPE 1A UNLESS OTHERWISE SPECIFIED)
- ⑧ PROP. TRANSFORMER AND ELECTRIC METER

**LANDMARK RESIDENTIAL**  
A1288 A.T. TOBY, TR 13, 53.93 ACRES, CITY OF DENTON, TEXAS  
PAVING AND DIMENSIONAL CONTROL PLAN

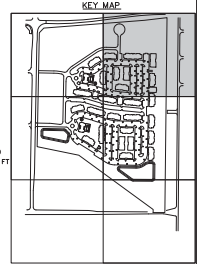
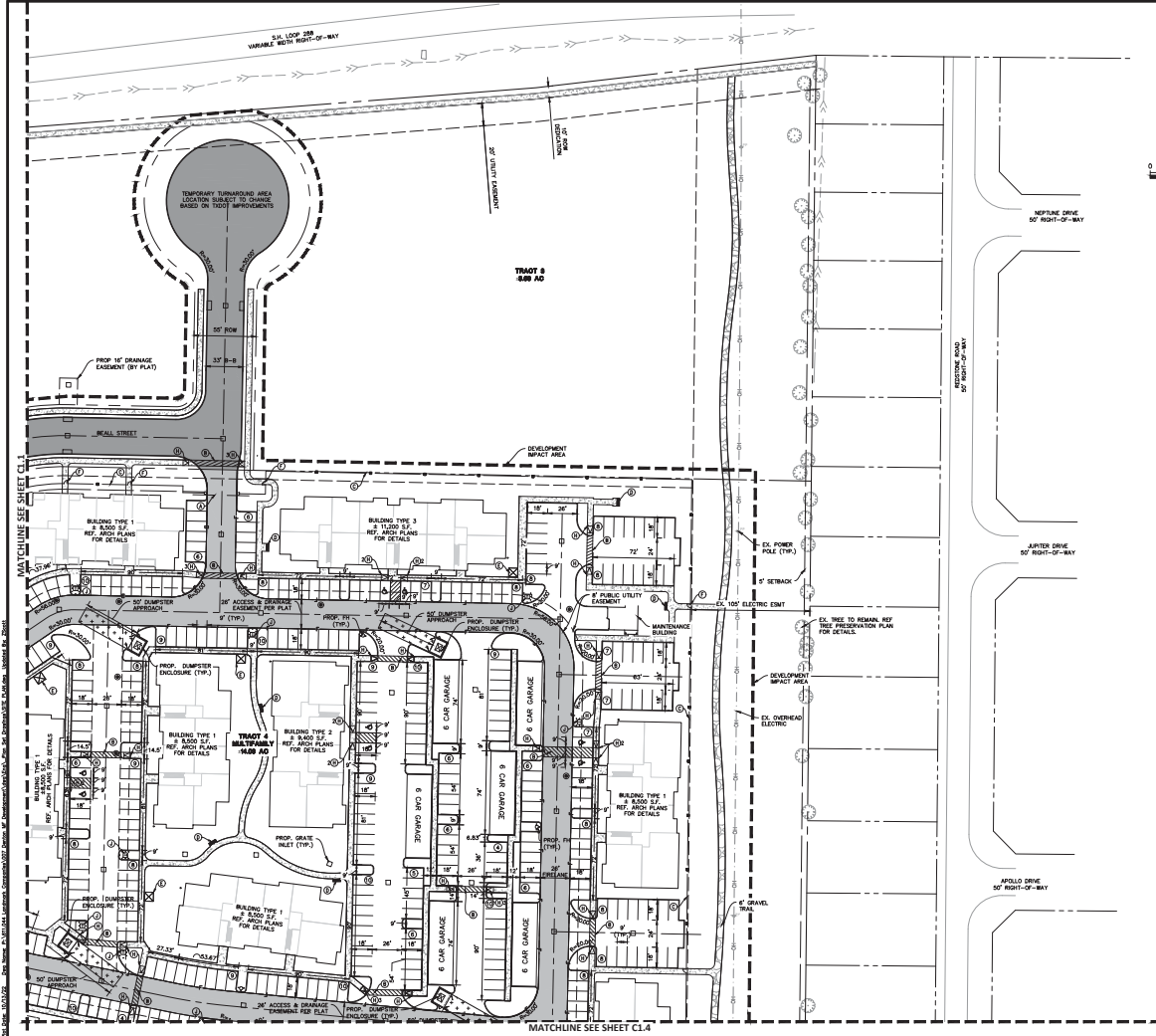
FOR REVIEW ONLY  
THIS DOCUMENT IS NOT  
TO BE USED FOR CONSTRUCTION  
OR PERMITTING PURPOSES  
UNLESS OTHERWISE SPECIFIED  
ISSUED: 10/13/2023  
TEKAS P.E. NO. 38334  
ISSUED: 10/13/2023

**C1.1**

**Manhard CONSULTING**

10/13/2023

PROJECT S21-0006



- LEGEND**
- DOUBLE CROWNOUT
  - SANITARY MANHOLE
  - JUNCTION BOX
  - CURB INLET
  - GRATE INLET
  - FOC
  - FIRE HYDRANT
  - BARRIER FREE RAMP
  - FIRE LANE
  - DEVELOPMENT IMPACT AREA
  - PROPERTY LINE
  - PROPOSED FENCE
  - DRAINAGE SWALE

- PAVING LEGEND**
- SEWERWALKS
  - GRAVEL TRAIL
  - PUBLIC ROAD
  - FIRELANE
  - POND NORMAL SURFACE ELEVATION

- HARDSCAPE LEGEND**
- ENTRANCE/EXIT GATE
  - PROP. CROSSWALK HIGHLIGHTED WITH MORE THAN PAINT, PER DOC 1A T&E 3.3
  - 6" WROUGHT IRON FENCE
  - BENCH (REF. LANDSCAPE PLANS)
  - 8'x8' BIKE RACK AREA
  - RESIDUAL GATE (REF. LANDSCAPE PLANS)
  - BARRIER FREE RAMP (TYPE 1A UNLESS OTHERWISE SPECIFIED)
  - PROP. TRANSFORMER AND ELECTRIC METER

**Manhard CONSULTING**

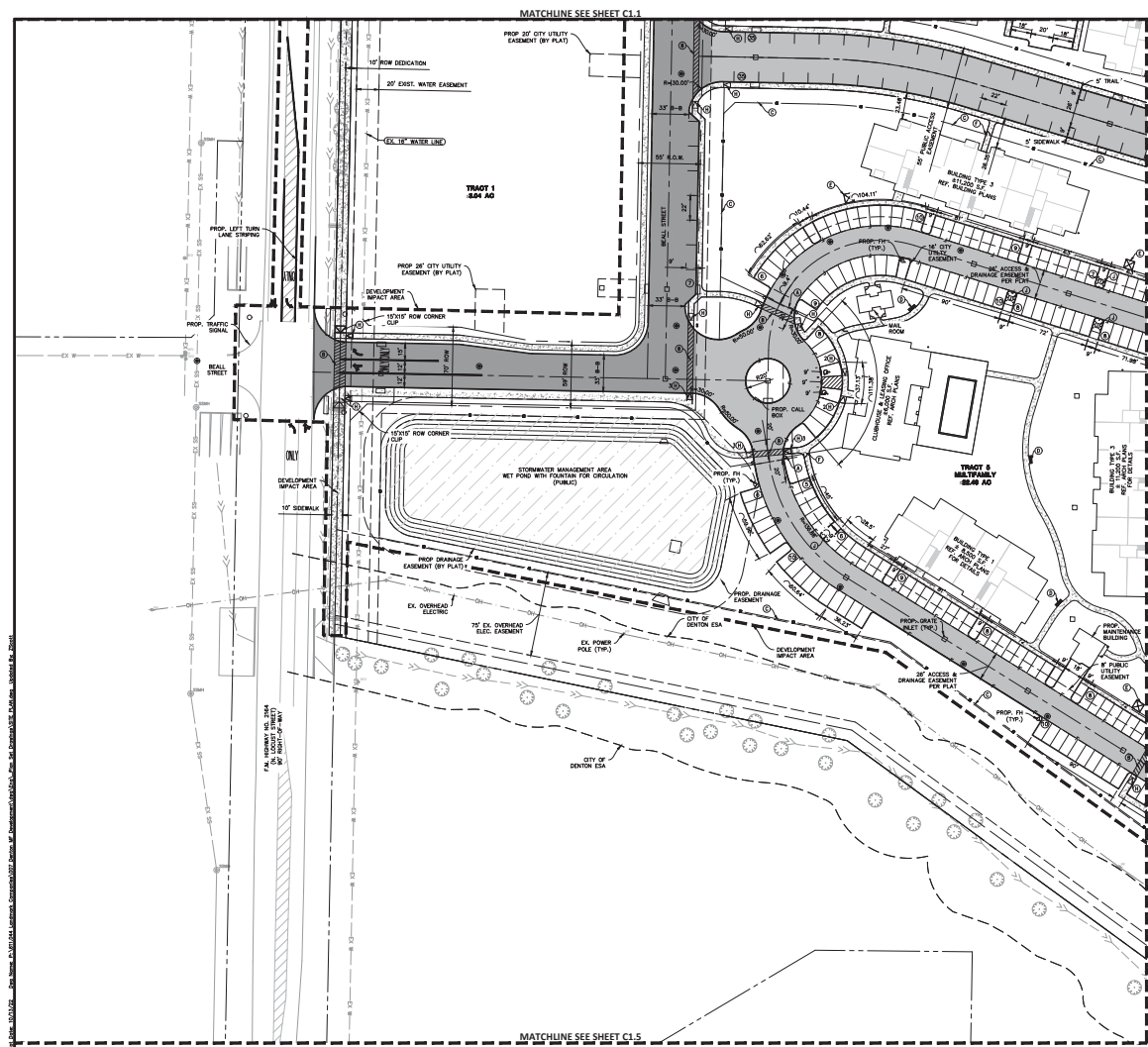
**LANDMARK RESIDENTIAL**

A1288 A. T. TOBY, TR 13, 53.93 ACRES, CITY OF DENTON, TEXAS

PAVING AND DIMENSIONAL CONTROL PLAN

<p>FOR REVIEW ONLY THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION OR PERMITTING PURPOSES UNLESS OTHERWISE SPECIFIED DATE: 10/13/2023 ISSUED: 10/13/2023</p>	<p>PROJECT NO. 821-0006</p> <p>SHEET NO. 25</p> <p>DATE: 10/13/2023</p> <p style="font-size: 24pt; font-weight: bold;">C1.2</p>
---	---

**PROJECT 821-0006**



**KEY MAP**

SCALE: 1"=40'

**LEGEND**

- DOUBLE CLEANSOUT
- SANITARY MANHOLE
- JUNCTION BOX
- CURB INLET
- GRATE INLET
- FOC
- FIRE HYDRANT
- BARBER FREE RAMP
- FIRE LANE
- DEVELOPMENT IMPACT AREA
- PROPERTY LINE
- PROPOSED FENCE
- DRAINAGE SWALE

**PAVING LEGEND**

- SIDEWALKS
- GRAVEL TRAIL
- PUBLIC ROAD
- FIRELANE
- POND NORMAL SURFACE ELEVATION

**HARDSCAPE LEGEND**

- ENTRANCE/EXIT GATE
- PROP. CROSSWALK HIGHLIGHTED WITH MORE THAN PAINT, PER DCC 1A.10.3.3
- 6" WROUGHT IRON FENCE
- BENCH (DEF. LANDSCAPE PLANS)
- 8'x8' BIKE RACK AREA
- RECREATION GATE (DEF. LANDSCAPE PLANS)
- BARBER FREE RAMP (TYPE 1A UNLESS OTHERWISE SPECIFIED)
- PROP. TRANSFORMER AND ELECTRIC METER

**LANDMARK RESIDENTIAL**  
A1288 A.T. TOBY, TR 13, 53.93 ACRES, CITY OF DENTON, TEXAS

**PAVING AND DIMENSIONAL CONTROL PLAN**

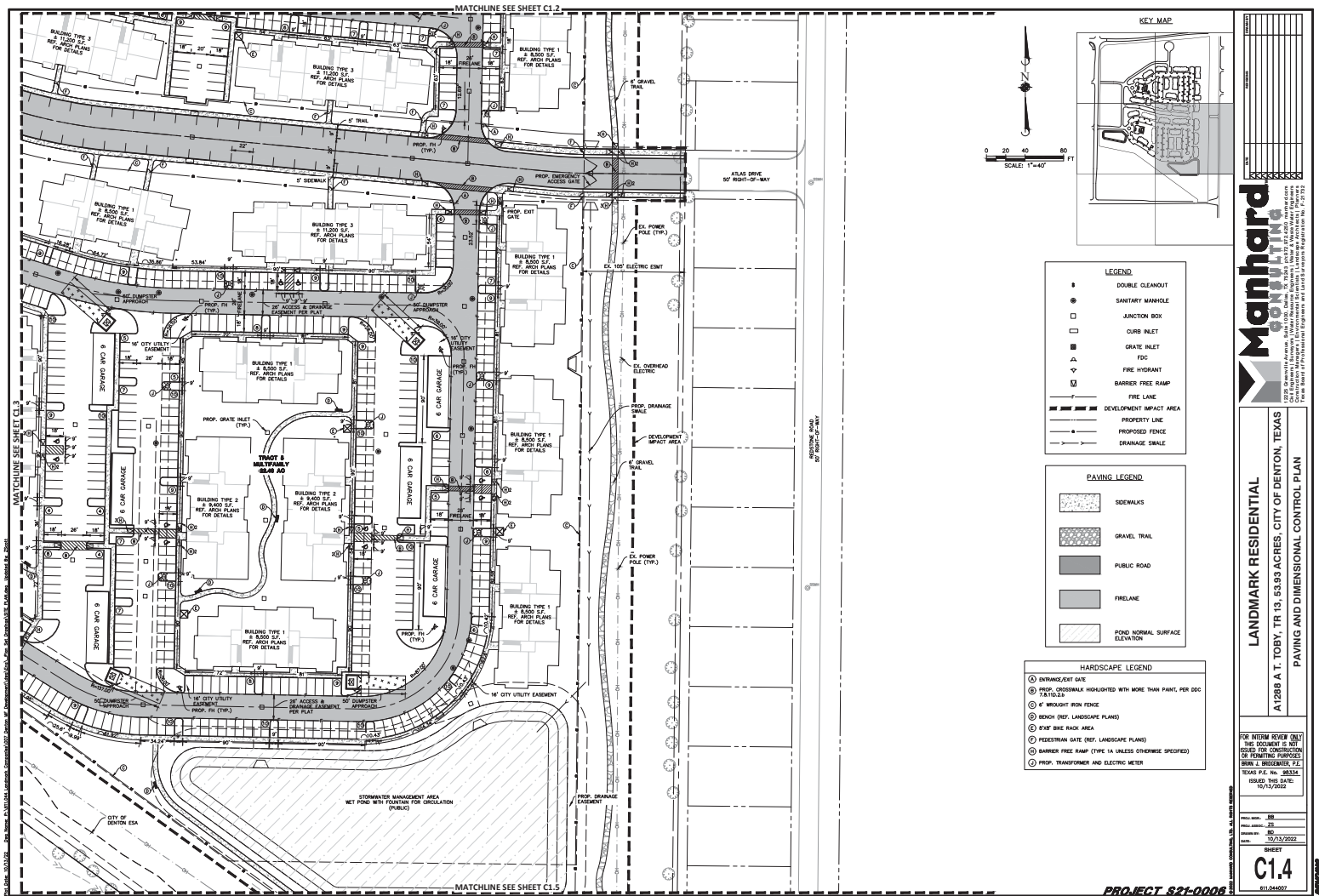
FOR INTERIM REVIEW ONLY  
THIS DOCUMENT IS NOT  
FOR CONSTRUCTION  
OR PERMITTING PURPOSES  
DENTON, TEXAS  
ISSUED: 10/13/2023  
SHEET  
**C1.3**

**Manhard CONSULTING**

10/13/2023

PROJECT 821-0006

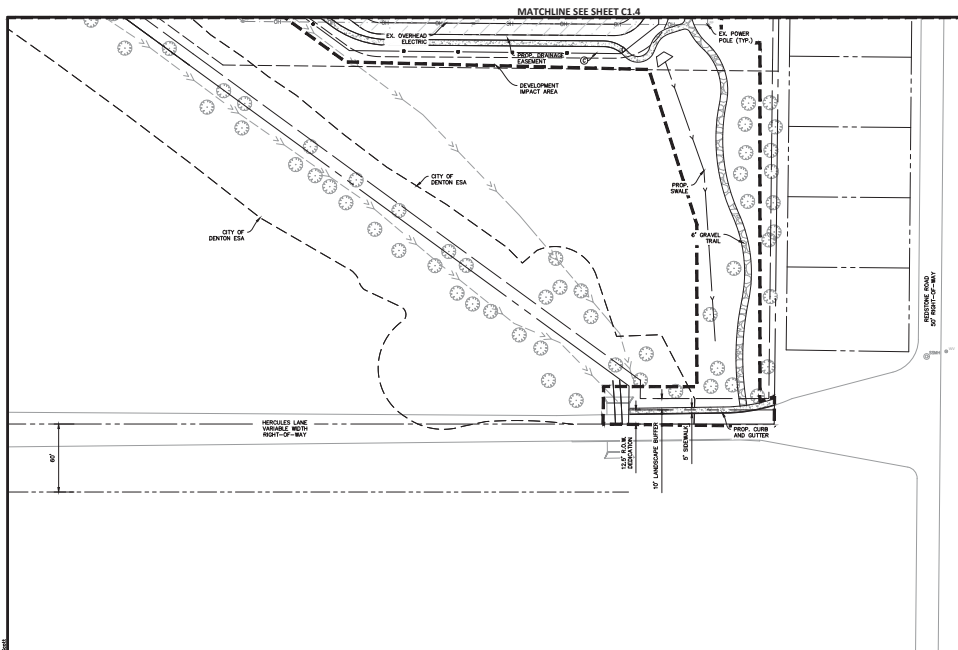




**LANDMARK RESIDENTIAL**  
 A1288 A. T. TOBY, TR 13, 53.93 ACRES, CITY OF DENTON, TEXAS  
 PAVING AND DIMENSIONAL CONTROL PLAN

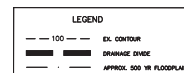
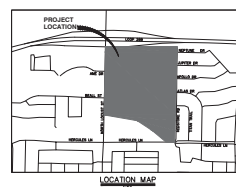
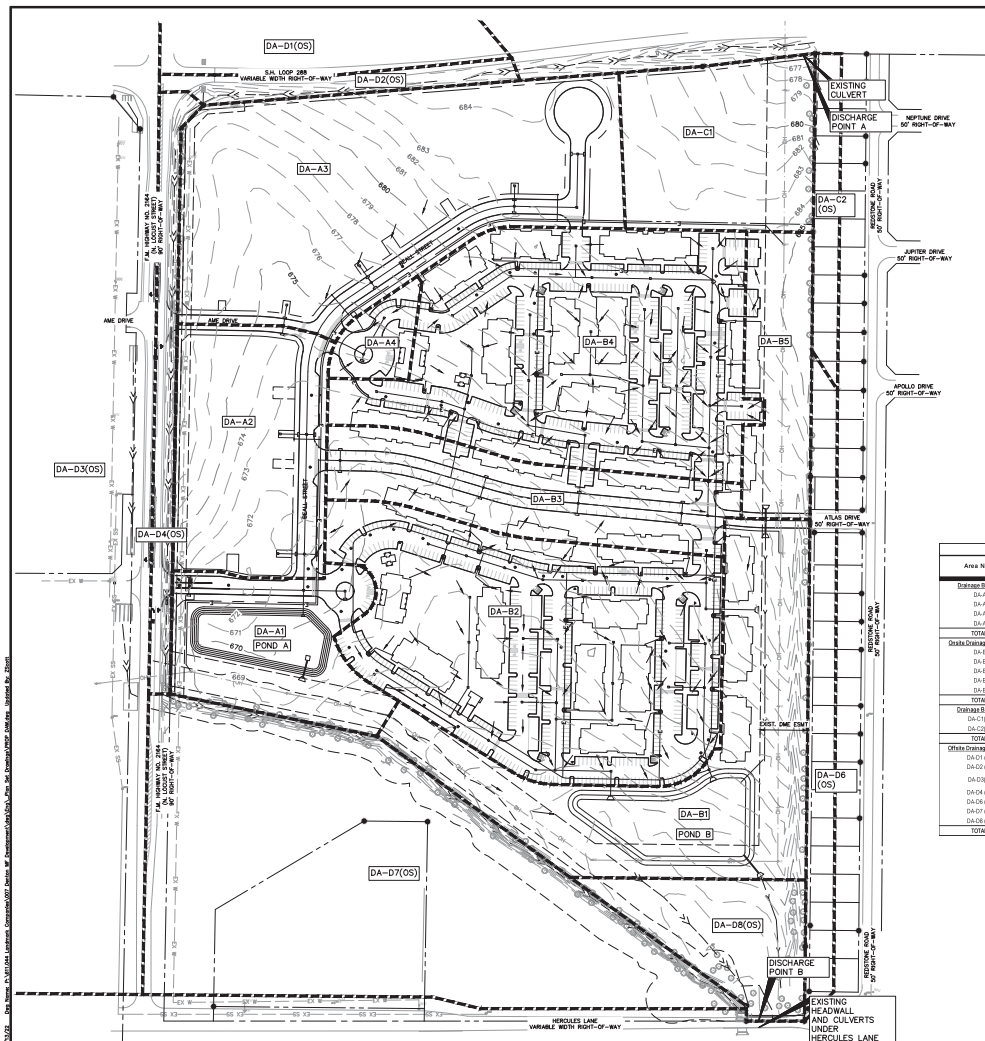
FOR REVIEW ONLY  
 THIS DOCUMENT IS NOT  
 TO BE USED FOR CONSTRUCTION  
 OR PERMITTING PURPOSES  
 JOHN L. WICKENS, P.E.  
 TEXAS P.E. NO. 38334  
 ISSUED THIS DATE:  
 10/13/2023

**SHEET**  
**C1.4**  
 10/13/2023









**NOTES**  
1. FEMA FIRM PANEL NUMBER 48121C02200 EFFECTIVE  
ON 04/18/2011

DRAINAGE DESIGN INTENT

NOTE: POND "A" & "B" WILL BE WET PONDS AND SERVE AS AN AMENITY FOR THE DEVELOPMENT.

PROPOSED DRAINAGE CONDITIONS									
Area Name	Area (sqm)	C <sub>1</sub> (%)	C <sub>2</sub> (%)	C <sub>3</sub> (%)	C <sub>4</sub> (%)	C <sub>5</sub> (%)	C <sub>6</sub> (%)	C <sub>7</sub> (%)	Notes
<b>Drainage Basin A</b>									
D-A-1	3.08	0.32	1.0	1.0	1.0	0.33	0.33	1.0	Drains to Pond A
D-A-2	4.22	0.30	1.0	1.0	1.0	0.33	1.0	1.0	Future work needs to do it
D-A-3	9.43	0.30	1.0	1.0	1.0	0.33	1.0	1.0	Future needs to do it
D-A-4	0.87	0.30	1.0	1.0	1.0	0.33	1.0	1.0	
<b>TOTALS A</b>	<b>18.58</b>								<b>Discharge to Pond A, Pond Outflow to Existing Catchment Pond</b>
<b>Drainage Basin B, Item 1</b>									
B-1-1	6.74	0.32	1.0	1.0	1.0	0.33	1.0	1.0	1.0
B-1-2	9.41	0.05	1.0	1.0	1.0	0.72	0.87	1.0	0.28
B-1-3	5.94	0.05	1.0	1.0	1.0	0.72	0.87	1.0	0.28
B-1-4	0.89	0.05	1.0	1.0	1.0	0.72	0.87	1.0	1.0
B-1-5	2.11	0.45	1.0	1.0	1.0	0.50	0.77	1.0	0.50
<b>TOTALS B</b>	<b>32.29</b>								<b>12.00</b>
<b>Drainage Basin B, Item 2</b>									
D-B-1(CD)	3.68	0.32	1.0	1.0	1.0	0.33	0.61	1.0	0.36
D-B-2(CD)	0.83	0.32	1.0	1.0	1.0	0.33	1.0	1.0	0.44
<b>TOTALS C</b>	<b>4.51</b>								<b>0.80</b>
<b>Drainage Basin B, Item 3</b>									
D-B-3(CD)	6.79	0.28	1.0	1.0	1.0	0.33	1.0	1.0	1.0
D-B-4(CD)	0.91	0.05	1.0	1.0	1.0	0.83	1.0	1.0	2.70
<b>TOTALS D</b>	<b>7.70</b>								<b>3.70</b>
<b>Drainage Basin B, Item 4</b>									
D-B-5(CD)	1.93	0.35	10.0	4.0	1.0	1.0	0.91	1.0	1.0
D-B-6(CD)	1.98	0.30	1.0	1.0	1.0	0.33	1.0	1.0	1.0
D-B-7(CD)	12.77	0.40	1.0	1.0	1.0	0.50	0.78	1.0	0.57
D-B-8(CD)	2.18	0.45	1.0	1.0	1.0	0.50	0.82	1.0	1.0
<b>TOTALS E</b>	<b>21.86</b>								<b>10.00</b>
Inflowing multiple development per GDM for Catchment of Drainage Basin B									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflowing from local catchment									
Inflow									

LA No	DATE RECEIVED	DATE PAID
1	1/1/19	1/1/19
2	1/1/19	1/1/19
3	1/1/19	1/1/19
4	1/1/19	1/1/19
5	1/1/19	1/1/19
6	1/1/19	1/1/19
7	1/1/19	1/1/19
8	1/1/19	1/1/19
9	1/1/19	1/1/19
10	1/1/19	1/1/19
11	1/1/19	1/1/19
12	1/1/19	1/1/19
13	1/1/19	1/1/19
14	1/1/19	1/1/19
15	1/1/19	1/1/19
16	1/1/19	1/1/19
17	1/1/19	1/1/19
18	1/1/19	1/1/19
19	1/1/19	1/1/19
20	1/1/19	1/1/19
21	1/1/19	1/1/19
22	1/1/19	1/1/19
23	1/1/19	1/1/19
24	1/1/19	1/1/19
25	1/1/19	1/1/19
26	1/1/19	1/1/19
27	1/1/19	1/1/19
28	1/1/19	1/1/19
29	1/1/19	1/1/19
30	1/1/19	1/1/19
31	1/1/19	1/1/19
32	1/1/19	1/1/19
33	1/1/19	1/1/19
34	1/1/19	1/1/19
35	1/1/19	1/1/19
36	1/1/19	1/1/19
37	1/1/19	1/1/19
38	1/1/19	1/1/19
39	1/1/19	1/1/19
40	1/1/19	1/1/19
41	1/1/19	1/1/19
42	1/1/19	1/1/19
43	1/1/19	1/1/19
44	1/1/19	1/1/19
45	1/1/19	1/1/19
46	1/1/19	1/1/19
47	1/1/19	1/1/19
48	1/1/19	1/1/19
49	1/1/19	1/1/19
50	1/1/19	1/1/19
51	1/1/19	1/1/19
52	1/1/19	1/1/19
53	1/1/19	1/1/19
54	1/1/19	1/1/19
55	1/1/19	1/1/19
56	1/1/19	1/1/19
57	1/1/19	1/1/19
58	1/1/19	1/1/19
59	1/1/19	1/1/19
60	1/1/19	1/1/19
61	1/1/19	1/1/19
62	1/1/19	1/1/19
63	1/1/19	1/1/19
64	1/1/19	1/1/19
65	1/1/19	1/1/19
66	1/1/19	1/1/19
67	1/1/19	1/1/19
68	1/1/19	1/1/19
69	1/1/19	1/1/19
70	1/1/19	1/1/19
71	1/1/19	1/1/19
72	1/1/19	1/1/19
73	1/1/19	1/1/19
74	1/1/19	1/1/19
75	1/1/19	1/1/19
76	1/1/19	1/1/19
77	1/1/19	1/1/19
78	1/1/19	1/1/19
79	1/1/19	1/1/19
80	1/1/19	1/1/19
81	1/1/19	1/1/19
82	1/1/19	1/1/19
83	1/1/19	1/1/19
84	1/1/19	1/1/19
85	1/1/19	1/1/19
86	1/1/19	1/1/19
87	1/1/19	1/1/19
88	1/1/19	1/1/19
89	1/1/19	1/1/19
90	1/1/19	1/1/19
91	1/1/19	1/1/19
92	1/1/19	1/1/19
93	1/1/19	1/1/19
94	1/1/19	1/1/19
95	1/1/19	1/1/19
96	1/1/19	1/1/19
97	1/1/19	1/1/19
98	1/1/19	1/1/19
99	1/1/19	1/1/19
100	1/1/19	1/1/19



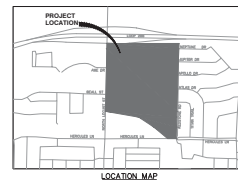
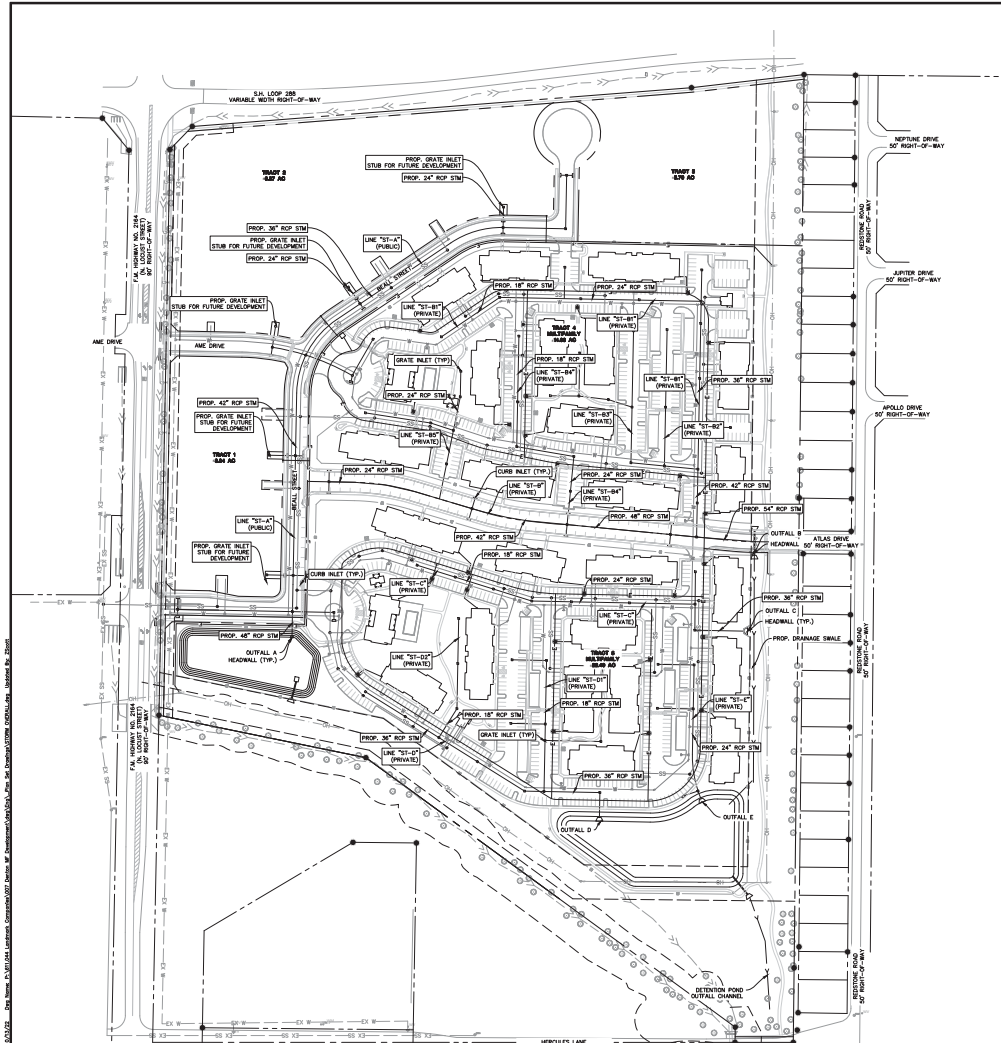
**LANDMARK RESIDENTIAL**  
A1288 A T. TOBY, TR 13, 53.93 ACRES, CITY OF DENVER  
**PROPOSED DRAINAGE AREA MAP**

FOR INTERIM REVIEW ONLY  
THIS DOCUMENT IS NOT  
ISSUED FOR CONSTRUCTION  
OR PERMITTING PURPOSES  
BRUNN J. BRIDGEMAN, P.E.  
TEXAS P.E. No. 98334  
ISSUED THIS DATE:  
10/13/2022

PHILLIP: 88  
 PHILLIP ADDRESS: 25  
 GRAYSON: 25  
 DATE: 10/13/2022

**C3.0**  
811.044007

**PROJECT S21-0006**



**UTILITY LEGEND**

⊢	DOUBLE CULVERT
⊙	SANITARY MANHOLE
⊠	JUNCTION BOX
⊞	CURB INLET
⊟	GRATE INLET
⊠	FIRE HYDRANT
⊡	WATER FITTING
⊢	GATE VALVE
⊠	FOC

- NOTES**
1. REFER TO SHEET 1 GENERAL NOTES FOR GENERAL NOTES, PAVING NOTES, AND A COMPLETE LEGEND.
  2. REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION SYSTEMS EXCLUDING PAVED AREAS.
  3. REFER TO STRUCTURAL PLANS FOR ALL BUILDING, DETACHED GARAGE, AND SHEDS INCLUDING FOUNDATION DESIGN AND DETAILS.
  4. THE CONTRACTOR HAS 30 DAYS TO INSTALL THE DRIVEWAY APPROACH AFTER REMOVING THE EXISTING CURB AND PAVE A FIVE (5) FEET WIDENING FOR EACH DAY IT IS NOT INSTALLED.
  5. ALL MANHOLE AND CONCRETE REMOVAL WITHIN 8\"/>

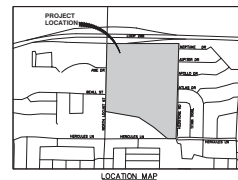
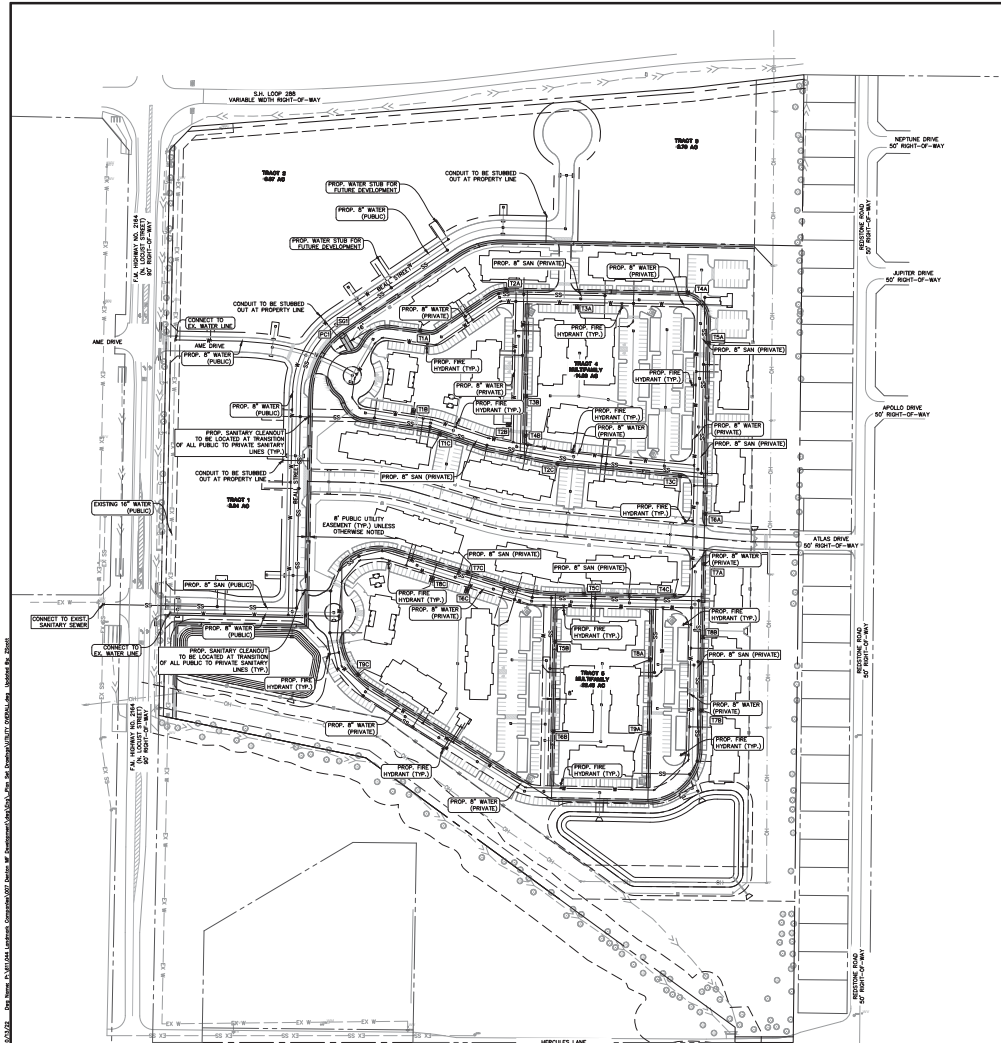
**Manhard Consulting**  
Civil & Mechanical Engineers and Surveyors  
Professional Engineers and Surveyors License No. 127122

**LANDMARK RESIDENTIAL**  
A1288 A. T. TOBY, TR 13, 53.93 ACRES, CITY OF DENTON, TEXAS  
OVERALL STORM PLAN

**FOR INTERIM REVIEW ONLY**  
THIS DOCUMENT IS NOT  
TO BE USED FOR CONSTRUCTION  
OR PERMITTING PURPOSES  
OWN: H. HIGGINS, P.E.  
TEXAS P.E. No. 38334  
ISSUED: 10/13/2022

Project No. 821-0006  
Sheet No. 28  
Date: 10/13/2022  
**C4.0**  
811-046507

PROJECT 821-0006



UTILITY LEGEND	
	DOUBLE CLEANOUT
	SANITARY MANHOLE
	JUNCTION BOX
	CURB INLET
	GRATE INLET
	FIRE HYDRANT
	WATER FITTINGS
	GATE VALVES
	FIC
	PUBLIC UTILITY EASEMENT FOR ONE ACCESS (IF VARIOUS OTHERWISE NOTED)

- NOTES
1. REFER TO SHEET 1 GENERAL NOTES FOR GENERAL NOTES, PAVING NOTES, AND A COMPLETE LEGEND.
  2. REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION SCHEDULES EXCEPT PAVED AREAS.
  3. REFER TO STRUCTURAL PLANS FOR ALL BUILDING, DETACHED GARAGE, AND DWAPERS INCLUDING FOUNDATION DESIGN AND DETAILS.
  4. THE CONTRACTOR HAS 14 DAYS TO INSTALL THE DRIVEWAY APPROACH AFTER REMOVING THE EXISTING CURB OR PAVEMENT OF DRIVEWAY FOR EACH DAY IT IS NOT INSTALLED.
  5. ALL MANHOLE AND CONCRETE REMOVAL WITHIN 2' OF A JOINT SHALL BE REMOVED AND RECONSTRUCTED TO THE JOINT.

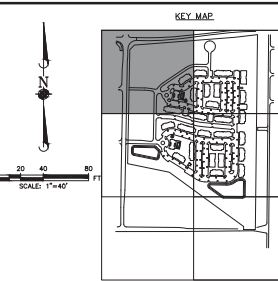
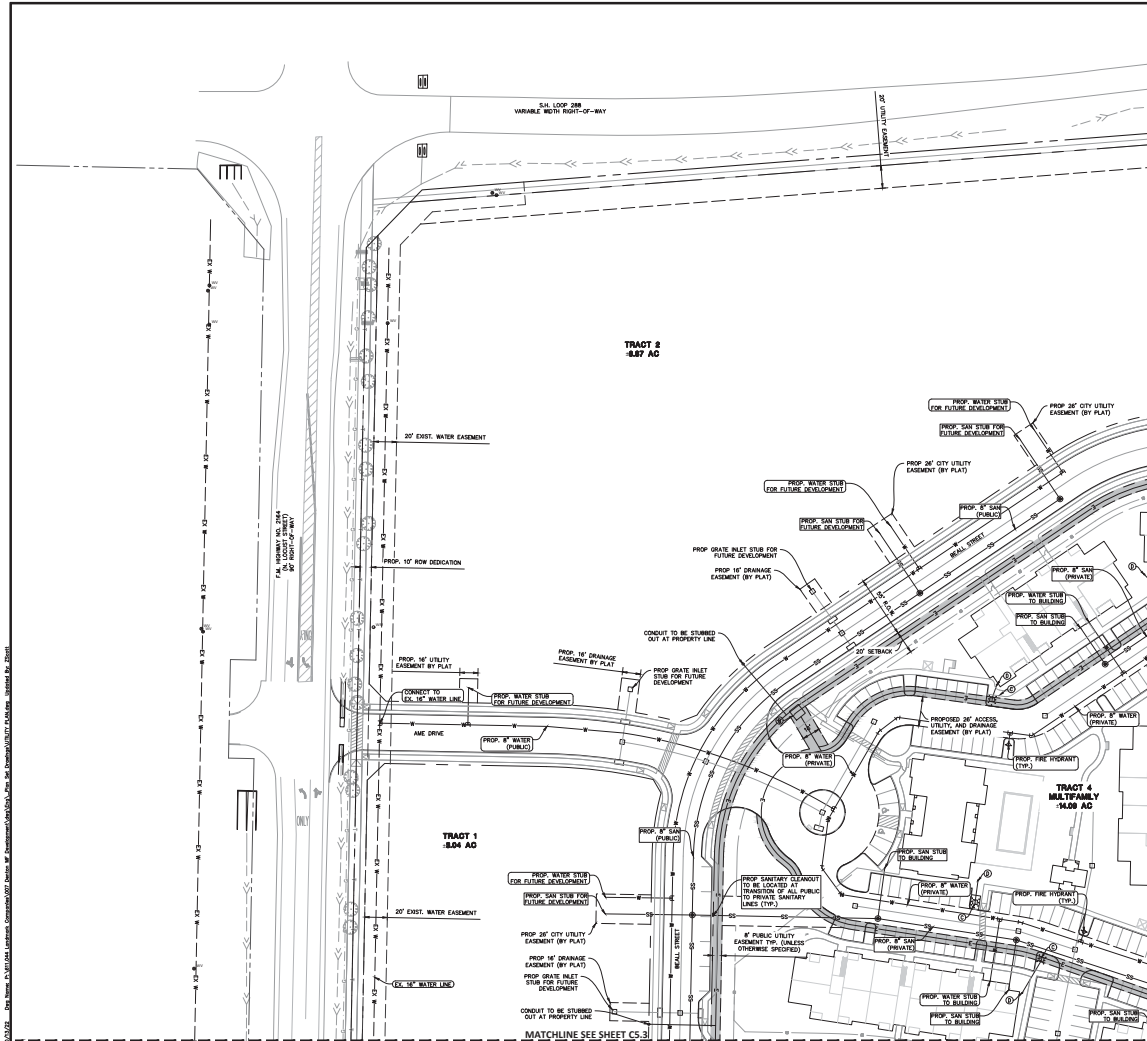
Manhard CONSULTING

Professional Engineer and Land Surveyor Registration No. P-20122

LANDMARK RESIDENTIAL  
A1288 A T. TOBY, TR 13, 53.93 ACRES, CITY OF DENTON, TEXAS  
OVERALL UTILITY PLAN

FOR INTERIM REVIEW ONLY  
THIS DOCUMENT IS NOT  
TO BE USED FOR CONSTRUCTION  
OR PERMITTING PURPOSES  
DENTON & ASSOCIATES, P.C.  
TEXAS P.E. No. 38334  
ISSUED THE DATE:  
10/13/2022

PROJECT 821-0006  
SHEET  
C5.0  
813-845957



UTILITY LEGEND	
⊕	DOUBLE CLEANOUT
⊙	SANITARY MANHOLE
□	JUNCTION BOX
⊖	CURB INLET
■	GRATE INLET
⚡	FIRE HYDRANTS
⚙	WATER FITTINGS
⌞	GATE VALVES
△	FDC
▭	PUBLIC UTILITY EASEMENT FOR ONE ACCESS

- NOTES
1. REFER TO SHEET 1 GENERAL NOTES FOR GENERAL NOTES, PAVING NOTES, AND A COMPLETE LISTING.
  2. REFER TO LANDSCAPE PLANS FOR LANDSCAPE IMPROVEMENTS AND IRRIGATION CLEARS CROSSING PAVED AREAS.
  3. REFER TO STRUCTURE PLANS FOR ALL BUILDING DETACHED GARAGE, AND JOINTERS INCLUDING FOUNDATION DESIGN AND DETAILS.
  4. THE CONTRACTOR HAS 14 DAYS TO INSTALL THE DRIVEWAY APPROACH AFTER REMOVING THE EXISTING CURB OR PAVE A FACE OF DRIVEWAY FOR EACH DAY IT REMAINS UNINSTALLED.
  5. ALL SANICUTE AND CONCRETE REMOVAL WITHIN 3" OF A JOINT SHALL BE REMOVED AND RECONSTRUCTED TO THE JOINT.

ELECTRIC UTILITY LEGEND	
①	PROPOSED ONE SWITCHGEAR IN 30' PUBLIC UTILITY EASEMENT
②	ONE PRIMARY CONNECTION CABINET
③	ONE TRANSFORMER (DEVELOPER TO INSTALL PAD)
④	ELECTRIC METER
⑤	UNDERGROUND PRIMARY ELECTRIC LINE
⑥	UNDERGROUND ELECTRIC SERVICE LINE

**Manhard CONSULTING**

12000 N. CENTRAL EXPRESSWAY, SUITE 100, DENTON, TEXAS 76201  
TEL: 817.321.1111 FAX: 817.321.1112  
WWW.MANHARDCONSULTING.COM

**LANDMARK RESIDENTIAL**

A1288 A. T. TOBY, TR 13, 5.393 ACRES, CITY OF DENTON, TEXAS

**UTILITY PLAN**

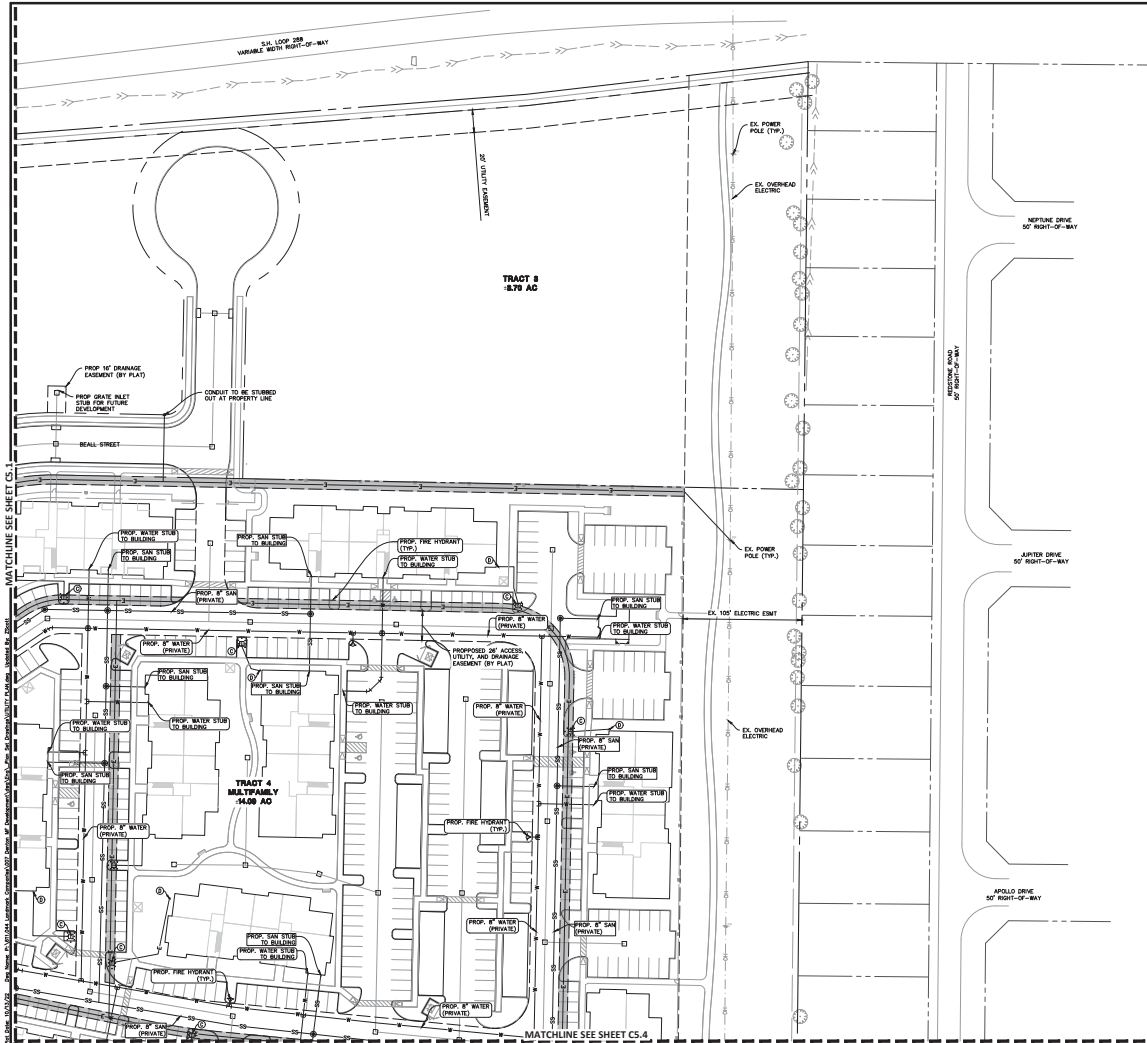
FOR INTERIM REVIEW ONLY  
THIS DOCUMENT IS NOT  
ISSUED FOR CONSTRUCTION  
OR PERMITTING PURPOSES

ISSUED BY: ENGINEER P.E.  
TEKSA P.E. NO. 38534  
ISSUED DATE: 10/13/2022

SHEET  
**C5.1**  
817.044902

PROJECT S21-0006





**UTILITY LEGEND**

- DOUBLE CLEAOUT
- SANITARY MANHOLE
- JUNCTION BOX
- CURB INLET
- GRATE INLET
- ⚡ FIRE HYDRANTS
- ⚡ WATER FITTINGS
- ⚡ GATE VALVES
- ⚡ FDC
- ▭ PUBLIC UTILITY EASEMENT FOR ONE ACCESS

**KEY MAP**

**NOTES**

- REFER TO SHEET 1 GENERAL NOTES FOR GENERAL NOTES, PAVING NOTES, AND A COMPLETE LEGEND.
- REFER TO LANDSCAPE PLANS FOR HARDSCAPE IMPROVEMENTS AND IRRIGATION DETAILS INCLUDING PAVED AREAS.
- REFER TO STRUCTURE PLANS FOR ALL BUILDING, OUTSTANDING GARAGE, AND DRAPERY ENCLOSURE FOUNDATION DETAILS AND DETAILS.
- THE CONTRACTOR HAS 14 DAYS TO INSTALL THE UTILITY APPROACH AFTER REMOVING THE EXISTING CURB OR FACE A FINE OF \$500/DAY FOR EACH DAY IT IS NOT INSTALLED.
- ALL SANITARY AND CONCRETE REMOVAL WITHIN 2" OF A JOINT SHALL BE REMOVED AND RECONSTRUCTED TO THE JOINT.

**ELECTRIC UTILITY LEGEND**

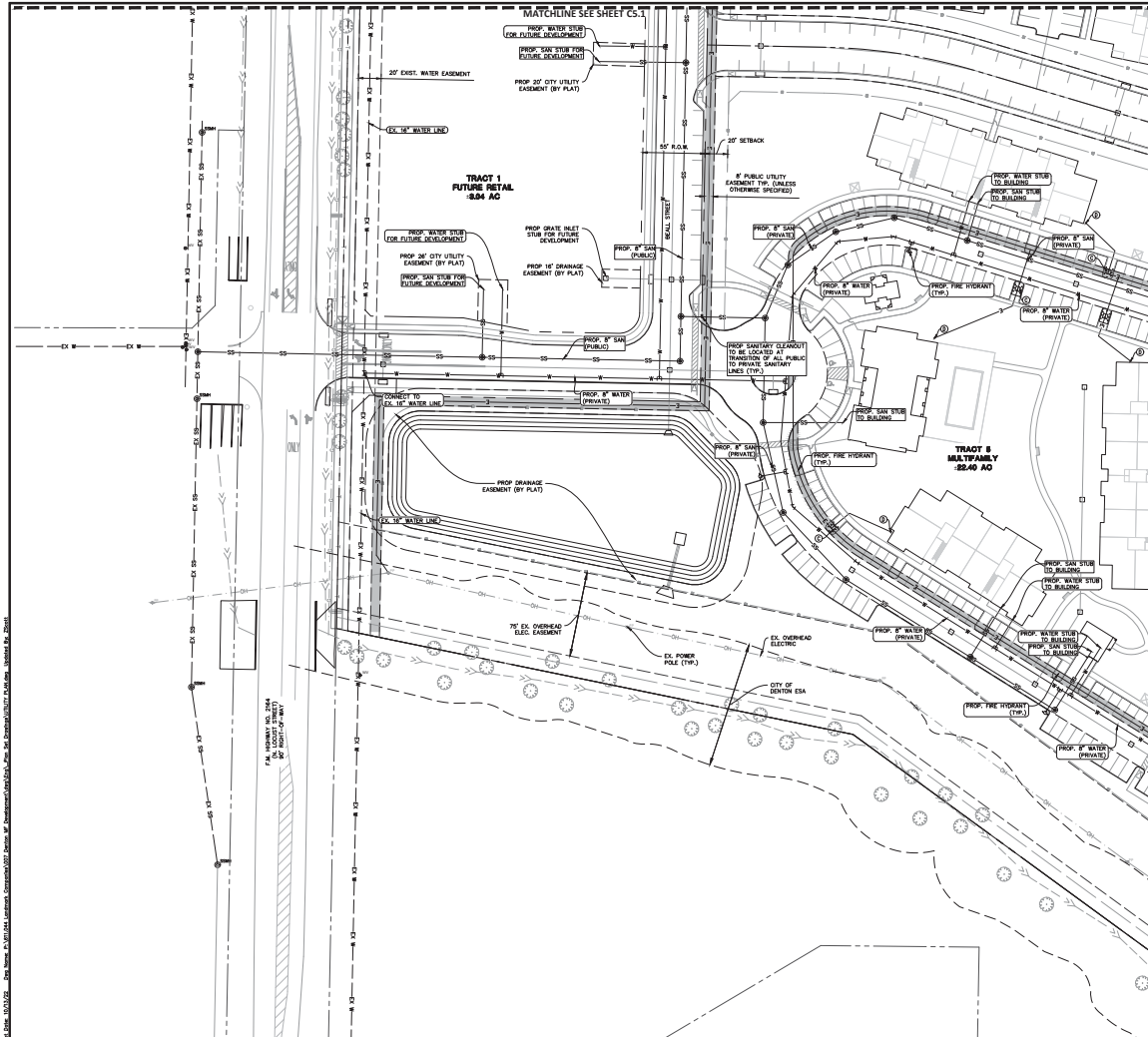
- ① PROPOSED ONE SWITCHGEAR IN 30' PUBLIC UTILITY EASEMENT
- ② ONE PRIMARY CONNECTION CABINET
- ③ ONE TRANSFORMER (DEVELOPER TO INSTALL PAD)
- ④ ELECTRIC METER
- ⑤ UNDERGROUND PRIMARY ELECTRIC LINE
- ⑥ UNDERGROUND ELECTRIC SERVICE LINE

**FOR INTERIM REVIEW ONLY**  
 THIS DOCUMENT IS NOT  
 TO BE USED FOR CONSTRUCTION  
 OR PERMITTING PURPOSES  
 DRAWN BY: J. HENDERSON, P.E.  
 TEXAS P.E. NO. 38334  
 ISSUED: 10/13/2022

**C5.2**

PROJECT 821-0006





**UTILITY LEGEND**

- DOUBLE CLEANOUT
- SANITARY MANHOLE
- JUNCTION BOX
- CURB INLET
- GRATE INLET
- ⋈ FIRE HYDRANTS
- ⋈ WATER FITTINGS
- ⋈ GATE VALVES
- △ FDC
- ▨ PUBLIC UTILITY EASEMENT FOR ONE ACCESS

**NOTES**

- REFER TO SHEET 1 GENERAL NOTES FOR GENERAL NOTES, PAVING NOTES, AND A COMPLETE LEGEND.
- REFER TO LANDSCAPE PLANS FOR Hardscape IMPROVEMENTS AND IRRIGATION LINES CROSSING PAVED AREAS.
- REFER TO STRUCTURE PLANS FOR ALL BUILDING OVERHEAD GARAGE, AND DRAPERS ENCLOSURE FOUNDATION DETAILS.
- THE CONTRACTOR HAS 14 DAYS TO INSTALL THE UTILITY APPROACH AFTER REMOVING THE EXISTING CURB OR FACE A FINE OF \$500/DAY FOR EACH DAY IT IS NOT INSTALLED.
- ALL SANITARY AND CONCRETE REMOVAL WITHIN 2" OF A JOINT SHALL BE REMOVED AND RECONSTRUCTED TO THE JOINT.

**ELECTRIC UTILITY LEGEND**

- ① PROPOSED ONE SWITCHGEAR IN 20' PUBLIC UTILITY EASEMENT
- ② ONE PRIMARY CONNECTION CABINET
- ③ ONE TRANSFORMER (DEVELOPER TO INSTALL PAD)
- ④ ELECTRIC METER
- ⑤ UNDERGROUND PRIMARY ELECTRIC LINE
- ⑥ UNDERGROUND ELECTRIC SERVICE LINE

**KEY MAP**

SCALE: 1"=40'

**Manhard CONSULTING**

1288 A. T. TOBY, TR 13, 53.93 ACRES, CITY OF DENTON, TEXAS

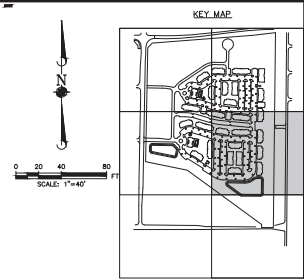
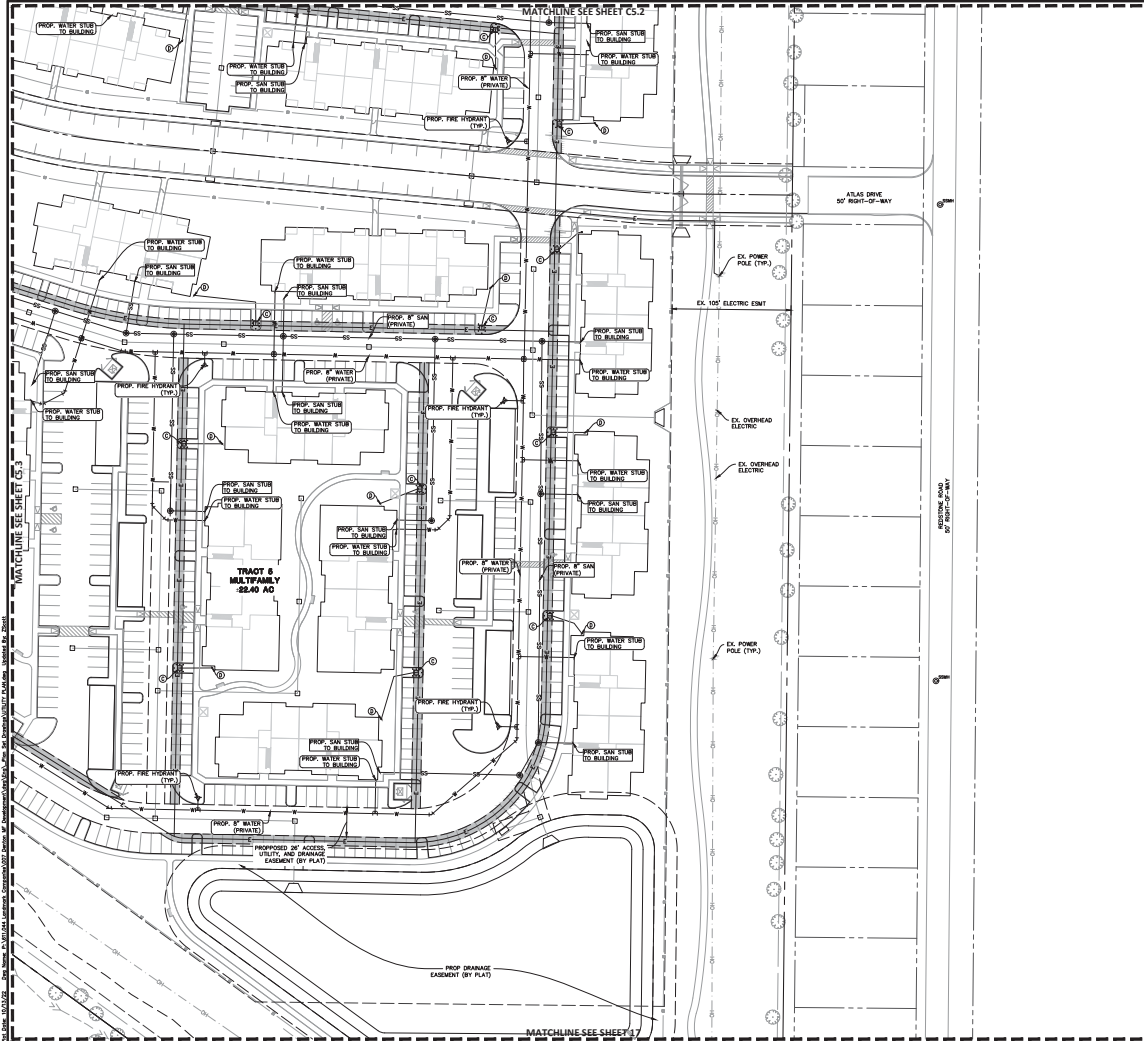
UTILITY PLAN

**FOR INTERIM REVIEW ONLY**  
THIS DOCUMENT IS NOT  
TO BE USED FOR CONSTRUCTION  
OR PERMITTING PURPOSES

ISSUED BY: J. HIGGINS, P.E.  
ISSUED DATE: 10/13/2022

PROJECT: S21-0006

SHEET: **C5.3**



**UTILITY LEGEND**

●	DOUBLE CLEAOUT
○	SANITARY MANHOLE
□	JUNCTION BOX
□	CURB INLET
■	GRATE INLET
+	FIRE HYDRANTS
+	WATER FITTINGS
+	GATE VALVES
+	FDC
■	PUBLIC UTILITY EASEMENT FOR ONE ACCESS

- NOTES**
1. REFER TO SHEET 1 GENERAL NOTES FOR GENERAL NOTES, PAVING NOTES, AND A COMPLETE LEGEND.
  2. REFER TO LANDSCAPE PLANS FOR Hardscape IMPROVEMENTS AND IRRIGATION DETAILS INCLUDING PAVED AREAS.
  3. REFER TO STRUCTURE PLANS FOR ALL BUILDING, OUTSTANDING GARAGE, AND DRAPERY ENCLOSURE FOUNDATION DETAILS AND DETAILS.
  4. THE CONTRACTOR HAS 14 DAYS TO INSTALL THE UTILITY APPROACH AFTER REMOVING THE EXISTING CURB OR PAVE A FINE OF \$500/DAY FOR EACH DAY IT IS NOT INSTALLED.
  5. ALL SANITARY AND CONCRETE REMOVAL WITHIN 2" OF A JOINT SHALL BE REMOVED AND RECONSTRUCTED TO THE JOINT.

**ELECTRIC UTILITY LEGEND**

①	PROPOSED ONE SWITCHGEAR IN 30' PUBLIC UTILITY EASEMENT
②	ONE PRIMARY CONNECTION CABINET
③	ONE TRANSFORMER (DEVELOPER TO INSTALL PAD)
④	ELECTRIC METER
⑤	UNDERGROUND PRIMARY ELECTRIC LINE
⑥	UNDERGROUND ELECTRIC SERVICE LINE

**Manhard Consulting**

12000 N. CENTRAL EXPRESSWAY, SUITE 100  
DALLAS, TEXAS 75243  
TEL: 214.400.1000  
WWW.MANHARDCONSULTING.COM

**LANDMARK RESIDENTIAL**

A1288 A. T. TOBY, TR 13, 53.93 ACRES, CITY OF DENTON, TEXAS

**UTILITY PLAN**

FOR INTERIM REVIEW ONLY  
THIS DOCUMENT IS NOT  
ISSUED FOR CONSTRUCTION  
OR PERMITTING PURPOSES  
ISSUED BY: JUNE 15, 2022  
ISSUED BY: JUNE 15, 2022

**SHEET**

**C5.4**

813-044502

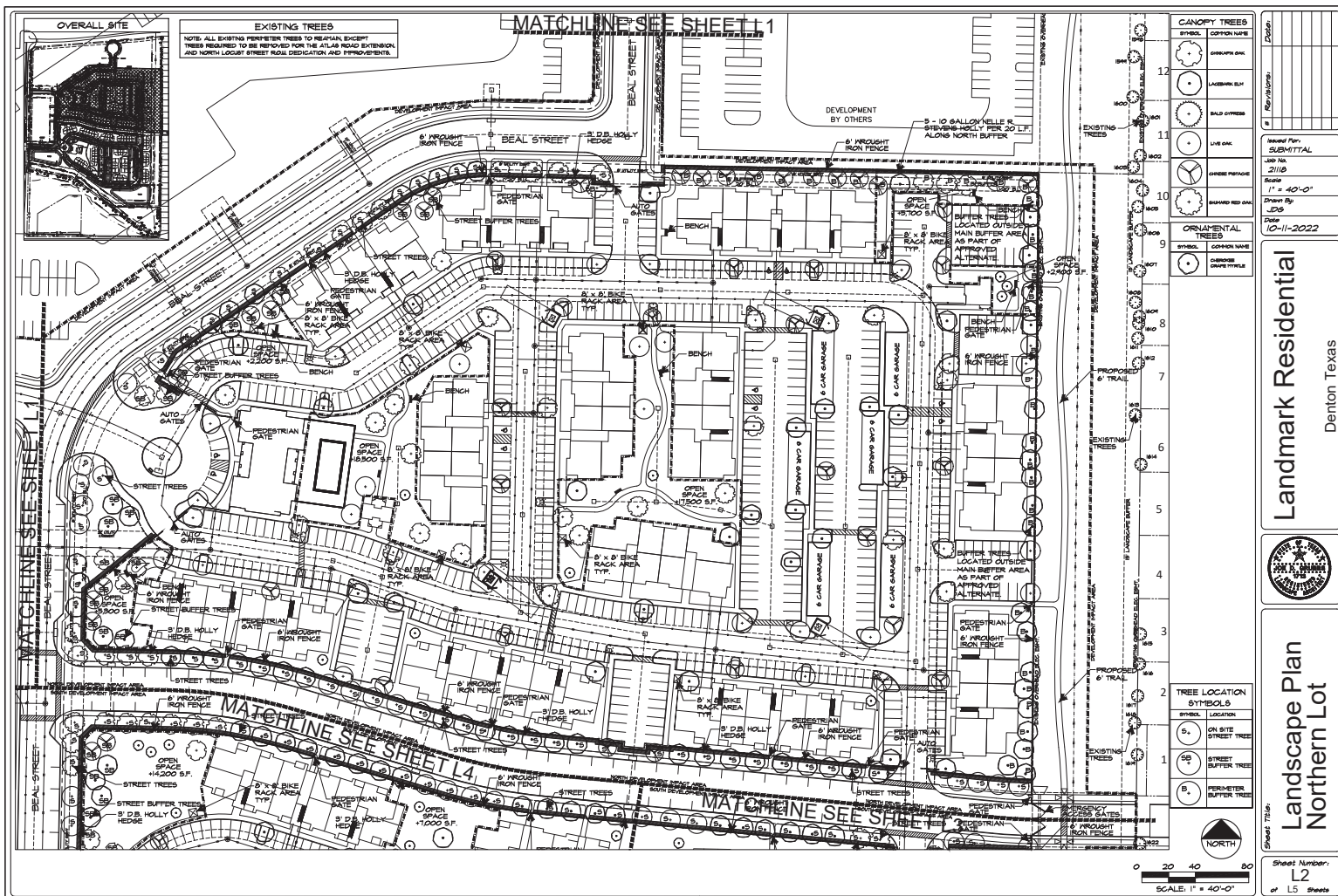
**PROJECT S21-0006**



**Exhibit C**  
**Landscape Plan**

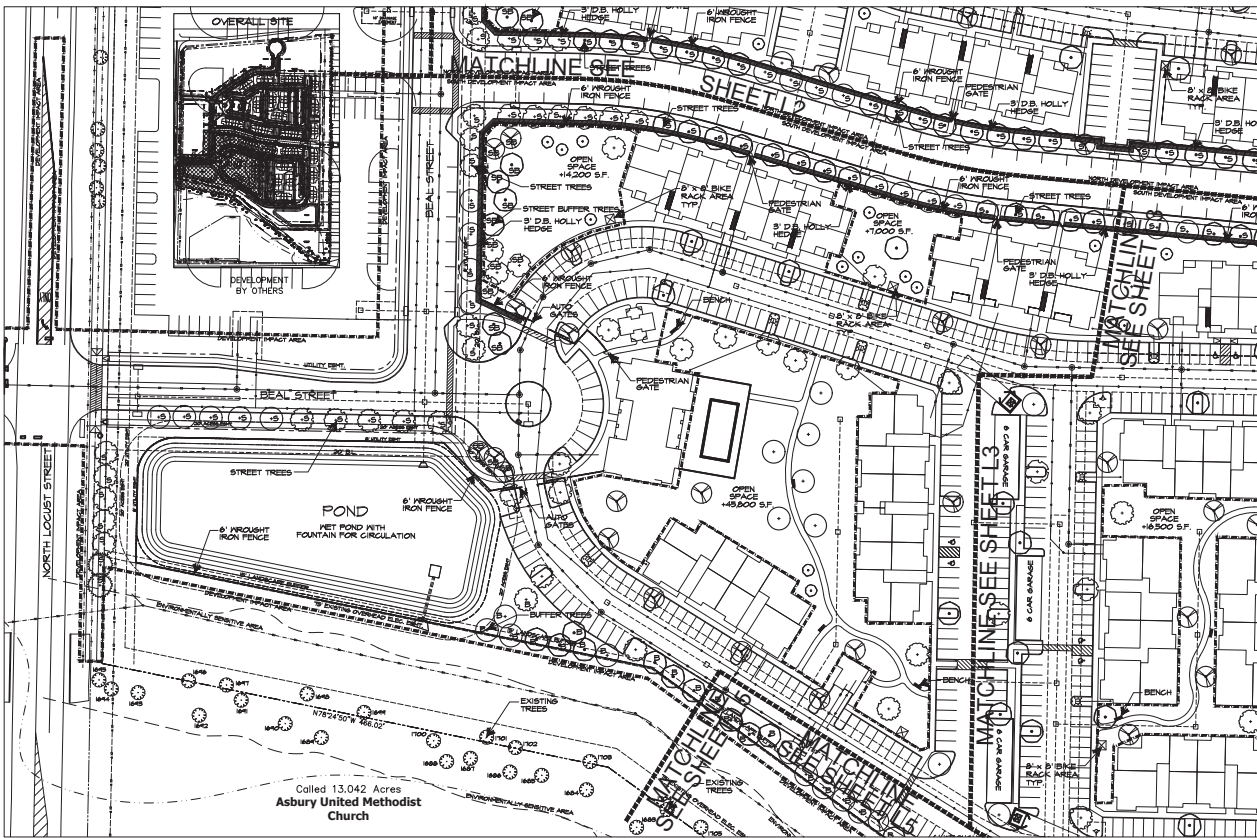




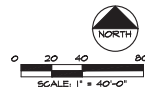




**EXISTING TREES**  
 NOTE: ALL EXISTING PERIMETER TREES TO REMAIN EXCEPT TREES REQUIRED TO BE REMOVED FOR THE ALLAN ROAD EXTENSION AND NORTH LOCUST STREET ROAD DEDICATION AND IMPROVEMENTS.



CANOPY TREES	
SYMBOL	COMMON NAME
	COMMON NAME
	COMMON NAME
	COMMON NAME
	COMMON NAME
	COMMON NAME
	COMMON NAME
	COMMON NAME
	COMMON NAME
	COMMON NAME
	COMMON NAME
ORNAMENTAL TREES	
SYMBOL	COMMON NAME
	COMMON NAME
	COMMON NAME
	COMMON NAME
TREE LOCATION SYMBOLS	
SYMBOL	LOCATION
	ON SITE TREE
	STREET TREE
	BUFFER TREE
	PERIMETER TREE



Date	
Revisions	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

Issued For:  
 SUBMITTAL  
 Job No.:  
 21118  
 Scale:  
 1" = 40'-0"  
 Drawn By:  
 JDS  
 Date:  
 10-11-2022

**Landmark Residential**  
 Denton Texas



**Landscape Plan**  
**Southern Lot**

Sheet Title:  
 Sheet Number:  
 L4  
 of L5 Sheets



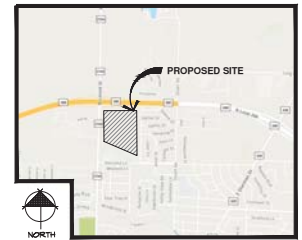


**Exhibit D**  
**Elevations**

# THE APARTMENTS AT DENTON

600 UNIT APARTMENT COMMUNITIES  
LOOP 288 & CR 2164, DENTON TEXAS

## VICINITY MAP



## ISSUE 07-II-22

INDEX	COVER PAGE
A0	ARCH SITE PLAN OVER-ALL
A1	ARCH SITE PLAN NORTH PARCEL
A2	ARCH SITE PLAN SOUTH PARCEL
A3	BLDG I A ELEVATIONS
A4	BLDG I B ELEVATIONS
A5	BLDG I STREET ELEVATIONS
A6	BLDG I STREET ELEVATIONS
A7	BLDG II A ELEVATIONS
A8	BLDG II B ELEVATIONS
A9	BLDG III A ELEVATIONS
A10	BLDG III STREET ELEVATIONS
A11	BLDG III STREET ELEVATIONS
A12	TRASH ENCLOSURE
A13	GARAGE DESIGN

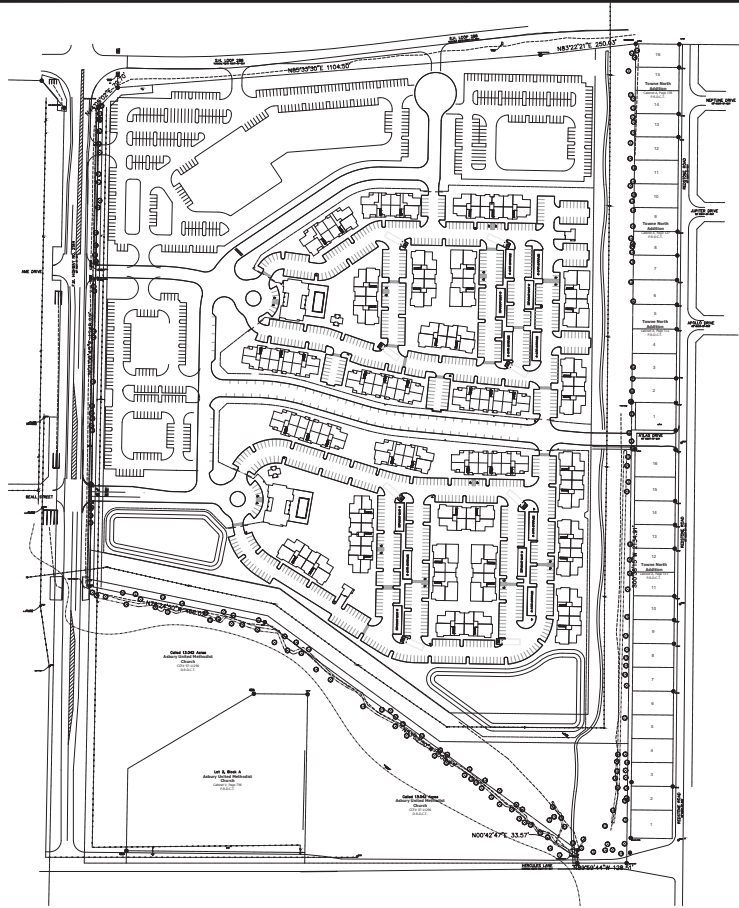


<b>LANDMARK COMPANIES</b> 21500 BISCAYNE BOULEVARD 4TH FLOOR - SUITE 402 AVENTURA, FL 33180 PHONE: 954-455-0336	<b>OWNER</b> CONTACT: DAVID COLDEA
<b>IKEMIRE ARCHITECTS</b> 16660 DALLAS PARKWAY, SUITE 2900 DALLAS, TX 75248 PHONE: 972-248-2486	<b>ARCHITECTS</b> CONTACT: ROSS IKEMIRE
<b>MANHARD CONSULTING</b> 12225 GREENVILLE AVENUE, SUITE 1000, DALLAS, TX 75243 PHONE: 972-972-4255	<b>CIVIL ENGINEERS</b> CONTACT: ARIEL REYES
<b>GRUBBS DESIGN GROOUP</b> 403 S. TENNESSEE ST. MCKINNEY, TX 75069 PHONE: 972-548-5020	<b>LANDSCAPING ARCH.</b> CONTACT: JOE GRUBBS

## CODE INFORMATION

**ZONING AND CONSTRUCTION TYPE**  
ZONING:  
CONSTRUCTION TYPE: VA (NON-RATED) VB (CLUB)  
**OCCUPANCY**  
GROUP R2 - 2 STORY APARTMENT BUILDINGS  
**SPRINKLER TYPE**  
1S R - LOW RISE RESIDENTIAL  
**APPLICABLE CODES - CITY OF DENTON, TEXAS**  
2012 INTERNATIONAL RESIDENTIAL CODE  
(WITH CITY OF CROWLEY AMENDMENTS)  
2012 INTERNATIONAL BUILDING CODE  
(WITH CITY OF CROWLEY AMENDMENTS)  
2012 INTERNATIONAL MECHANICAL CODE  
(WITH CITY OF CROWLEY AMENDMENTS)  
2011 NATIONAL ELECTRIC CODE  
(WITH CITY OF CROWLEY AMENDMENTS)  
2012 INTERNATIONAL FUEL GAS CODE  
(WITH CITY OF CROWLEY AMENDMENTS)  
2015 INTERNATIONAL ENERGY CONSERVATION CODE  
(WITH CITY OF CROWLEY AMENDMENTS)  
2015 NAECA  
2012 TAS (TEXAS ACCESSIBILITY STANDARDS)  
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN  
ICC/A117.1-2009  
FAIR HOUSING ACT 1998

NOTE: ARCHITECTURAL SITE PLAN FOR  
REF ONLY. REFER TO SITE PLAN PREPARED  
BY MANHARD CONSULTING



01- ARCHITECTURAL SITE PLAN OVER-ALL

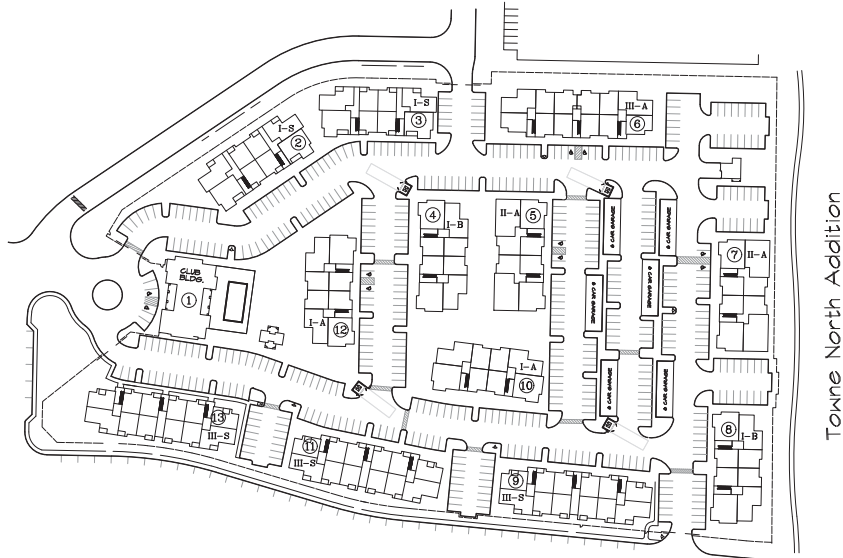
SCALE: NTS

DATE 07-11-22  
Reg Line  
NAME  
REVISIONS  
600 UNIT MULTI-FAMILY APARTMENTS  
& ADJACENT COMMERCIAL  
LOOP 288 & CR 264 DENTON TEXAS DEVELOPER - LANDMARK CO.

IKEMIRE ARCHITECTS LLC  
ARCHITECTURE • PLANNING • INTERIORS  
16860 DALLAS PARKWAY SUITE 2800 DALLAS, TEXAS 75248  
872.224.2486  
WWW.IKEMIREARCHITECTS.COM  
FAX 872.224.1257

A1

JOB# 220060

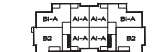


NOTE: ARCHITECTURAL SITE PLAN FOR REF ONLY. REFER TO SITE PLAN PREPARED BY MANHARD CONSULTING



01- ARCHITECTURAL SITE PLAN NORTH PROPERTY  
SCALE: 1"=60'-0"

SITE PROGRAM - DENTON NORTH APTS				
APPROXIMATE DATA				
UNIT TYPE	UNIT DESCRIPTION	NO. OF UNITS	UNIT SQ. FT.	TOTAL SQ. FT.
A1-A	11 BEDROOM / 7 BATH	55	105	5775
A2-B	11 BEDROOM / 7 BATH	5	407	2035
A2-C	11 BEDROOM / 7 BATH	5	407	2035
A2-D	11 BEDROOM / 7 BATH	5	407	2035
A2-E	11 BEDROOM / 7 BATH	5	407	2035
A2-F	11 BEDROOM / 7 BATH	5	407	2035
B1-A	2 BEDROOM / 2 BATH	52	104	5408
B1-B	2 BEDROOM / 2 BATH	5	104	520
B1-C	2 BEDROOM / 2 BATH	5	104	520
B1-D	2 BEDROOM / 2 BATH	5	104	520
B1-E	2 BEDROOM / 2 BATH	5	104	520
B1-F	2 BEDROOM / 2 BATH	5	104	520
C1	3 BEDROOM / 3 BATH	12	104	1248
TOTAL APT UNITS			208	20800
AUG. 07 PER APT			48	
HIGHLIGHT BUILDINGS				
CLUB BUILDING AND LOUNGE			4000 SQ. FT.	
HALLWAYS			800 SQ. FT.	
MAIL			800 SQ. FT.	
TOTAL BUILDING AREA			7900	
TOTAL BUILDING AREA			7900	
PARKING REQUIREMENTS				
MINIMUM PARKING REQUIRED			881 SPACES	
MINIMUM PARKING REQUIRED			881 SPACES	
MINIMUM PARKING REQUIRED			881 SPACES	
TOTAL PARKING REQUIRED			881 SPACES	



4 - BLDG. TYPE I-A-B @ 24 UNITS EA.  
5 - STORY  
6,446 SQ. FT. FOOTPRINT  
22,782 SQ. FT. LIVING



2 - BLDG. TYPE I-S @ 24 UNITS EA.  
5 - STORY  
2,546 SQ. FT. FOOTPRINT  
25,460 SQ. FT. LIVING



2 - BLDG. TYPE I-A @ 24 UNITS EA.  
5 - STORY  
4,580 SQ. FT. FOOTPRINT  
25,460 SQ. FT. LIVING



1 - BLDG. TYPE IIA-A @ 56 UNITS EA.  
5 - STORY  
1,235 SQ. FT. FOOTPRINT  
24,847 SQ. FT. LIVING



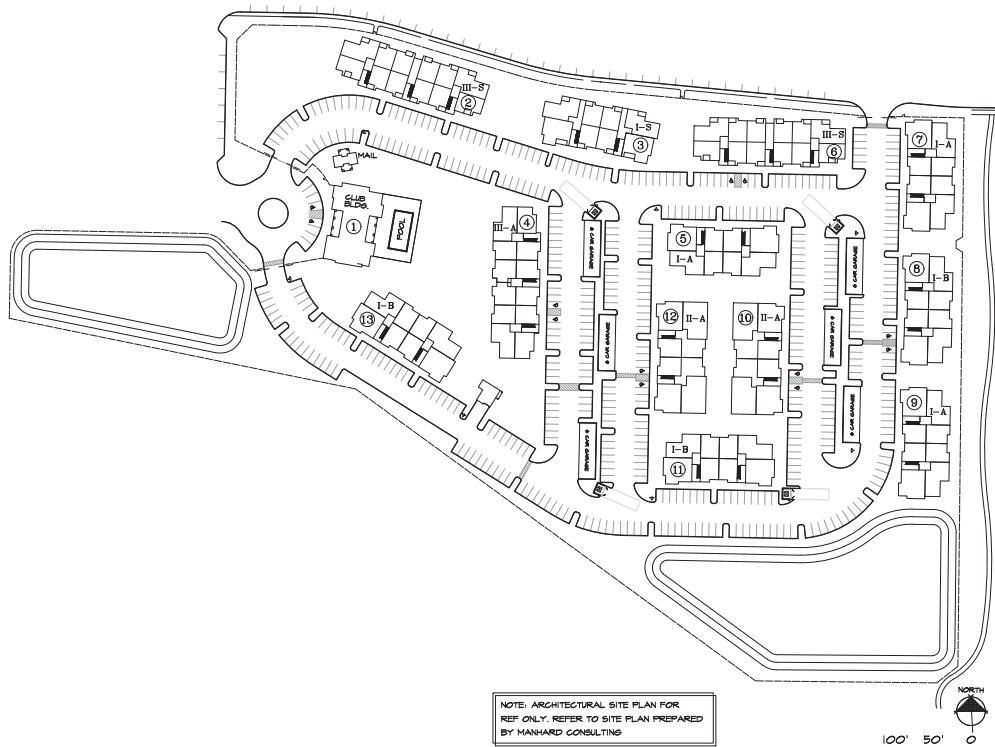
5 - BLDG. TYPE IIA-S @ 56 UNITS EA.  
5 - STORY  
1,235 SQ. FT. FOOTPRINT  
24,847 SQ. FT. LIVING

6 GARAGES  
6 - 6 CAR GARAGES

DATE: 07-11-22  
Red Line  
NAME: [REDACTED]  
REVISIONS:  
108 UNIT MULTI-FAMILY APARTMENTS  
& ADJACENT COMMERCIAL  
LOOP 289 & CR 264 DENTON, TEXAS DEVELOPER - LANDMARK CO.

IKEMIRE ARCHITECTS LLC  
ARCHITECTURE • PLANNING • INTERIORS  
1000 DALLAS STREET, SUITE 2800 DALLAS, TEXAS 75245  
www.ikemirearchitects.com FAX: 972.245.1557

A2  
JOB# 220060



NOTE: ARCHITECTURAL SITE PLAN FOR  
REF ONLY. REFER TO SITE PLAN PREPARED  
BY MANHARD CONSULTING

NOTE: ARCHITECTURAL SITE PLAN FOR  
REF ONLY. REFER TO SITE PLAN PREPARED  
BY MANHARD CONSULTING

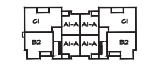
SITE PROGRAM - DENTON SOUTH APTS				
APPROXIMATE DATA				
UNIT TYPE	UNIT DESCRIPTION	NO. OF UNITS	UNIT SQ. FT.	TOTAL SQ. FT.
A-1	1 BR/1 BATH / 1 BALCONY	10	100	1000
A-2	1 BR/1 BATH / 1 BALCONY	10	100	1000
A-3	1 BR/1 BATH / 1 BALCONY	10	100	1000
A-4	1 BR/1 BATH / 1 BALCONY	10	100	1000
A-5	1 BR/1 BATH / 1 BALCONY	10	100	1000
A-6	1 BR/1 BATH / 1 BALCONY	10	100	1000
A-7	1 BR/1 BATH / 1 BALCONY	10	100	1000
A-8	1 BR/1 BATH / 1 BALCONY	10	100	1000
A-9	1 BR/1 BATH / 1 BALCONY	10	100	1000
A-10	1 BR/1 BATH / 1 BALCONY	10	100	1000
B-1	2 BR/2 BATH / 2 BALCONY	10	150	1500
B-2	2 BR/2 BATH / 2 BALCONY	10	150	1500
B-3	2 BR/2 BATH / 2 BALCONY	10	150	1500
B-4	2 BR/2 BATH / 2 BALCONY	10	150	1500
B-5	2 BR/2 BATH / 2 BALCONY	10	150	1500
B-6	2 BR/2 BATH / 2 BALCONY	10	150	1500
B-7	2 BR/2 BATH / 2 BALCONY	10	150	1500
B-8	2 BR/2 BATH / 2 BALCONY	10	150	1500
B-9	2 BR/2 BATH / 2 BALCONY	10	150	1500
B-10	2 BR/2 BATH / 2 BALCONY	10	150	1500
C-1	3 BR/3 BATH / 3 BALCONY	10	200	2000
C-2	3 BR/3 BATH / 3 BALCONY	10	200	2000
C-3	3 BR/3 BATH / 3 BALCONY	10	200	2000
C-4	3 BR/3 BATH / 3 BALCONY	10	200	2000
C-5	3 BR/3 BATH / 3 BALCONY	10	200	2000
C-6	3 BR/3 BATH / 3 BALCONY	10	200	2000
C-7	3 BR/3 BATH / 3 BALCONY	10	200	2000
C-8	3 BR/3 BATH / 3 BALCONY	10	200	2000
C-9	3 BR/3 BATH / 3 BALCONY	10	200	2000
C-10	3 BR/3 BATH / 3 BALCONY	10	200	2000
TOTAL UNIT COUNT		100		10000
GROSS SQ. FT. PER UNIT		100		



6 - BLDG. TYPE I-A-B @ 24 UNITS EA.  
5 - STORY  
6,486 SQ. FT. FOOTPRINT  
22,782 SQ. FT. LIVING



1 - BLDG. TYPE I-G @ 24 UNITS EA.  
5 - STORY  
6,486 SQ. FT. FOOTPRINT  
22,782 SQ. FT. LIVING



2 - BLDG. TYPE II @ 24 UNITS EA.  
5 - STORY  
4,580 SQ. FT. FOOTPRINT  
25,252 SQ. FT. LIVING



1 - BLDG. TYPE III-A @ 56 UNITS EA.  
5 - STORY  
1,235 SQ. FT. FOOTPRINT  
24,818 SQ. FT. LIVING



2 - BLDG. TYPE III-G @ 56 UNITS EA.  
5 - STORY  
1,235 SQ. FT. FOOTPRINT  
24,818 SQ. FT. LIVING

6 GARAGES  
6 - 6 CAR GARAGES

Towne North Addition

01- ARCHITECTURAL SITE PLAN SOUTH PROPERTY  
SCALE: 1"=60'-0"

DATE: 07-10-22  
Red Line  
NAME:  
REVISIONS:  
108 UNIT MULTI-FAMILY APARTMENTS  
& ADJACENT COMMERCIAL  
LOOP 289 & CR 284 DENTON, TEXAS DEVELOPER - LANDMARK CO.

IKEMIRE ARCHITECTS LLC  
ARCHITECTURE • PLANNING • INTERIORS  
1000 DALLAS, TEXAS 75245  
PHONE: 214.245.1555 FAX: 214.245.1557  
www.ikemirearchitects.com



01 - FRONT ELEVATION - BUILDING TYPE I-A

SCALE: 1/8" = 1'-0"



03 - LEFT ELEVATION - BUILDING TYPE I-A

SCALE: 1/8" = 1'-0"

STACKING KEY  
FINE SPREADER  
FOR REFER SITE PLAN A2  
REF. A.204  
FOR DETAIL



02 - RIGHT ELEVATION - BUILDING TYPE I-A

SCALE: 1/8" = 1'-0"

FINE SPREADER  
FOR REFER SITE PLAN A2  
REF. A.204  
FOR DETAIL

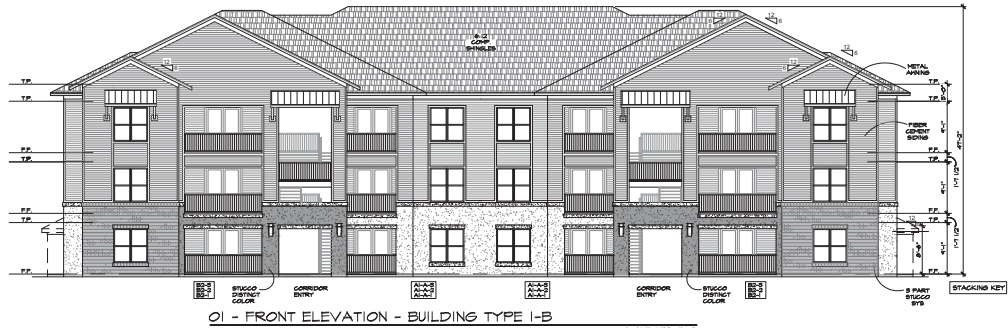


04 - REAR ELEVATION - BUILDING TYPE I-A

SCALE: 1/8" = 1'-0"

STACKING KEY





01 - FRONT ELEVATION - BUILDING TYPE I-B

SCALE: 1/8" = 1'-0"



03 - RIGHT ELEVATION - BUILDING TYPE I-B

SCALE: 1/8" = 1'-0"

STACKING KEY  
FINE SPRAWLER  
FOR REFER SITE PLAN A2  
FOR LOCATION  
REF. A.304  
FOR DETAIL



02 - RIGHT ELEVATION - BUILDING TYPE I-B

SCALE: 1/8" = 1'-0"

FINE SPRAWLER  
FOR REFER SITE PLAN A2  
FOR LOCATION  
REF. A.304  
FOR DETAIL



04 - REAR ELEVATION - BUILDING TYPE I-B

SCALE: 1/8" = 1'-0"

STACKING KEY

DATE: 07-1-22  
Red Line  
NAME  
REVISIONS  
600 UNIT MULTI-FAMILY APARTMENTS  
& ADJACENT COMMERCIAL  
LOOP 289 & CR 264 DENTON, TEXAS DEVELOPER - LANDMARK CO.

IKEMIRE ARCHITECTS LLC  
ARCHITECTURE • PLANNING • INTERIORS  
SUITE 2800 DALLAS, TEXAS 75245  
www.ikemirearchitects.com  
TEL: 214.245.1557  
FAX: 214.245.1557

A5

JOB# 220060



01 - FRONT ELEVATION - BUILDING TYPE I-S

SCALE: 1/8" = 1'-0"



03 - LEFT ELEVATION - BUILDING TYPE I-S

SCALE: 1/8" = 1'-0"

FIRE SPROUCLER  
REF. REFER SITE PLAN A2  
FOR LOCATION  
REF. A SIGN  
FOR DETAIL



02 - RIGHT ELEVATION - BUILDING TYPE I-S

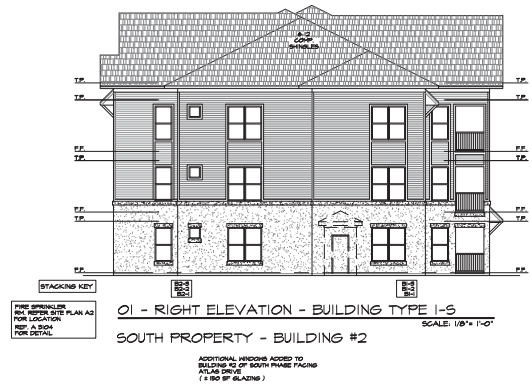
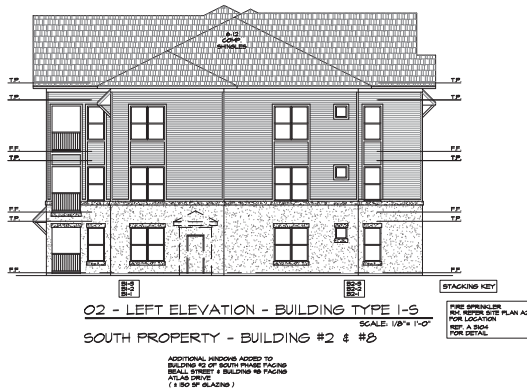
SCALE: 1/8" = 1'-0"

FIRE SPROUCLER  
REF. REFER SITE PLAN A2  
FOR LOCATION  
REF. A SIGN  
FOR DETAIL



04 - REAR ELEVATION - BUILDING TYPE I-S

SCALE: 1/8" = 1'-0"





01 - FRONT ELEVATION - BUILDING TYPE II-A

SCALE: 1/8" = 1'-0"



03 - RIGHT ELEVATION - BUILDING TYPE II-A

SCALE: 1/8" = 1'-0"

STACKING KEY

SEE SPECIFICATIONS FOR REFER SITE PLAN A2 FOR LOCATION  
REF. A.504 FOR DETAIL



02 - RIGHT ELEVATION - BUILDING TYPE II-A

SCALE: 1/8" = 1'-0"

STACKING KEY

SEE SPECIFICATIONS FOR REFER SITE PLAN A2 FOR LOCATION  
REF. A.504 FOR DETAIL



04 - REAR ELEVATION - BUILDING TYPE II-A

SCALE: 1/8" = 1'-0"

STACKING KEY

DATE: 07-1-22  
Red Line  
NAME  
REVISIONS  
600 UNIT MULTI-FAMILY APARTMENTS  
& ADJACENT COMMERCIAL  
LOOP 289 & CR 264 DENTON, TEXAS DEVELOPER - LANDMARK CO.

IKEMIRE ARCHITECTS LLC  
ARCHITECTURE • PLANNING • INTERIORS  
10000 DALLAS PARKWAY, SUITE 2800 DALLAS, TEXAS 75243  
www.ikemirearchitects.com FAX 972.246.1857

A8

JOB# 220060



01 - FRONT ELEVATION - BUILDING TYPE III-A

SCALE: 1/8" = 1'-0"



03 - RIGHT ELEVATION - BUILDING TYPE III-A

SCALE: 1/8" = 1'-0"

SEE SPECIFICATIONS FOR UPPER SITE PLAN A2 FOR LOCATION  
REF. A 204 FOR DETAIL



02 - RIGHT ELEVATION - BUILDING TYPE III-A

SCALE: 1/8" = 1'-0"

SEE SPECIFICATIONS FOR UPPER SITE PLAN A2 FOR LOCATION  
REF. A 204 FOR DETAIL



04 - REAR ELEVATION - BUILDING TYPE III-A

SCALE: 1/8" = 1'-0"

DATE 07-11-23  
Rev Line  
NAME  
REVISIONS  
600 UNIT MULTI-FAMILY APARTMENTS  
& ADJACENT COMMERCIAL  
LOOP 280 & CR 264 DENTON, TEXAS DEVELOPER - LANDMARK CO.

IKEMIRE ARCHITECTS LLC  
ARCHITECTURE • PLANNING • INTERIORS  
18860 DALLAS PARKWAY SUITE 2800 DALLAS, TEXAS 75248  
972.248.2486  
www.ikemirearchitects.com  
972.248.2597

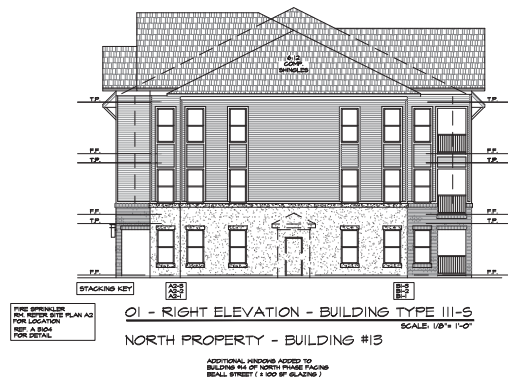
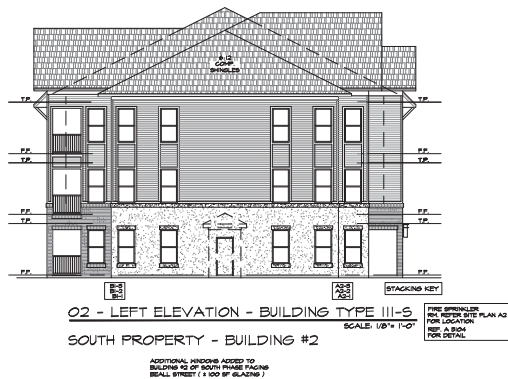
A9

JOB# 220060







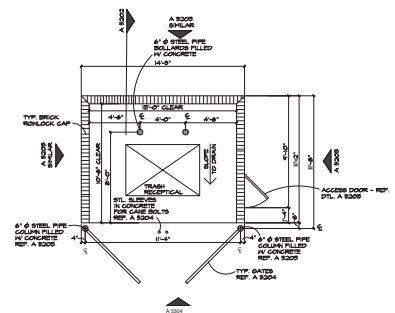
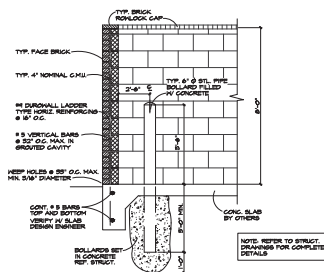
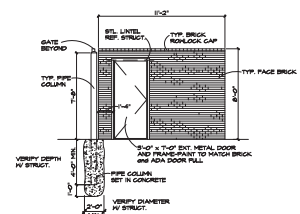
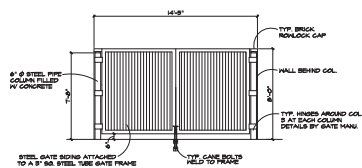


DATE 07-1-22  
Red Line  
NAME  
REVISIONS

600 UNIT MULTI-FAMILY APARTMENTS  
& ADJACENT COMMERCIAL  
LOOP 289 & CR 284 DENTON, TEXAS DEVELOPER - LANDMARK CO.

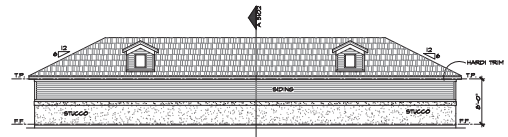
IKEMIRE ARCHITECTS LLC  
ARCHITECTURE • PLANNING • INTERIORS  
10000 DALLAS PARKWAY, SUITE 2800 DALLAS, TEXAS 75243  
TEL: 214.246.1859 FAX: 214.246.1857  
www.ikemirearchitects.com

A11  
JOB# 220060



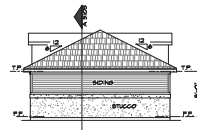
### DUMPSTER ENCLOSURE DETAILS

	BRICK VENEER
	HARD-PLANK FIBER CEMENT SIDING OR EQUAL
	COMPOSITION SHINGLES 30 YEAR



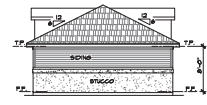
06- REAR ELEVATION - GARAGE 6

SCALE: 1/8" = 1'-0"



05- LEFT - GARAGE

SCALE: 1/8" = 1'-0"



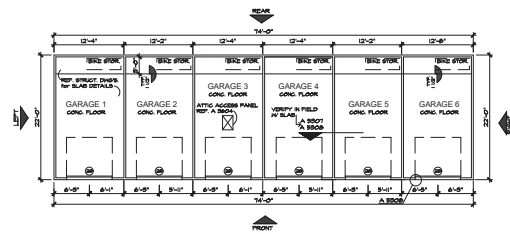
04- RIGHT - GARAGE

SCALE: 1/8" = 1'-0"



03- FRONT ELEVATION - GARAGE 6

SCALE: 1/8" = 1'-0"



01- FLOOR PLAN - GARAGE 6

1,900 S.F.

REF. TO SHEET A21 FOR DOOR SCHEDULE

SCALE: 1/8" = 1'-0"

TYPE V-B 1 HOUR CONST.

DATE: 07-1-22  
Red Line  
NAME  
REVISIONS  
600 UNIT MULTI-FAMILY APARTMENTS  
& ADJACENT COMMERCIAL  
LOOP 289 & CR 264 DENTON, TEXAS  
DEVELOPER - LANDMARK CO.

IKEMIRE ARCHITECTS LLC  
ARCHITECTURE • PLANNING • INTERIORS  
10000 DALLAS PARKWAY, SUITE 2800 DALLAS, TEXAS 75243  
TEL: 214.248.1857 FAX: 214.248.1857  
www.ikemirearchitects.com

A13

JOB# 220060