



City of Denton

City Hall
215 E. McKinney St.
Denton, Texas 76201
www.cityofdenton.com

Meeting Agenda

Downtown Economic Development Committee

Thursday, April 2, 2026

8:30 AM

Development Service Center

After determining that a quorum is present, the Downtown Economic Development Committee of the City of Denton, Texas, will convene in a Regular Meeting on Thursday, April 2, 2026, at 8:30 a.m. in the Development Service Center Training Rooms 1 and 2 at 401 N. Elm Street, Denton, Texas at which the following items will be considered:

1. PRESENTATIONS FROM MEMBERS OF THE PUBLIC

Citizens may complete one Request to Speak "Public Comment" card per night for the "Presentations from Members of the Public" portion of the meeting and submit it to City Staff. Presentations from Members of the Public time is reserved for citizen comments regarding item not listed on the agenda. No official action can be taken on these items. Presentation from Members of the Public is limited to five speakers per meeting with each speaker allowed a maximum of three (3) minutes.

2. ITEMS FOR CONSIDERATION

- A. [DEDC26-007](#) Consider approval of the Special Called meeting minutes for February 19, 2026.

Attachments: [February 19, 2026 DEDC Special Called Minutes](#)

- B. [DEDC26-008](#) Receive a report, hold a discussion, and make a recommendation to the Tax Increment Reinvestment Zone Number One Board regarding a Downtown Reinvestment Grant Program application for 112 W Oak St., Suite 200, d20 Keep.

Attachments: [Exhibit 1 - Agenda Information Sheet](#)

[Exhibit 2 - Grant Application](#)

[Exhibit 3 - Presentation](#)

3. WORK SESSION

- A. [DEDC26-010](#) Staff Reports:
1. Denton Main Street Report - Kristen Pulido
 2. Future Agenda Items - Brittany Sotelo

Attachments: [Exhibit 1 - Agenda Information Sheet](#)

[Exhibit 2 - Main Street Program Update Presentation](#)

[Exhibit 3 - Future Agenda Items](#)

4. CONCLUDING ITEMS

A. Under Section 551.042 of the Texas Open Meetings Act, respond to inquiries from the Downtown Economic Development Committee or the public with specific factual information or recitation of policy, or accept a proposal to place the matter on the agenda for an upcoming meeting AND Under Section 551.0415 of the Texas Open Meetings Act, provide reports about items of community interest regarding which no action will be taken, to include: expressions of thanks, congratulations, or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee, or other citizen; a reminder about an upcoming event organized or sponsored by the governing body; information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the governing body that was attended or is scheduled to be attended by a member of the governing body or an official or employee of the municipality; or an announcement involving an imminent threat to the public health and safety of people in the municipality that has arisen after the posting of the agenda.

NOTE: The Downtown Economic Development Committee reserves the right to adjourn into a Closed Meeting on any item on its open meeting agenda consistent with Chapter 551 of the Texas Government Code, as amended, or as otherwise allowed by law.

CERTIFICATE

I certify that the above notice of meeting was posted on the official website (<https://tx-denton.civicplus.com/242/Public-Meetings-Agendas>) and bulletin board at City Hall, 215 E. McKinney Street, Denton, Texas, on Thursday, March 26, 2026, in advance of the three (3) business day posting deadline, as applicable, and in accordance with Chapter 551 of the Texas Government Code.

OFFICE OF THE CITY SECRETARY

NOTE: THE CITY OF DENTON'S DESIGNATED PUBLIC MEETING FACILITIES ARE ACCESSIBLE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. THE CITY WILL PROVIDE ACCOMMODATION, SUCH AS SIGN LANGUAGE INTERPRETERS FOR THE HEARING IMPAIRED, IF REQUESTED AT LEAST TWO (2) BUSINESS DAYS IN ADVANCE OF THE SCHEDULED MEETING. PLEASE CALL THE CITY SECRETARY'S OFFICE AT 940-349-8309 OR USE TELECOMMUNICATIONS DEVICES FOR THE DEAF (TDD) BY CALLING 1-800-RELAY-TX SO THAT REASONABLE ACCOMMODATION CAN BE ARRANGED.

**MINUTES
CITY OF DENTON
DOWNTOWN ECONOMIC DEVELOPMENT COMMITTEE
SPECIAL CALLED MEETING
February 19, 2025**

After determining that a quorum was present, the Downtown Economic Development Committee convened for a Special Called Meeting on Thursday, February 19, 2025, at 8:33 a.m., in the Development Service Center, Training Rooms 1 and 2, 401 N. Elm Street, Denton, Texas, 76201. In the absence of Chair Woolfolk, Vice-Chair Kendrick-Bigley was acting Chair.

PRESENT: Jason Bodor, Hank Dickenson, Jill Herbst, Kristen Kendrick-Bigley (Vice-Chair), Melissa Lenaburg, Rina Maloney, Brock McKnight, Nick Miller, Krissi Oden, and Clyde Rick Woolfolk (Chair)

ABSENT: Bob Moses

STAFF PRESENT: Scott Bray, Vanessa Esparza, Clay Parker, Kristen Pulido, and Matilda Weeden

1. PRESENTATIONS FROM MEMBERS OF THE PUBLIC

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No presentations from members of the public.

2. ITEMS FOR CONSIDERATION

A. DEDC26-001 Consider approval of the minutes of the December 4, 2025 Downtown Economic Development Committee Regular Meeting.

Miller made a motion to approve the meeting minutes for December 4, 2025. Dickenson seconded the motion. Motion carried (9-0-1).

AYES (9): Bodor, Dickenson, Herbst, Kendrick-Bigley, Lenaburg, Maloney, McKnight, Miller, and Oden
NAYS (0): None
ABSENT (1): Woolfolk

B. DEDC26-002 Receive a report, hold a discussion, and make a recommendation to the Tax Increment Reinvestment Zone Number One Board regarding a Downtown Reinvestment Grant Program application for 520 S. Elm St, Brakefield's Pool Service, LLC.

Application received a score of 27 qualifying the applicant for a maximum amount of \$10,000 of TIRZ 1 funds.

Miller made a motion to approve making a recommendation to the Tax Increment Reinvestment Zone Number One Board regarding a Downtown Reinvestment Grant Program application for 520 S. Elm St, Brakefield's Pool Service, LLC for a maximum of \$10,000. Dickenson seconded the motion. Motion carried (9-0-1).

AYES (9): Bodor, Dickenson, Herbst, Kendrick-Bigley, Lenaburg, Maloney, McKnight, Miller, and Oden

NAYS (0): None

ABSENT (1): Woolfolk

Woolfolk joined at 8:43 a.m.

C. DEDC26-003 Receive a report, hold a discussion, and make a recommendation to the Tax Increment Reinvestment Zone Number One Board regarding a Downtown Reinvestment Grant Program application for 122 N. Locust St., Mister Red, LLC.

Application received a score of 32 qualifying the applicant for a maximum amount of \$50,000 of TIRZ 1 funds.

Bodor made a motion to approve making a recommendation to the Tax Increment Reinvestment Zone Number One (TIRZ 1) Board regarding a Downtown Reinvestment Grant Program application for 122 N. Locust St., Mister Red, LLC for a maximum of \$50,000. Kendrick-Bigley seconded the motion. Motion carried (10-0).

AYES (10): Bodor, Dickenson, Herbst, Kendrick-Bigley, Lenaburg, Maloney, McKnight, Miller, Oden, and Woolfolk

NAYS (0): None

D. DEDC26-004 Receive a report, hold a discussion, and make a recommendation to the Tax Increment Reinvestment Zone Number One Board regarding a Downtown Reinvestment Grant Program application for 325 W. McKinney Street.

Application received a score of 31 qualifying the applicant for a maximum amount of \$50,000 of TIRZ 1 funds.

Miller made a motion to approve making a recommendation to the Tax Increment Reinvestment Zone Number One Board regarding a Downtown Reinvestment Grant Program Fire Suppression application regarding a Downtown Reinvestment Grant Program application for 325 W. McKinney Street for a maximum of \$50,000. Dickenson seconded the motion. Motion carried (10-0).

AYES (10): Bodor, Dickenson, Herbst, Kendrick-Bigley, Lenaburg, Maloney, McKnight, Miller, Oden, and Woolfolk

NAYS (0): None

3. WORK SESSION

A. DEDC26-005 Receive a report and hold a discussion regarding amending the Tax Increment Reinvestment Zone Number One Creation Ordinance and the Project and Financing Plan.

Kristen Pulido presented item and discussion followed. No action was taken.

McKnight left at 9:22 a.m.

B. DEDC26-006 Staff Reports:

1. Future Agenda Items – Kristen Pulido

Kristen Pulido presented the item and discussion followed. No action was taken.

4. CONCLUDING ITEMS

With no further business, the meeting adjourned at 9:31 a.m.

Clyde Rick Woolfolk, Chair
Downtown Economic Development Committee

Vanessa Esparza
Administrative Assistant

Minutes Approved On: _____



City of Denton

City Hall
215 E. McKinney Street
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AGENDA INFORMATION SHEET

DEPARTMENT: Economic Development

ACM: Christine Taylor

DATE: April 2, 2026

SUBJECT

Receive a report, hold a discussion, and make a recommendation to the Tax Increment Reinvestment Zone Number One Board regarding a Downtown Reinvestment Grant Program application for 112 W Oak St., Suite 200, d20 Keep.

BACKGROUND

D20 was established in 2022 by founder Mark Michnevitz as a craft beer and boardgame venue, featuring 20 local craft beers on tap and a library of more than 400 tabletop games.

Project

After more than four years of successful operations, d20 plans to expand into the building's second floor. The new space, branded as "d20 Keep," will offer a similar experience to d20 Tavern. The expansion will convert a former photography studio into an additional 1,760 square feet of bar and gaming space, accommodating 29 more occupants. The project includes adding a bar and restrooms, as well as completing interior restoration.

Projected Improvements include: Utility Upgrades and Interior/Code Improvements

Project Submitted Expenses: \$46,062

Grant Request: \$23,031

Applicable Policy Limits:

- *Utility Upgrades:*
 - Definition: Upgrades to water, wastewater and electrical service, includes interior upgrades as well as exterior service upgrades.
 - Utility Upgrade grants are limited to a 50% match with a cap of \$50,000 per grant.
- *Interior/Code Improvements: d20*
 - Definition: Asbestos and mold abatement, fire suppression systems and improvements made as required by or in accordance with the Americans with Disabilities Act, as amended.
 - Interior/Code Improvement grants are limited to a 50% match with a cap of \$50,000 per grant.

The building at 112 W. Oak St., Suite 200 has not previously received a Downtown Reinvestment Grant.

EXHIBITS

Exhibit 1 – Agenda Information Sheet

Exhibit 2 – Grant Application

Exhibit 3 – Presentation

Respectfully submitted:

Kristen Pulido

Main Street Program Manager

Office of Economic Development

Downtown Reinvestment Grant Program Application

Please return completed the application with necessary attachments and signatures to the Economic Development Department office at 401 N. Elm St., Denton, Texas. If you have any application questions, please contact the Economic Development Department at 940-349-7776.

Applicant Name	MARK MICHEWITZ	Date	12/9/2025
Business Name	d2w TAVERN		
Mailing Address	112 WEST OAK STREET #100 & 200		
Contact Phone	[REDACTED]	Email Address	[REDACTED]
Building Owner (if different from applicant)	STAGI - JOHN WITHERS		
Historical/Current Building Name	UNKNOWN		
Project Site/Address	112 WEST OAK STREET #200		

Type of Work: (check all that apply)

- | | |
|---|--|
| <input checked="" type="checkbox"/> Paint Only | <input type="checkbox"/> Awnings |
| <input checked="" type="checkbox"/> Signage | <input checked="" type="checkbox"/> Impact Fees |
| <input checked="" type="checkbox"/> Utility Upgrades | <input checked="" type="checkbox"/> Interior/Code Improvements |
| <input type="checkbox"/> Facade & Building Renovation | <input type="checkbox"/> Fire Suppression System |

Details of planned improvements relating to grant request (attach additional information if necessary).

PLANS HAVE BEEN SUBMITTED TO CITY BUT CAN BE PROVIDED ON REQUEST. THE PLAN IS TO TURN THE SPACE FROM A INTO A PREMIERE GAMING BAR WITH RETAIL AREA. WE WILL IMPROVE THE CURRENT SPACE BY ADDING A BAR, RESTROOMS AS WELL AS RESURFACING THE INTERIOR. ONCE COMPLETE THIS SPACE WILL HAVE ONE OF, IF NOT THE BEST, VIEWS OF THE COURTHOUSE

How will this project benefit Downtown?

THIS PROJECT WILL TURN A PREVIOUSLY UNDER-UTILIZED SPACE INTO ONE OF THE BEST PLACES TO TAKE IN THE BEAUTY OF THE COURTHOUSE AND SURROUNDING SQUARE.

Legal Description of the property:

THE ENTIRE 112 WEST OAK STREET SUITE 200 INCLUDING STAIRWELL ENTRY

Project Categories	Estimated Costs	Grant Requested
Facade/Building Rehab		
Awnings	-	
Signs	-	
Impact Fees	-	
Utility Upgrades	45,242.00	22,621.00
Interior/Code Improvements	820.00	410.00
Fire Suppression System	-	
Totals		23,031.00

TOTAL COST OF PROPOSED PROJECT

\$ 150,000.00

TOTAL GRANT REQUEST
(May not exceed 50% of TOTAL COST up to \$50,000)

\$ 23,031.00

Attach all required color samples of paint, awning/canopy, sign design, etc., as well as photographs of building's exterior facade, roof and foundation.

Applicant's Signature

3/4/2026

Date

DOWNTOWN REINVESTMENT GRANT AGREEMENT FORM

Please complete and return with the Downtown Reinvestment Grant Application to the Economic Development office, 401 N. Elm St., Denton, Texas. If you have any questions, please contact the Economic Development Department at 940- 349-7776.

I have met with a representative from the Economic Development Department, and I have read and fully understand the Downtown Reinvestment Grant procedures established by the Denton City Council. I intend to use this grant program for the aforementioned renovation projects to advance the efforts of revitalization and historic preservation of Denton’s historic downtown. *I have not received, nor will I receive insurance monies for this revitalization project.*

I understand that if I am awarded a Downtown Reinvestment Grant by the City of Denton, any deviation from the approved project may result in the partial or total withdrawal of the grant. (If I am awarded a reinvestment grant for facade, awning or sign work and the facade, sign or awning is altered for any reason within **one (1) year** from construction, I may be required to reimburse the City of Denton immediately for the full amount of the grant.)

Business/Organization Name

DIOTHERN LTD COMPANY

Applicant/s Signature

Printed Name

Date

[Signature] *MARK MICHEVITZ* *12/9/2025*

Building Owner’s Signature (if different from applicant)

Printed Name

Date

This section is to be completed by Economic Development staff.

Date considered by DEDC

Recommendation

Staff Signature

Date considered by TIRZ #1 Board

Recommendation

Staff Signature

Date considered by City Council

Approval

Staff Signature

Project	D20 Tavern	YLEE INTERIORS CORPORATION	
Date	5/20/2025	Email: yleeicorp@gmail.com	DATE : 5-20-2025
Owner		Estimate	Customer ID: 1202
Address	112 west Oak st		
City	Denton TX 76201		
Sq. Footage	0sf		
Estimator	Jong Lee	Phone : 972-302-1753	
DIVISION		SCOPE OF	TOTAL
GENERAL CONDITIONS		\$3,730.00	
	Site Supervision		\$ 2,000.00
	Project Signage		\$ 650.00
	Final Clean - Heavy Clean		\$ 1,080.00
Demolition		\$3,950.00	
	wall / cabinet / remove		\$ 3,950.00
		\$0.00	
WOOD/MILLWORK		\$12,820.00	
	food expo solid face Countertop installed		\$ 6,700.00
	new custom counter base cabinet (lamine finish)		\$ 6,120.00
FRAMING / CEILINGS / INSULATION		\$10,280.00	
	new wall metal framing restroom/ half wall		\$ 5,980.00
	Drywall 5/8" gypsum		\$ 4,300.00
electric work		\$14,280.00	
	1-relocate existing panel Reconet all existing equipment and light And plug Power for 10-new plug. Provide and 4 new can light 2- new xfan Provide and install 4 new emergency light		\$ 14,280.00
DOORS/HARDWARE		\$3,800.00	
	prefinished 4 door with frame /hardware		\$ 3,800.00
FLOORING		\$12,316.00	
	ceramic tile installed wet bar wall/floor/couter		\$ 4,096.00
	floor cut for plumbing line with finish after inspection		\$ 1,020.00
	floor refinish		\$ 1,500.00
	restroom tile 48" high/ floor tile		\$ 3,900.00
	water proofing membrane install		\$ 1,800.00
PAINTING/WALL COVERING		\$5,050.00	
	1coat primer 2coat paint / wall / restroom		\$ 2,800.00

	wall patch and mud tape plaster smooth finish	\$ 2,250.00
MECHANICAL	\$4,400.00	
	extend restroom AC	\$ 4,400.00
DUMPSTER	\$ 750.00	
	30YD 1 dumpster service	\$750.00
other work	\$2,650.00	
	restroom/storage /ceiling grid with tile	\$ 2,650.00
PLUMBING	\$25,542.00	
	For Plumbing Including Demo existing restroom Demo water heater for reuse 64' Sanitary system 2 Floor drains and 1 Floor sink 1 Above ground grease trap 200' Hot and cold water system Reconnect water heater 2 Toilets and 2 Lavatories 1 Mop sink Hookup hand sink and bar sink NO GAS PIPING NO PAINTING TOTAL PLUMBING 21,285.00	\$ 25,542.00

0

MISCELLANEOUS	\$820.00	
	grab bar dispenser restroom	\$ 820.00
NOTE	Subtotal	\$ 99,638.00
	Overhead and Profit	\$ -
	Discount	\$ -
	Tax	\$ -
	Permit Cost	\$ -
	TOTAL CONSTRUCTION COST	\$ 99,638.00

GENERAL NOTES

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE, AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND FINISH-OUT OF THE PROJECT.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CITY AND STATE CODES AND STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
- THE CONTRACTOR SHALL PICK-UP ALL REQUIRED PERMITS AND CERTIFICATE OF OCCUPANCY. TAP FEES & ANY OTHER FEES SHALL BE PAID BY THE CONTRACTOR. THE OWNER SHALL PAY FOR THE PERMITS & CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR IS RESPONSIBLE FOR INSURING PROPER FILLING AND COMPACTION OF UTILITY COMPANY TRENCHES, BOTH INTERIOR & EXTERIOR.
- CONTRACTOR TO PROTECT ALL EXISTING BUILDINGS AND ALL EXISTING ABOVE AND BELOW GRADE UTILITIES. CONTRACTOR WILL REPAIR ALL DAMAGE TO EXISTING CONDITIONS.
- ALL EXCAVATION, TRENCHING, ETC. REQUIRED IN ROCK SUBGRADE TO BE PART OF CONTRACT, EXCEPT AS RELATING TO SITE WORK. SHORE AND BRACE ALL EXCAVATIONS IN ACCORDANCE WITH CITY, STATE AND O.S.H.A. REQUIREMENTS.
- ALL ACCESSIBLE ROUTES SHALL BE SLOPED 4.75% MAX. IN THE DIRECTION OF TRAVEL AND 1.75% ON CROSS SLOPES. ALL LANDINGS SHALL NOT EXCEED 1.75% IN ALL DIRECTIONS.
- CONTRACTOR TO EXERCISE EXTREME CARE IN CONSTRUCTION TO OR ADJACENT TO EXISTING BUILDINGS. PROVIDE ALL SHORING OR OTHER PROTECTION NECESSARY TO PREVENT DISTURBING BUILDING SUBGRADE OR FOUNDATIONS.
- CONTRACTOR IS TO INSTALL RAMPS AND SIGNAGE FOR ACCESSIBILITY PER CITY, STATE, AND A.D.A. REQUIREMENTS. ALL CURB AND EXIT DOOR RAMPS, INTERIOR & EXTERIOR, ARE TO HAVE HEAVY BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL.
- ALL MAIN AND BRANCH SPRINKLER LINES, ELECTRICAL AND PLUMBING LINES ARE TO BE RUN AS HIGH AS POSSIBLE WITHIN THE ROOF STRUCTURE SPACE WHEREVER THIS IS POSSIBLE. WHEN LINES ARE RUN BELOW ROOF STRUCTURE, THEY ARE TO BE HELD AS TIGHT AS POSSIBLE TO BOTTOM OF STRUCT. ALL LINES ARE TO BE SUSPENDED FROM TOP JOIST AND GIRDER CHORDS. ANY CHANGE IN LINE ROUTING ARE TO BE AS 90 PARALLEL TO STRUCTURE.
- PROVIDE ADEQUATE BLOCKING AS REQUIRED TO SUPPORT ELECTRIC PANELS, ACCESS ROOF LADDER, HANDRAILS, WALL MOUNTED SIGNAGE, ETC.
- DO NOT SUSPEND ANY ITEMS FROM THE BOTTOM JOIST CHORD, HORIZ. BRIDGING OR X-BRACING, OR PIPING AND CONDUITS, METAL ROOF OR FLOOR DECKS AND/OR ANY WORK BY OTHER TRADES. REFER TO STRUCT. DWGS. FOR JOIST LOADS NOT SHOWN ON THE STRUCT. FRAMING PLAN(S) CONSULT ARCHITECT AND STRUCTURAL ENGINEER IF THE DETAIL(S) IS/ARE NOT PROVIDED OR MAY NOT APPLICABLE TO SPECIFIC LOADING CONDITIONS(S).
- UNLESS OTHERWISE INDICATED, EACH SUBCONTRACTOR AND GENERAL CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING & SUPPORTING ALL ITEMS FROM THE ROOF STRUCTURE FOR GRAVITY LOADS AND TO RESIST SEISMIC MOVEMENTS AS REQ'D. BY ALL APPLICABLE CODES. (ANY BRACING W/ A SIGNIFICANT VISUAL IMPACT IS SUBJECT TO ARCHITECT APPROVAL)
- CONTRACTOR IS RESPONSIBLE VERIFYING AND PRICING ALL A.D.A. REQUIREMENTS, PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR TO PROVIDE TEMPORARY SAFETY GUARD RAILS AT ALL FLOOR OPENINGS UNTIL TENANT CONSTRUCTION STARTS.
- AN APPROVED SINGLE SET OF PLANS (BUILDING, FIRE SPRINKLER, FIRE ALARM, ETC.) SHALL BE ON THE JOB SITE DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF APPROVED PLANS TO COINCIDE W/ INSPECTIONS TAKING PLACE.
- ALL EXIT DOOR HARDWARE IS TO COMPLY WITH LOCAL, STATE, AND FEDERAL A.D.A. REQUIREMENTS, WHETHER SPECIFICALLY INDICATED IN HARDWARE NOTES OR SPECIFICATIONS. THIS INCLUDES, BUT NOT NECESSARILY LIMITED TO: DOOR CLOSURES, LATCH SETS, LOCK SETS, PRIVACY SETS, PANIC HARDWARE, CONTROLLERS, AUTOMATIC BOLTS AND DOOR MOUNTED ELECTRICAL STRIKES AND ALARMS.
- ALL EXPOSED EXTERIOR WALL MOUNTED CONDUITS, BUSS GUTTERS, JUNCTION BOXES, PANEL BOXES, METERS, PIPES, ETC. ARE TO BE THREE (3) COAT PAINTED WITH COLOR TO BE SELECTED BY THE ARCHITECT. ALL EXPOSED CONDUIT PIPES JUNCTION BOXES ROOF SCUTTLERS ETC. ABOVE THE ROOF BOTH IN MID FIELD AREAS AND ON BACKS OF PARAPETS ARE TO BE THREE (3) COATS PAINTED; COLOR TO BE SELECTED BY THE ARCHITECT.
- ALL EXITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY. SALES AREA ENTRANCE DOORS SHALL HAVE A SIGN STATING "THESE DOORS SHALL REMAIN UNLOCKED DURING BUSINESS HOURS". CONTRACTOR IN RESPONSIBLE FOR LETTERS MIN. OR AS REQUIRED BY CODE.*
- MOUNTING HEIGHTS. WHERE MOUNTING HEIGHTS ARE NOT INDICATED INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENT ISSUE OF THE AMERICANS WITH DISABILITIES ACT FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE ARCHITECT FOR FINAL DECISION.
- CONTRACTOR IS REFER TO M.E.P. DRAWING AND PROJECT MANUAL IF ANY FOR ANY HINGED ACCESS PANELS NOT INDICATE IN ARCH. DWGS AND PROJ. MANUAL. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS FOR DRYWALL, TILE, E.I.F.S., AND PLASTER WORK WITH ALL TRADES.
- HAZARDOUS MAT'L'S, MAY NOT BE STORED, USED OR DISPOSED.
- SIGN CONTRACTOR SHALL OBTAIN SEPARATE APPROVALS AND PERMITS FROM OWNER AND APPLICABLE JURISDICTIONS PRIOR TO INSTALLATION OF ANY SIGN.
- WOOD PRODUCTS THAT ARE USED IN NON-COMBUSTIBLE BLDGS. SHALL BE PRESSURE-TREATED WITH AN APPROVED FIRE RETARDANT IN ACCORDANCE WITH THE 1997 IBC CODE.
- PROVIDE AN APPROVED FIRE SPRINKLER SYSTEM PER NFPA STANDARDS AND THE APPLICABLE A BUILDING CODE AND AS REGULATED BY LOCAL CITY AUTHORITIES. SUBMIT DRAWINGS FOR APPROVAL PRIOR TO COMMENCING WORK.
- TYPICAL NOTES APPLY TO ALL SIMILAR CONDITIONS. TYPICAL DETAILS ARE COMMON CONSTRUCTION CONDITIONS AND APPLY TO ALL CIRCUMSTANCES UNLESS NOTED OTHERWISE.
- THE DRAWINGS AND THE PROJECT IS CONSIDERED PARTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR THE REVIEW AND CONFORMANCE TO ALL CONTRACT DOCUMENTS. IN THE CASE OF APPARENT CONFLICTS AND DISCREPANCIES BETWEEN THE DRAWINGS AND THE PROJECT MANUAL DOCUMENTS THEMSELVES, CONTRACTOR IS TO NOTIFY ARCHITECT IN WRITING OF SUCH APPARENT CONFLICTS AND REQUEST CLARIFICATION FROM THE ARCHITECT. NO ADDITIONAL COSTS OR DELAYS IN SCHEDULE WILL BE ACCEPTED DUE TO CONTRACTOR'S MISINTERPRETATIONS AND FAILURES TO REQUEST CLARIFICATIONS.

TERMS AND ABBREVIATIONS

A

ABV	ABOVE
AFF	ABOVE FINISHED FLOOR
ACC	ACCESS
ACFL	ACCESS FLOOR
AP	ACCESS PANEL
AC	ACOUSTICAL
ACPL	ACOUSTICAL PLASTER
ACT	ACOUSTICAL TILE
ACR	ACRYLIC PLASTIC
ADH	ADHESIVE
ADJ	ADJACENT
ADJT	ADJUSTABLE
AGG	AGGREGATE
A/C	AIR CONDITIONING
ALT	ALTERNATE
AL	ALUMINUM
ANC	ANCHOR, ANCHORAGE
AB	ANCHOR BOLT
ANOD	ANODIZED
ARCH	ARCHITECT, ARCHITECTURAL
AD	AREA DRAIN
ASPH	ASPHALT
AT	ASPHALT TILE
AUTO	AUTOMATIC
AWN	AWNING

B

BKR	BACKER
BMSIT	BASEMENT
BL	BASE LINE
BM	BEAM
BRG	BEARING
BPL	BEARING PLATE
BEL	BELLOWS
BM	BENCH MARK
BET	BETWEEN
BVL	BEVELED
BEY	BEYOND
BK	BLOCK
BK/G	BLOCKING
BD	BOARD
BS	BOTH SIDES
BOT	BOTTOM
BRKT	BRACKET
BR	BRASS
BRK	BRICK
BRZ	BRONZE
BLDG	BUILDING
BLR	BUILT UP ROOFING
BRGL	BULLET RESISTANT GLASS BY OWNER
BO	

C

CAB	CABINET
CAN	CANVAS
CPT	CARPET
CSMU	CASEMENT
CT	CAST IRON
CST	CAST STONE
CB	CATCH BASIN
CLG	CEILING
CHT	CEILING HEIGHT
CEM	CEMENT
CM	CENTIMETER (S)
CER	CERAMIC
CT	CERAMIC TILE
CHBD	CHALKBOARD
CHAM	CHAMFER
CHM	CHIMNEY
CR	CIRCUITRY
CR	CIRCUITRY
CIRC	CIRCUMFERENCE
CLR	CLEAR, CLEARANCE
CLS	CLOSURE
COL	COATED GLASS
COL	COLUMN
COMB	COMBINATION
COM	COMMON
COMP	COMPARTMENT
COMPO	COMPOSITION, COMPOSITE
COMP	COMPRESS, (ED), (ION), (IBLE)
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUE, CONTINUOUS
CONTR	CONTRACT, CONTRACTOR
CONTR	CONTROL JOINT
CJT	CORNER
CPR	COPPER
CG	CORNER GUARD
CORR	CORRUGATED
CTR	COUNTER
CS	COUNTER SINK
CRS	COURSE
CFT	CLUB FOOT
CYD	CLUB YARD

D

DPR	DAMPER
DP	DAMP PROOFING
DL	DEAD LOAD
DEM	DEMOLISH, DEMOLITION
DMT	DE-MOUNTABLE
DTL	DETAIL
DIAG	DIAGONAL
DIA	DIAMETER
DIM	DIMENSION
DSP	DISPENSER
DIV	DIVISION
DR	DOOR
DTA	DOVETAIL ANCHOR
DTA	DOVETAIL ANCHOR SLOT
DN	DOWN
DS	DOWNSPOUT
DT	DRAIN TILE
DWR	DRAWER
DWG	DRAWING
DF	DRINKING FOUNTAIN
DW	DUMBWATER

E

EA	EACH
EF	EACH FACE
EW	EACH WAY
ESMNT	EASEMENT
E	EAST
ELAS	ELASTIC
ELEC	ELECTRIC, (AL)
EP	ELECTRICAL PANEL-BOARD
EWC	ELECTRIC WATER COOLER
EL	ELEVATION (VERTICAL HEIGHT)
EB	ELEVATION (VIEW)
LAM	LAMINATE, (ED)
LGL	LAMINATED GLASS
LAV	LAVATORY
LO	LAYOUT
LH	LEFT HAND
L	LENGTH
LT	LIGHT
LW	LIGHTWEIGHT
LMS	LIMESTONE
LTL	LINTEL
LL	LIVE LOAD
LOC	LOCATE
LLD	LOOSE LAID
LVR	LOUVER
LPT	LOW POINT

F

FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOS	FACE OF STUDS
FAS	FACE OF STUDS, FASTENER
FN	FENCE
FB	FIBERBOARD
FGL	FIBERGLASS
FIN	FINISH, (ED)
FFE	FINISHED FLOOR ELEVATION
FFL	FINISHED FLOOR LINE
FA	FIRE ALARM
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FHS	FIRE HOSE STATION
FPL	FIREPLACE
FR	FIREPROOF
FRT	FIRE-RETARDANT
FRCT	FIXTURE
FLG	FLASHING
FLX	FLEXIBLE
FG	FLOAT GLASS
FLR	FLOOR, (ING)
FD	FLOOR DRAIN
FL	FLOOR LINE
FLR	FLORESCENT
FJT	FLUSH JOINT
FTG	FOOTING
FND	FOUNDATION
FR	FRAME, (D), (ING)
FS	FULL SIZE
FLR	FURRED, (ING)
FUT	FUTURE

G

GA	GAGE, GAUGE
GV	GALVANIZED
GKT	GASKET, (ED)
GC	GENERAL CONTRACT, (OR)
GL	GLASS, GLAZING
GLB	GLASS BLOCK
GC/MU	GLAZED CON MASONRY UNITS
GLAM	GLUED LAMINATE
GB	GRAB BAR
GD	GRADE, GRADING
GRN	GRANITE
GRT	GRATE, (ING)
GVL	GRAVEL
GRHS	GREENHOUSE
GT	GROUT
GRD	GUARD
GUT	GUTTER
GPW	GYPSPUM DRY WALL
GRL	GYPSPUM LATH
GPL	GYPSPUM PLASTER
GPT	GYPSPUM TILE
GPW	GYPSPUM WALLBOARD

H

HC	HANDICAP
HRL	HAND-RAIL
HBD	HARDBOARD
HDW	HARDWARE
HWD	HARDWOOD
HER	HEADER
HTG	HEATING
HVAC	HEATING/ VENTILATING AIR CONDITIONING
HD	HEAVY DUTY
HT	HEIGHT
HPT	HIGH POINT
HCR	HOLLOW CORE
HOR	HORIZONTAL
HB	HOSE BIBB

I

INCAN	INCANDESCENT
INCN	INCINERATOR
INCL	INCLUDE, (ED), (ING)
INS	INSIDE DIAMETER
INS	INSULATE, (ED), (ING)
INS	INSULATING CONCRETE
IGL	INSULATING GLASS
INT	INTERIOR
INTM	INTERMEDIATE
INV	INVERT

J

JC	JANITOR'S CLOSET
JT	JOINT
JF	JOINT FILLER
J	JOIST

K

KPL	KICKPLATE
KIT	KITCHEN
KO	KNOCKOUT

L

LBL	LABEL
LAB	LABORATORY
LAD	LADDER
LB	LAG BOLT
LAM	LAMINATE, (ED)
LGL	LAMINATED GLASS
LAV	LAVATORY
LO	LAYOUT
LH	LEFT HAND
L	LENGTH
LT	LIGHT
LW	LIGHTWEIGHT
LMS	LIMESTONE
LTL	LINTEL
LL	LIVE LOAD
LOC	LOCATE
LLD	LOOSE LAID
LVR	LOUVER
LPT	LOW POINT

M

MB	MACHINE BOLT
MH	MANHOLE
MFR	MANUFACTURE, (ER)
MRR	MARBLE
MAS	MASONRY
MTL	MATERIAL
MAX	MAXIMUM
MECH	MECHANIC, (AL)
MC	MEDICINE CABINET
MED	MEDIUM
MDO	MEDIUM DENSITY OVERLAY
MBR	MEMBER
MMB	MEMBRANE
MET	METAL
M	METER, (S)
MW	MICROWAVE
MM	MILLIMETER, (S)
MIN	MINIMUM
MIR	MIRROR
MGL	MIRROR GLASS (FRAMED)
MISC	MISCELLANEOUS
MDO	MODULAR
MLD	MOLDING, MOLDING
MR	MOP RECEPTOR
MT	MOUNT, (ED), (ING)
MOV	MOVABLE
MULL	MULLION

N

NL	AVAILABLE
NAT	NATURAL
NI	NICKEL
NR	NOISE REDUCTION
NOM	NOMINAL
N	NORTH
NIC	NOT IN CONTRACT
NYS	NOT TO SCALE
NO	NUMBER

O

OC	ON CENTER, (S)
OP	OPaque
OPG	OPENING
OPH	OPPOSITE HAND
ORN	ORNAMENTAL
OD	OUTSIDE DIAMETER
OA	OVERALL
OH	OVERHEAD

P

PNT	PAINT, (ED)
PNL	PANEL, (ING)
PB	PANIC BAR
PTD	PAPER TOWER DISPENSER
PTR	PAPER TOWER RECEPTOR
PAR	PARALLEL
PRPT	PARAPET
PK	PARKING
PBD	PARTICLE BOARD
PTN	PARTITION
PV	PAVE, (D), (ING)
PVM	PAVEMENT
PERF	PERFORATE, (ED)
PER	PERIMETER
PTR	PLANTER
PLTG	PLANTING
PLAS	PLASTER
PLA	PLASTIC
PLAM	PLASTIC LAMINATE
PL	PLATE
PLG	PLATE GLASS
PWD	PLYWOOD
PT	POINT
PVC	POLYVINYL CHLORIDE
PE	PORCELAIN ENAMEL
PCPL	PORTLAND CEMENT PLASTER
PO	POUND, (S)
PCF	POUNDS PER CUBIC FOOT
PLF	POUNDS PER LINEAR FOOT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PCC	PRECAST CONCRETE
PFB	PREFABRICATE, (ED)
PFN	PREFINISHED
PRF	PREFORMED
PREM	PREFORMED
PT	PRESSURE TREATED
PL	PROPERTY LINE

Q

QT	QUARRY TILE
----	-------------

R

RFH	ROOF HATCH
RFG	ROOFING
RM	ROOM
RO	ROUGH OPENING
RCP	ROUND CONCRETE PIPE
RCK	ROWLOCK
RB	RUBBER BASE
RBT	RUBBER TILE
RBL	RUBBLE STONE
RBT	RABBET, REBATE
RAD	RADIUS
RFT	RAFTER
RL	RAIL, (ING)
REC	RECESS, (ED)
REF	REFER, (ENCE)
REF	REFLECT, (ED), (IVE), (OR)
REFR	REFRIGERATOR
REG	REGISTER
REN	REINFORCE, (ED), (ING)
RECP	REINFORCED CONCRETE PIPE
REIM	REMOVE, (ABLE)
REQ'D	REQUIRED
RES	RESILIENT
RET	RETURN
RA	RETURN AIR
RVS	REVERSE (SIDE)
REV	REVERSE, (S), REVERSE, (ED)
TH	RIGHT HAND
ROW	RIGHT OF WAY
R	RISER
RSD	ROOF AND SHELF
R	ROOF DRAIN

S

SFGL	SAFETY GLASS
SCH	SCHEDULE
SCN	SCREEN, (ED)
SCLP	SCREEN
SEAL	SEALANT
STG	SEATING
SEC	SECTION
SVYD	SERVICE YARD
SSK	SERVICE SINK
SHT	SHEATH, (ING)
SHT	SHEET
SG	SHEET GLASS
SH	SELF, SHELVING
SHNG	SHINGLE, (S)
SHU	SHUTTER, (S)
SIBG	SIBING
SM	SIMILAR
SKL	SKYLIGHT
SL	SLEEVE
SLO	SLOPE
SOL	SOLDER
SC	SOLID CORE
SP	SOUNDPROOF
S	SOUTH
SPC	SPACE, (R)
SGL	SPANDREL GLASS
SPR	SPEAKER
SPL	SPECIAL
SPEC	SPECIFICATION
SPH	SPLASH
SO	SQUARE
SSIT	STAINLESS STEEL
STGL	STAINED GLASS
STD	STANDARD
STA	STATION
ST	STEEL
STO	STORAGE
SF	STOREFRONT
SD	STORM DRAIN
STR	STRUCTURAL
STCO	STUCCO
SFLR	SUB-FLOOR
SA	SUPPLY AIR
SUS	SUSPENDED
SYD	SIDE YARD
SYM	SYMMETRY, (ETRICAL)
SYN	SYNTHETIC
SYS	SYSTEM

T

TKBD	TACK-BOARD
TEL	TELEPHONE
TV	TELEVISION
TG	TEMPERED GLASS
TKG	TEMPERED, INSULATED GLASS
TZ	TERRAZZO
THK	THICK, (NESS)
THR	THRESHOLD
TBR	TO BE RELOCATED
TOBR	TO BE REMOVED
TPO	TOILET PAPER DISPENSER
TPTN	TOILET PARTITION
TOL	TOLERANCE
T&C	TONGUE AND GROOVE
TSL	TOP OF CONCRETE SLAB
TC	TOP OF CURB
TI	TOP OF JOIST
TP	TOP OF PLATE
TS	TOP OF STEEL
TSF	TOP OF SUBFLOOR
TW	TOP OF WALL
TPG	TOPPING
TOR	TO REMAIN
TB	TOWER BAR
TRANSOM	TRANSOM
T	TREAD
TRNB	TURNBUCKLE
TYP	TYPICAL

U

UC	UNDERCUT
UNF	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UR	URNAL
UTL	UTILITY

V

VJ	V-JOINT
VB	VAPOR BARRIER
VBR	VARNISH
VERT	VERTICAL
VG	VERTICAL GRAIN
VN	VINYL
VB	VINYL BASE
VCT	VINYL COMPOSITION TILE
VF	VINYL FABRIC
VT	VINYL TILE
VICP	VITREOUS CLAY PIPE

W

WSC	WAINSCOT
WH	WALL HUNG
WC	WATER CLOSET
WHTR	WATER HEATER
WP	WATERPROOFING
WR	WATER RESISTANT
WS	WATER-STOP
WST	WEATHER-STRIP, (ING)
WWF	WELED WIRE FABRIC
W	WEST
WHS	WHEEL STOP

INTERIOR FINISH OUT

ROOM #	FLOOR		BASE		WALLS		CEILING		NOTE
	EXISTING	NEW	EXISTING	NEW	EXISTING	NEW	EXISTING	NEW	
CUSTOMER AREA	●		●		●		●		
BEVERAGE	●		●		●		●		
RESTROOM	●		●		●		●		
STORAGE	●		●		●		●		

FINISH OUT NOTE

PATTERN AND COLOR FOR TILE SHALL BE DETERMINED BY OWNER

CERAMIC TILE (TBD)
WET BAR (COUNTER)
CRM-1

HARDWOOD FLOOR (EXISTING)
AT DINING AREA/ROOM DINING /CORRIDOR/WAITING AREA
QRT-1

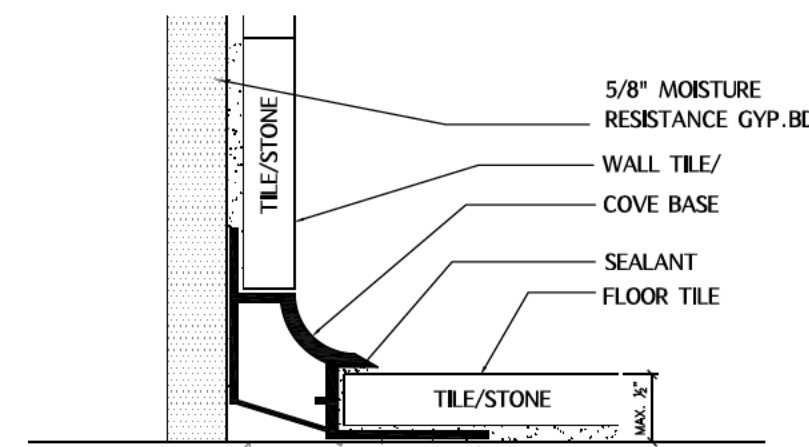
CEILING FINISH
WALL FINISH
BASE FINISH
FLOOR FINISH

BATT INSULATION

MATERIAL JOINT

(FRP) FRP PANEL FINISH
(CRT) CERAMIC TILE FINISH

COVE BASE AT WET AREA



BUILDING KEY NOTES

- 01 ELECTRIC PANEL 100 AMP 3p 208Y/120V TO BE RELOCATED
- 02 N/A
- 03 EXIT LIGHT W/ MIN. 90 MINUTE BACKUP BATTERY
- 04 BATT 13 INSULATION ON RESTROOM WALL
- 05 INTERIOR PARTITION WALL UP TO 4' (H) FOR PLUMBING & UTILITIES
- 06 COMMON LAV. SINK
- 07 4 COMP SINK
- 08 HAND SINK
- 09 SOLID SURFACE REAR COUNTERTOP
- 10 SOLID SURFACE COUNTERTOP
- 11 BEVERAGE COOLER #1.#2
- 12 EXISTING LOW PARTITION WALL
- 13 WATER HEATER (50 GAL.) ECLECTIC

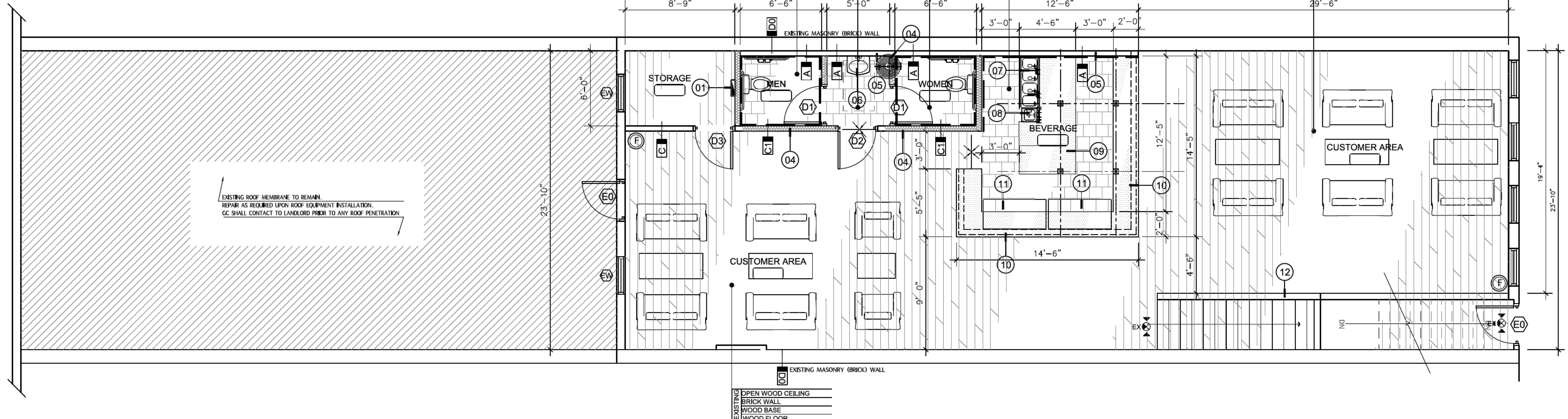
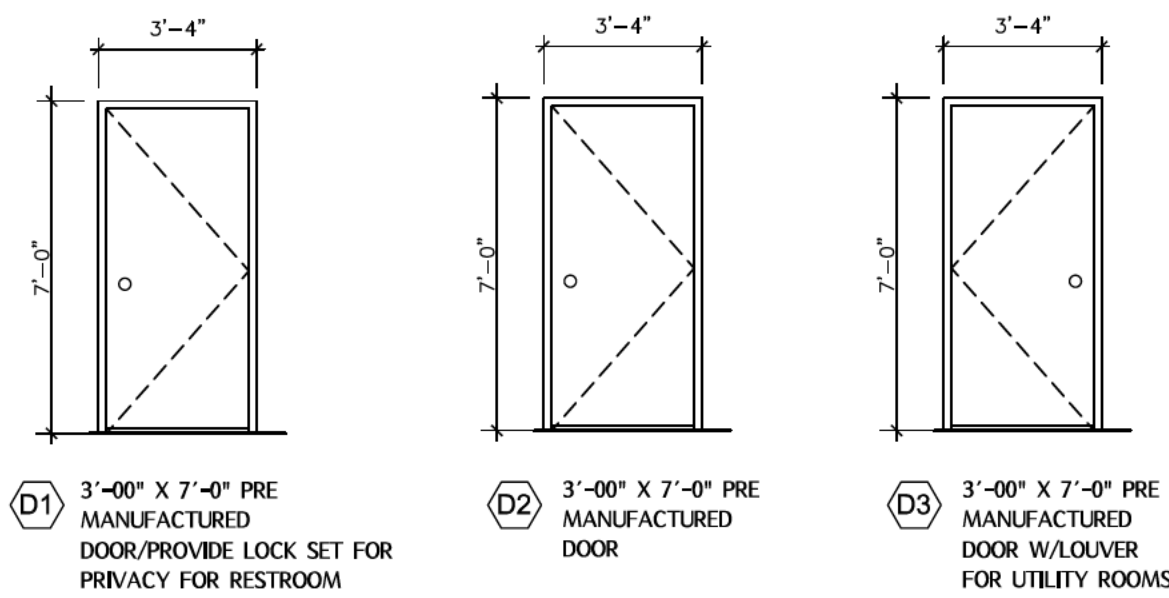
MILL WORK NOTE

MILL WORK CONTRACTOR SHALL PROVIDE SHOP DRAWING FOR ALL LOWER CABINETS AND UPPER CABINETS AT PREP AREA, COUNTER/ DINING AREA, AND CUSTOMER AREA

ALL CABINETS WILL BE MELAMINE, PLASTIC LAMINATE OR BETTER

FIRE EXTINGUISHER NOTE

FIRE EXTINGUISHERS SHALL BE PROVIDED IN ACCORDANCE WITH 2023 INTERNATIONAL FIRE CODE SECTION 906. MINIMUM RATING SHALL BE ONE 2A:10B:C RATED EXTINGUISHER/3000 SQ. FT. FLOOR SPACE. TRAVEL DISTANCE SHALL NOT EXCEED 75 FT. TO ANY FIRE EXTINGUISHER. THE FIRE EXTINGUISHER(S) SHALL HAVE A CURRENT INSPECTION/SERVICE TAG FROM A LICENSED FIRE EXTINGUISHER COMPANY.



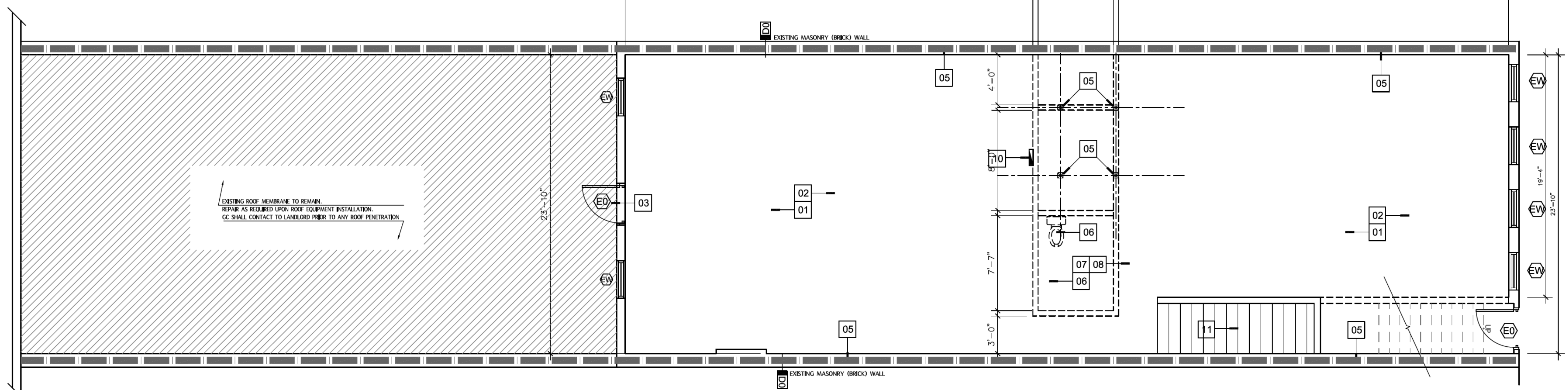
02 PROPOSED FLOOR PLAN - 2F
3/16"=1'-00"

SYMBOL/KEY

- ===== DENOTES EXISTING ITEMS TO BE REMOVED. VERIFY ALL LOCATIONS IN FIELD.
- DE --- EXISTING INTERIOR WALL TO BE REMOVED
- ===== DENOTES EXISTING PARTITIONS/ITEMS TO REMAIN
- EO --- EXISTING EXTERIOR WALL
- DENOTES EXISTING CEILING TILE/GRID & GYP.BD CEILING TO BE REMOVED

EXISTING PLAN KEY NOTE

- 01 EXISTING WOOD FLOOR TO REMAIN
- 02 EXISTING OPEN CEILING TO REMAIN
- 03 EXISTING DOOR TO REMAIN
- 04 EXISTING BRICK DEMISING WALL TO REMAIN
- 05 EXISTING WOOD COLUMN TO REMAIN
- 06 EXISTING INTERIOR PARTITION WALL TO BE REMOVED
- 07 EXISTING CEILING TO BE REMOVED
- 08 EXISTING RAISED FLOOR TO BE REMOVED
- 09 PROVIDE COMPLETE CLOSE OUT TO C/W, H/W AND S.S. LINE AFTER WATER FIXTURE REMOVED
- 10 EXISTING ELECTRIC PANEL TO BE RELOCATED
- 11 EXISTING STAIR TO REMAIN



01 EXISTING FLOOR PLAN/DEMO PLAN- 2F
3/16"=1'-00"



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PROJECT NAME / ADDRESS

SUITE COMBINING & PARTIAL INTERIOR REMODELING

D20 TAVERN

112 WEST OAK ST, SUITE #112-100
DENTON, TX 76201

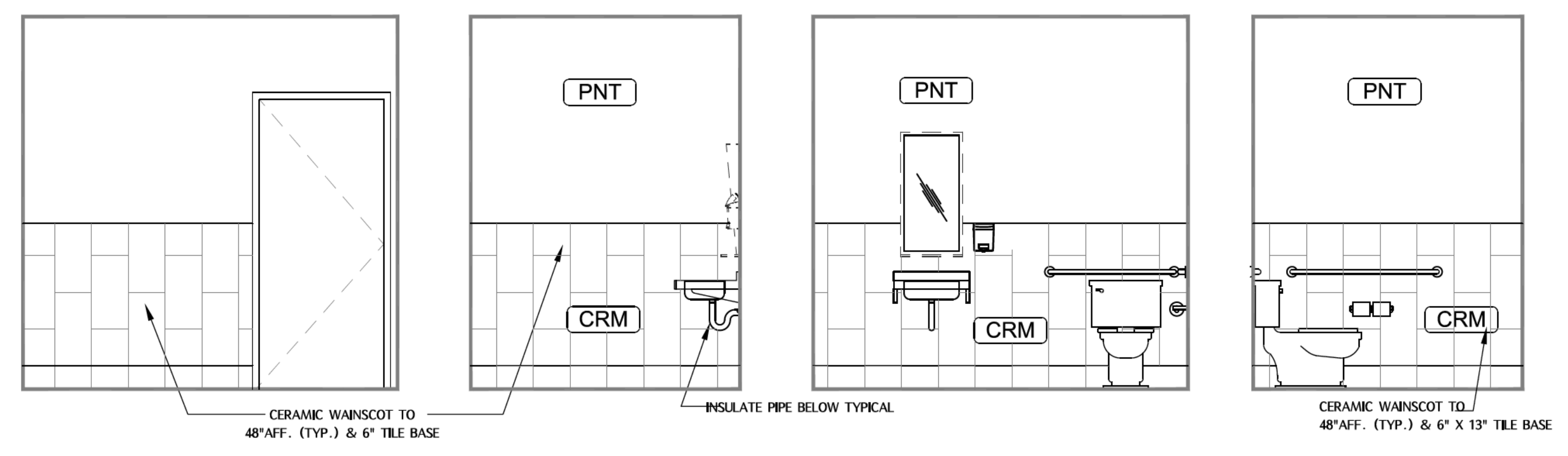
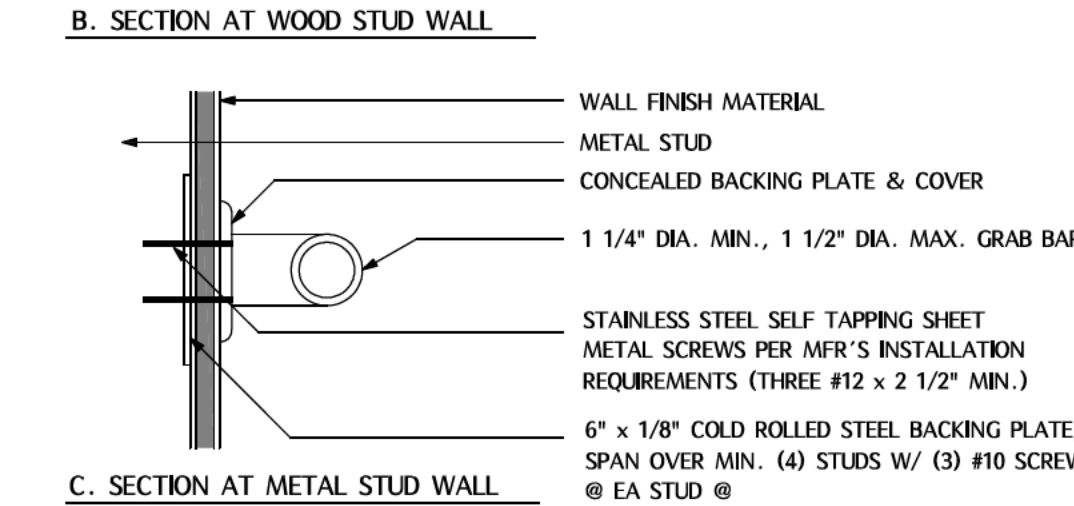
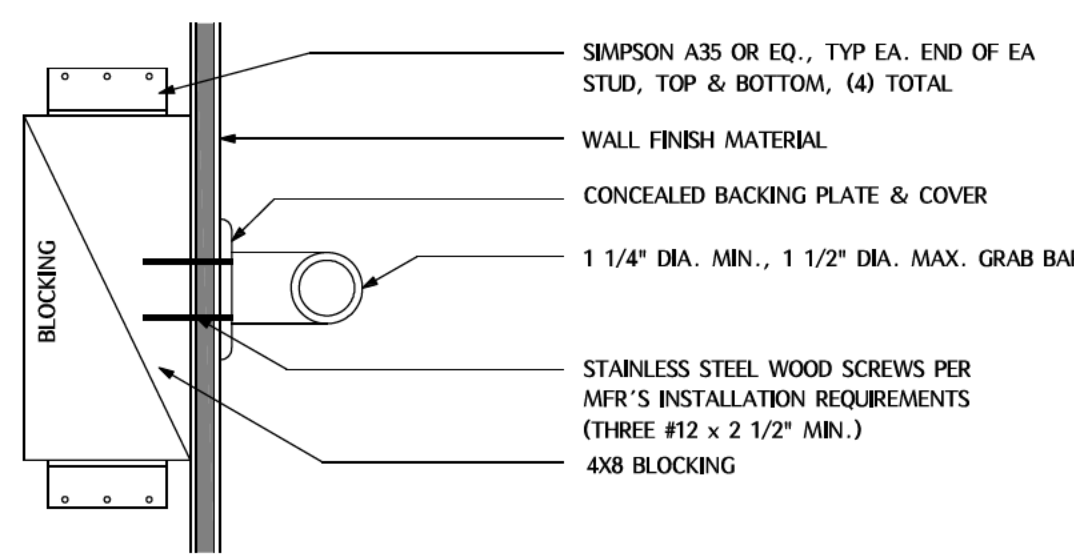
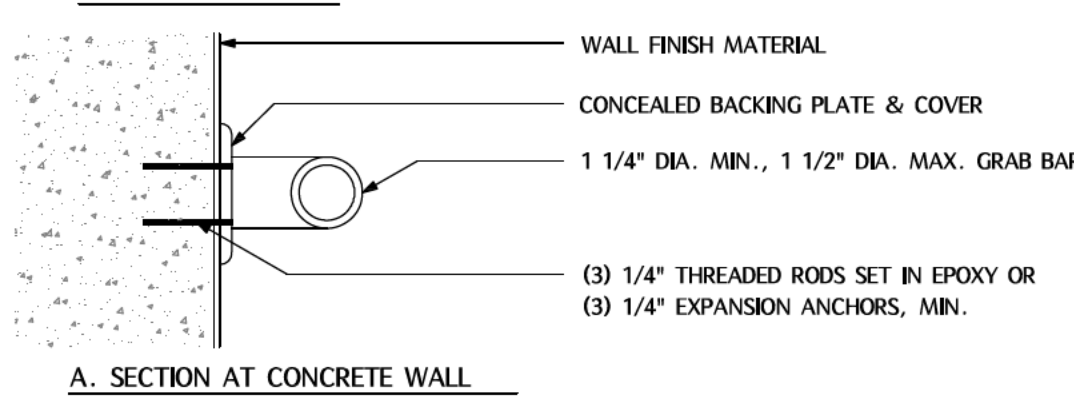
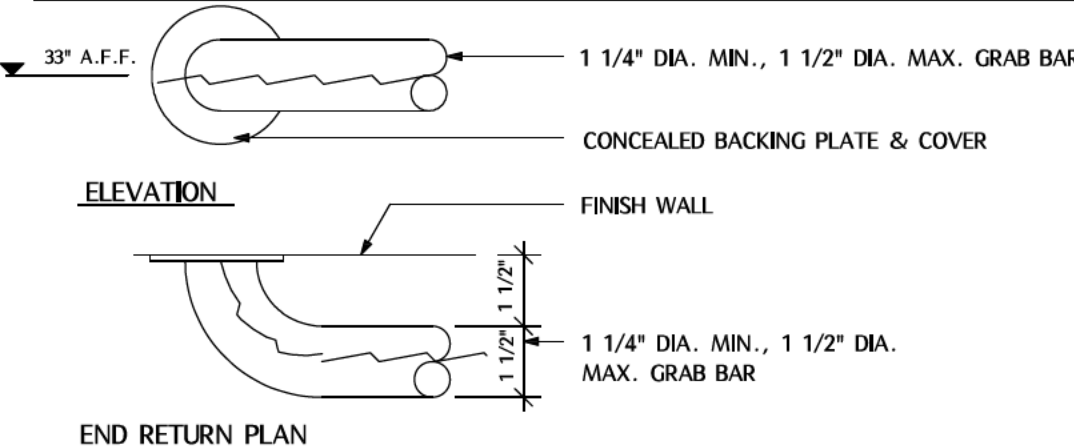
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SHEET TITLE

SHEET NUMBER

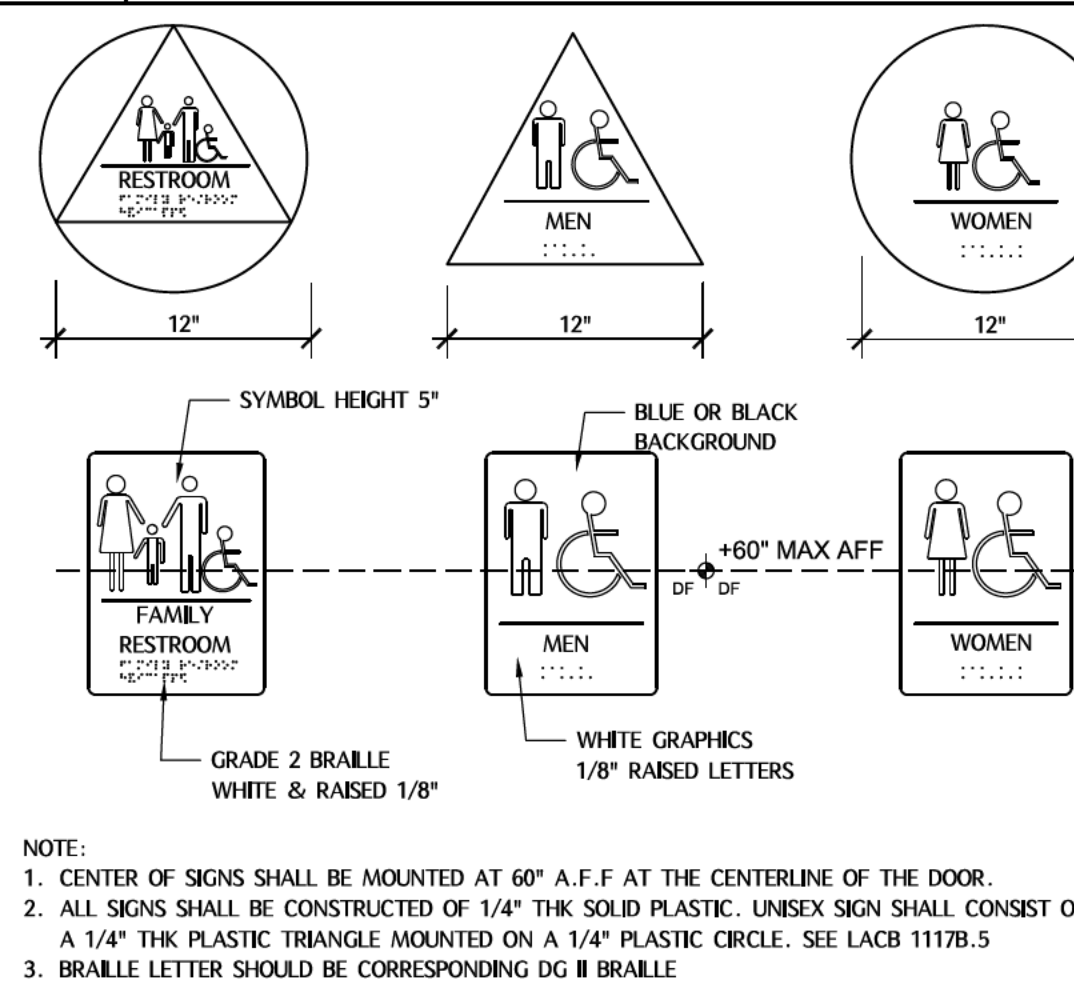
A1.01

NOTE: GRAB BAR AND ITS INSTALLATION SHALL RESIST A 250 LBS POINT LOAD
REFER TO MANUFACTURER'S SPEC. SHEET

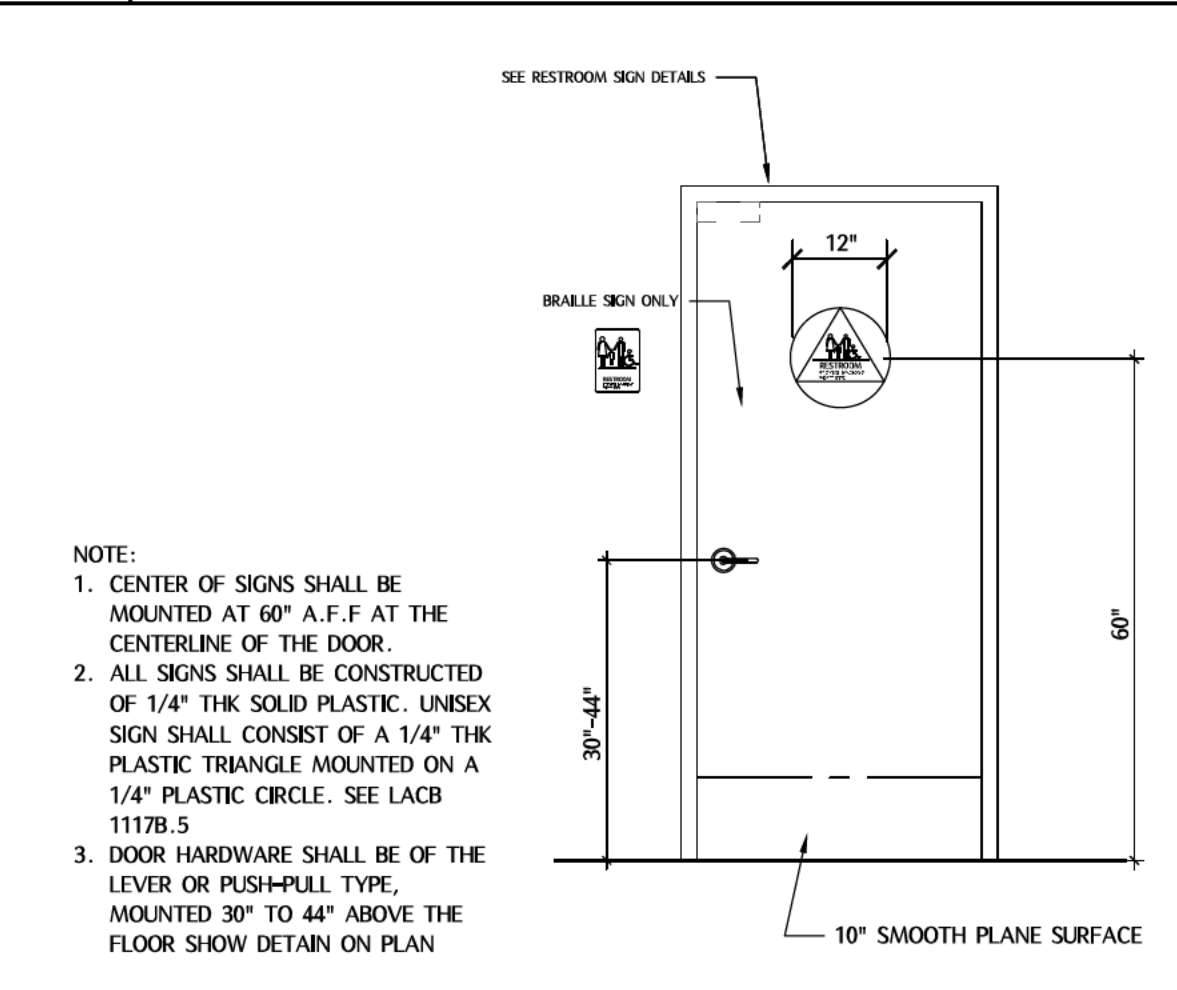


PNT PAINT COLOR TBD
CRM CERAMIC TILE (COLOR TBD)

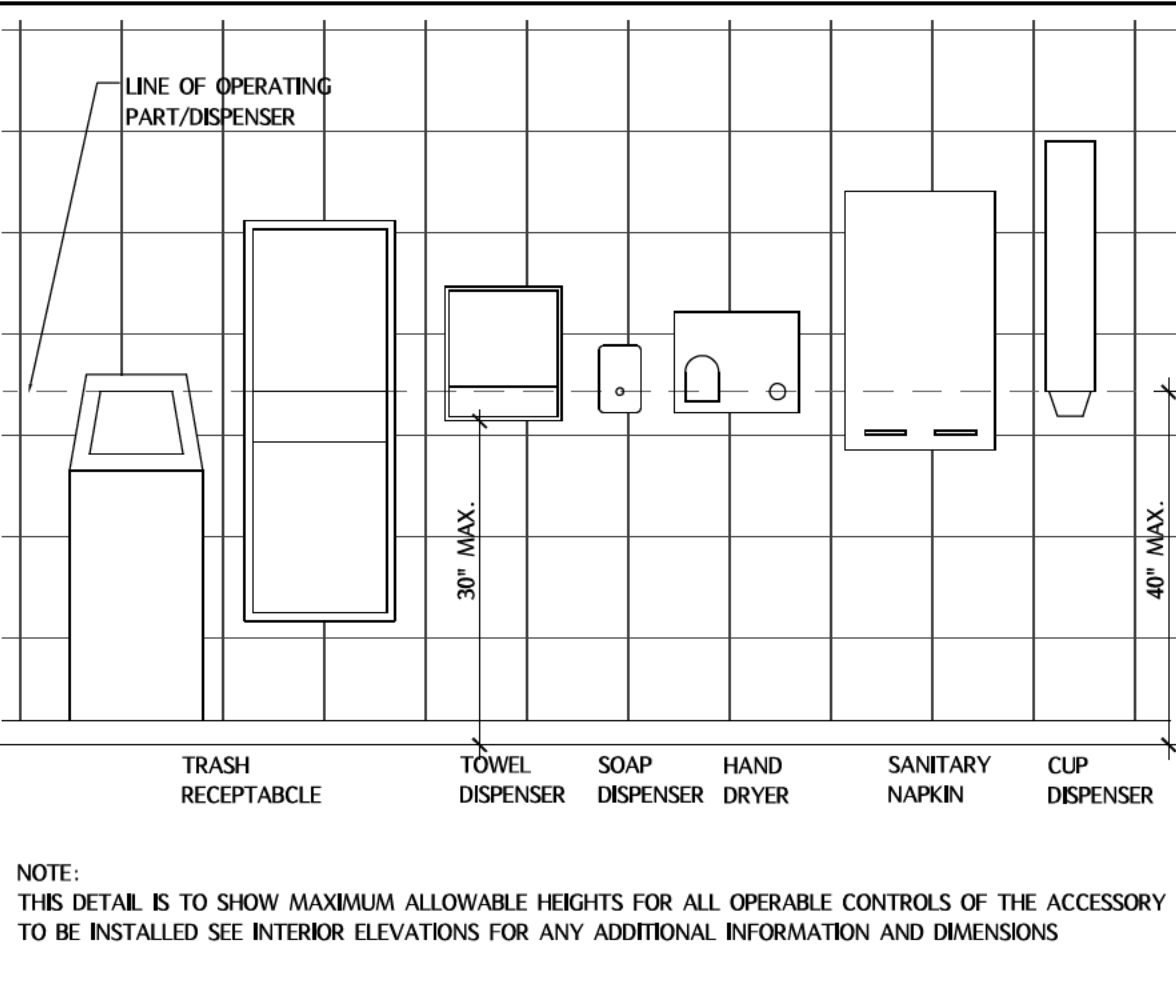
12 RESTROOM SIGN NTS



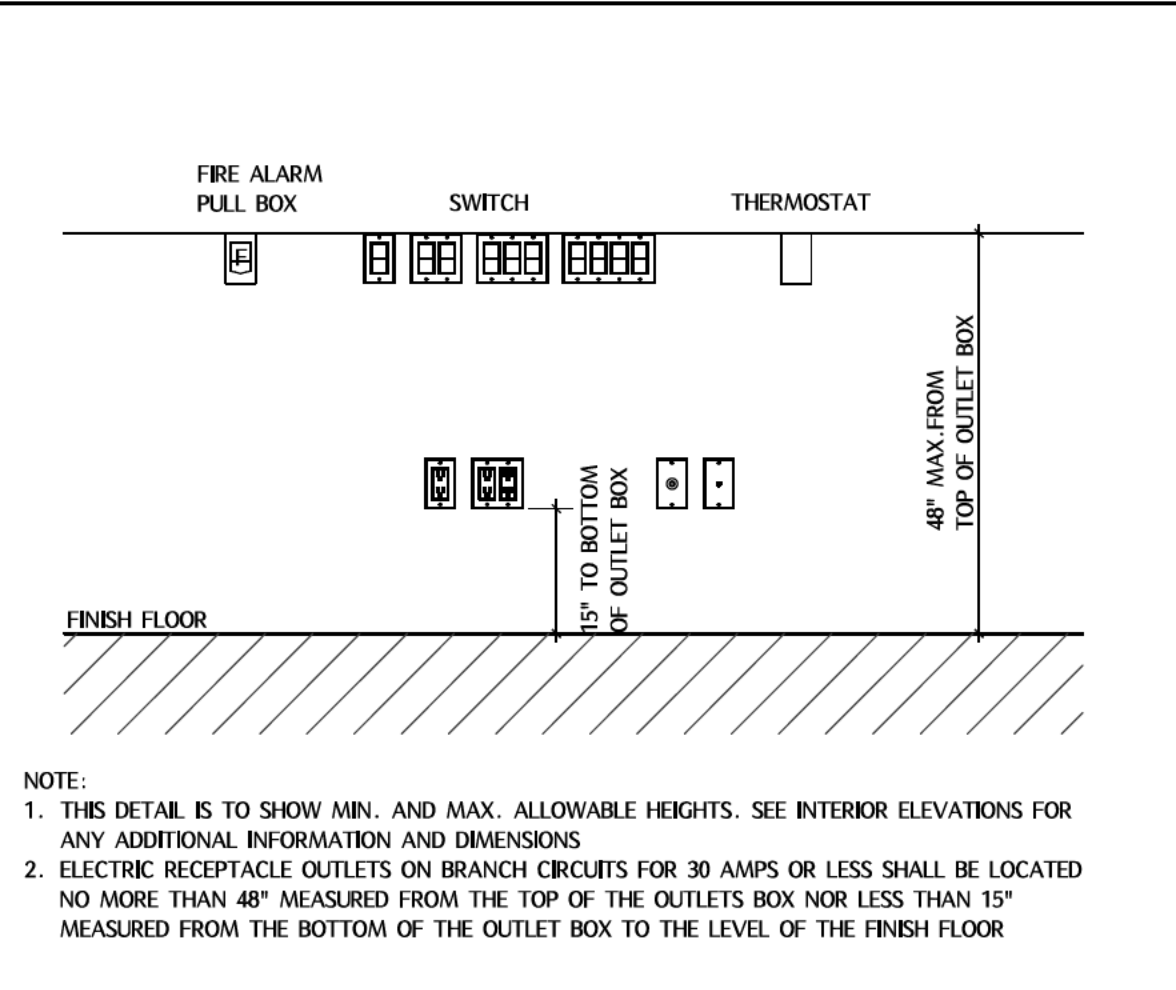
11 ADA RESTROOM DETAIL REFERENCE ONLY NTS



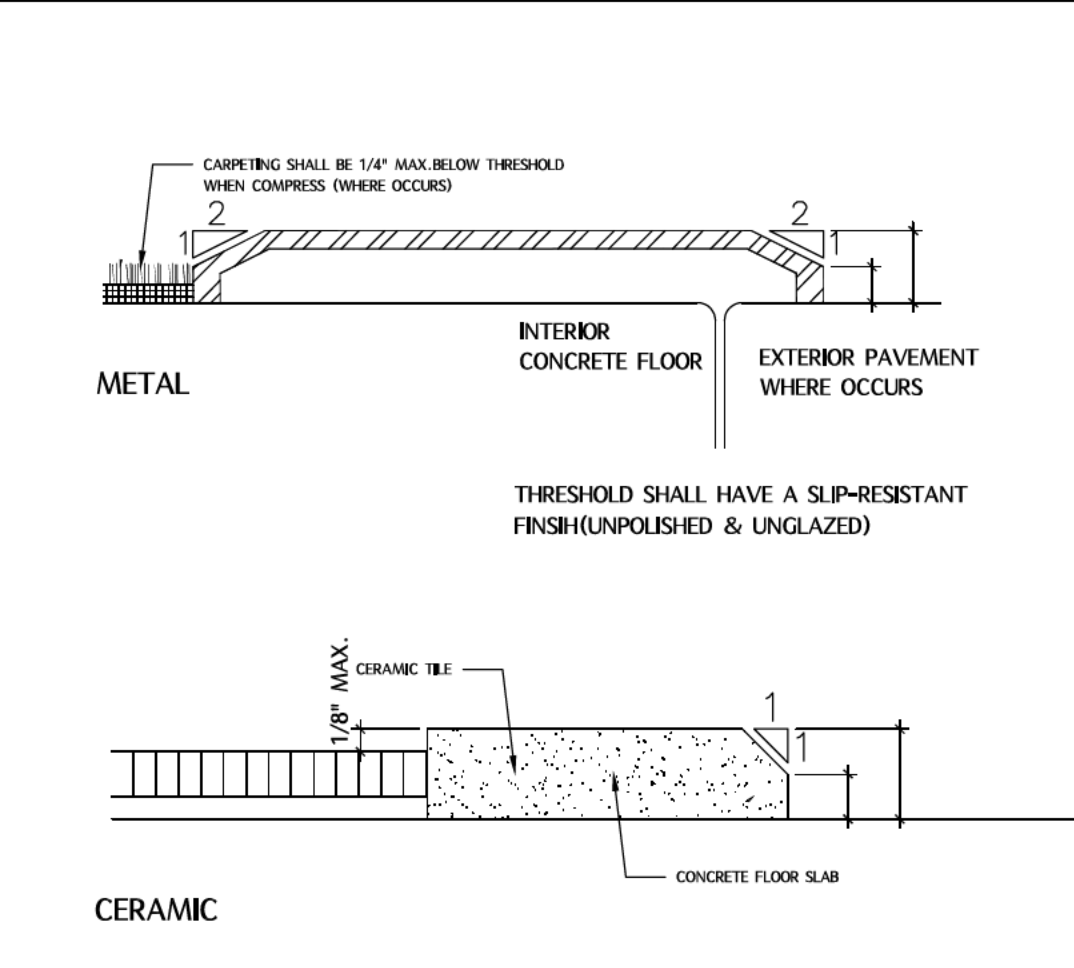
8 ACCESSORIES HEIGHT NTS



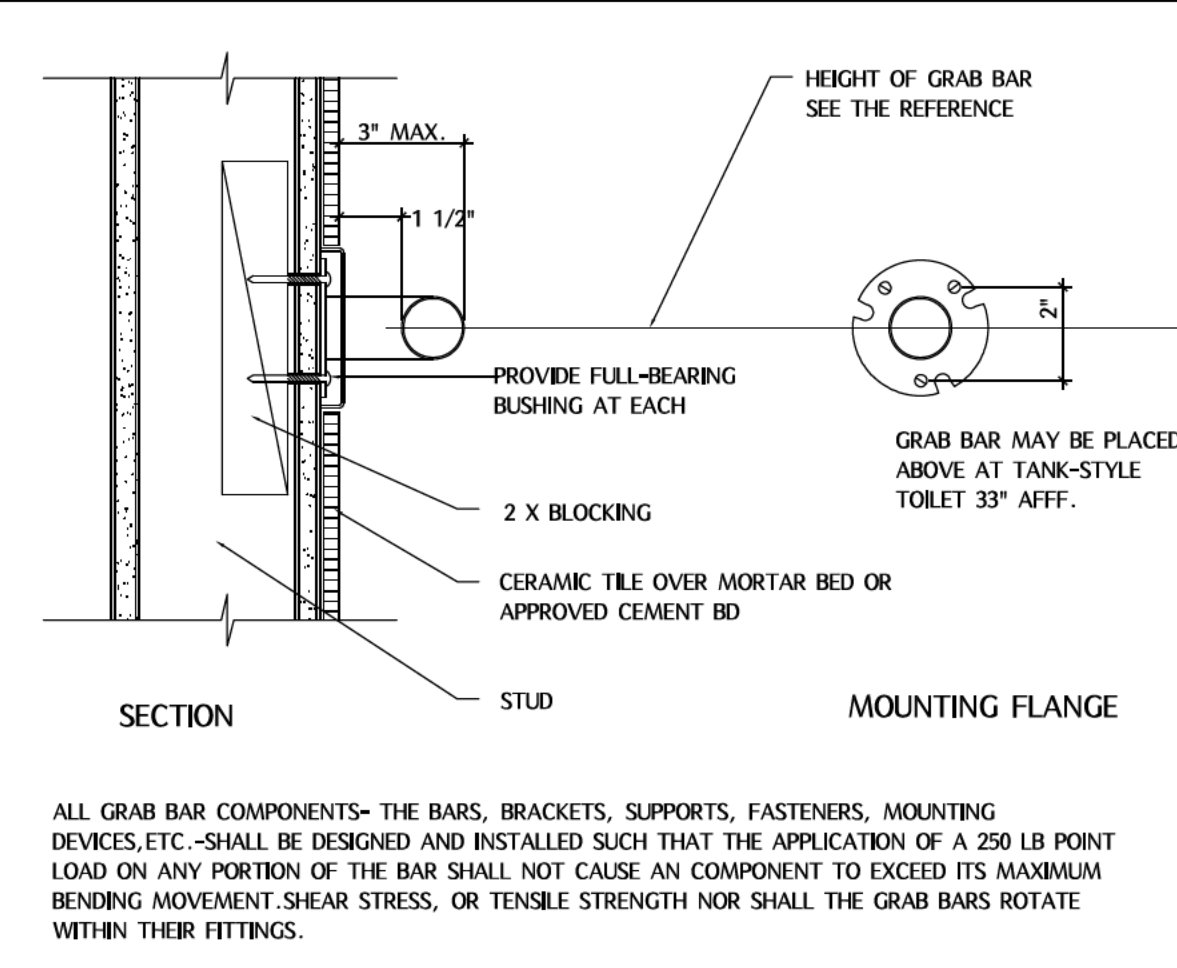
7 SWITCH & OUTLET HEIGHTS NTS



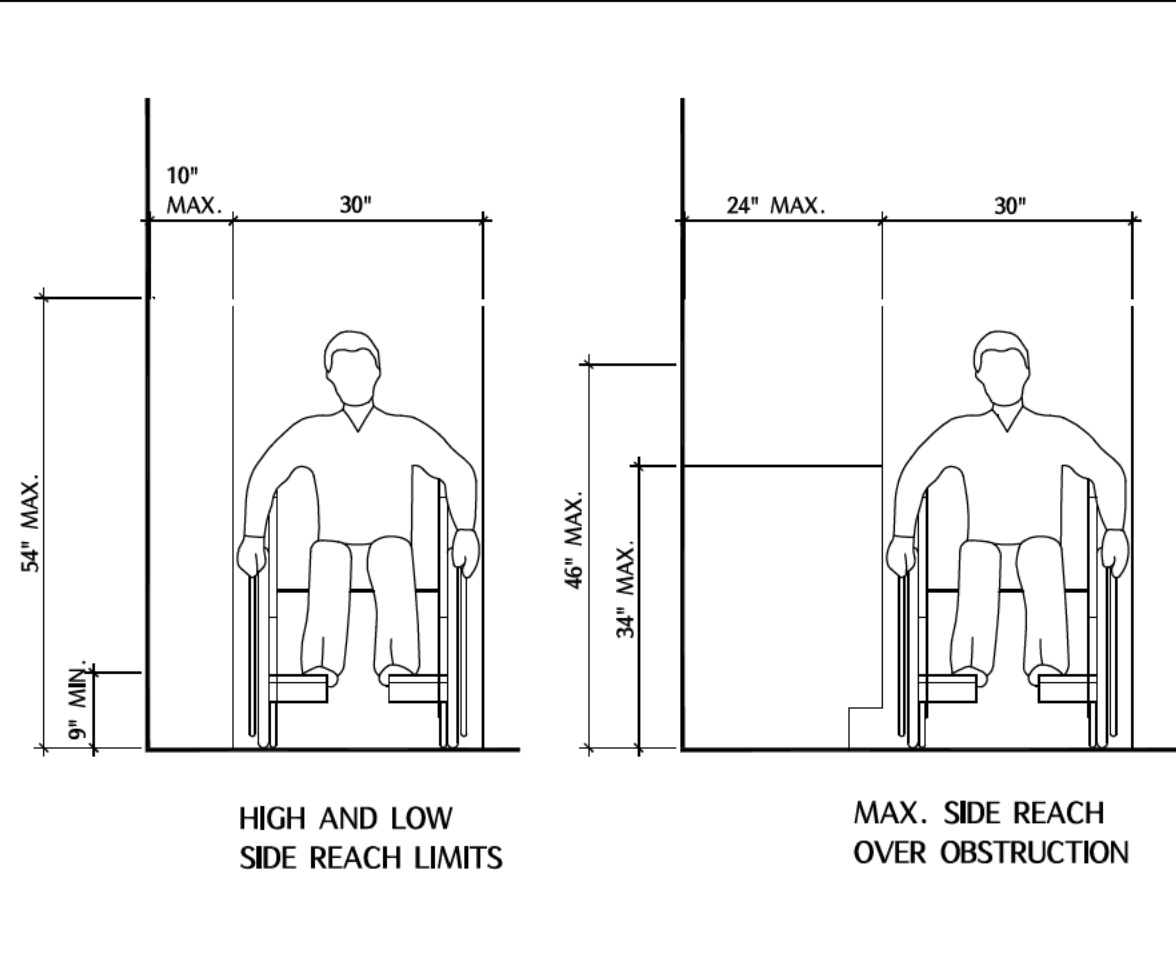
10 RESTROOM SIGN NTS



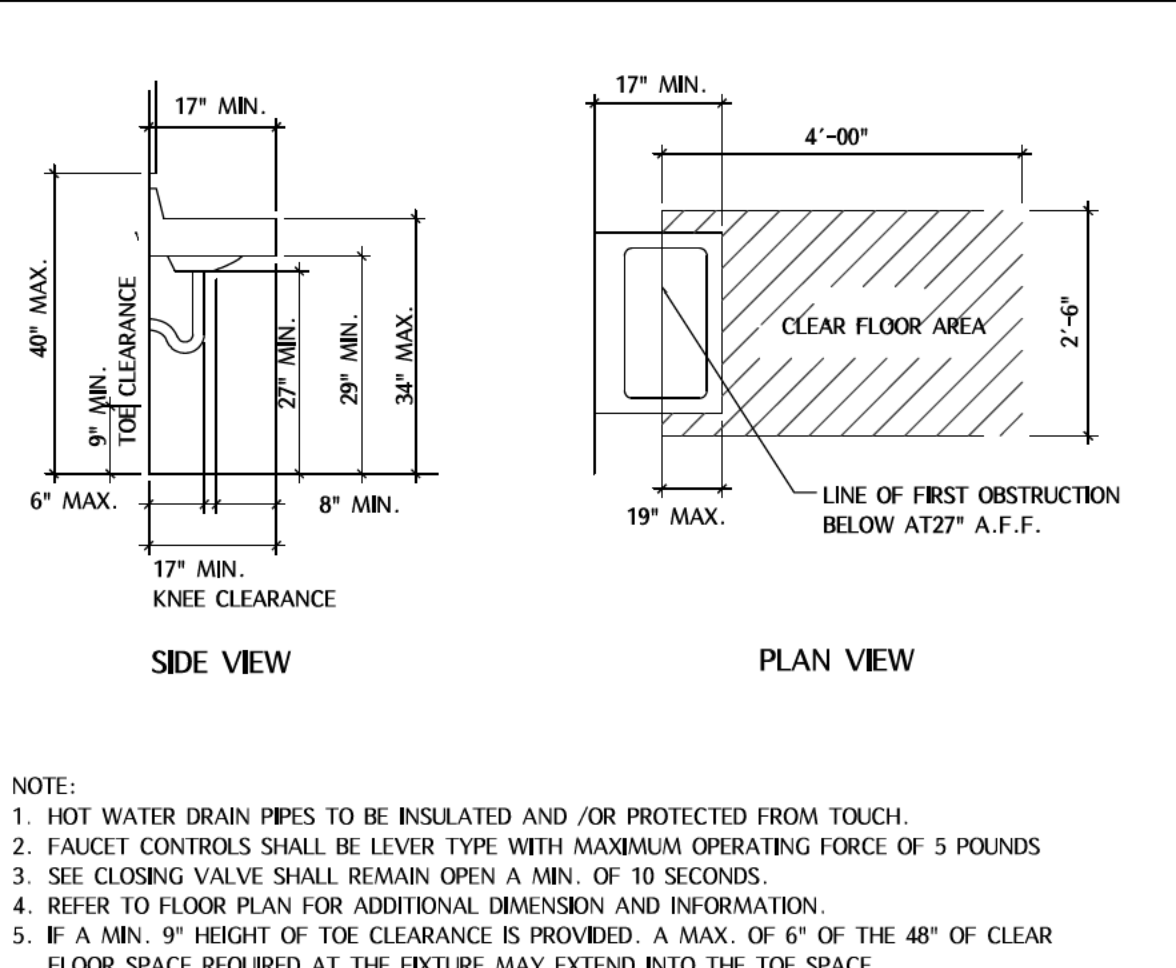
9 H.C. DOOR (TYP.) NTS



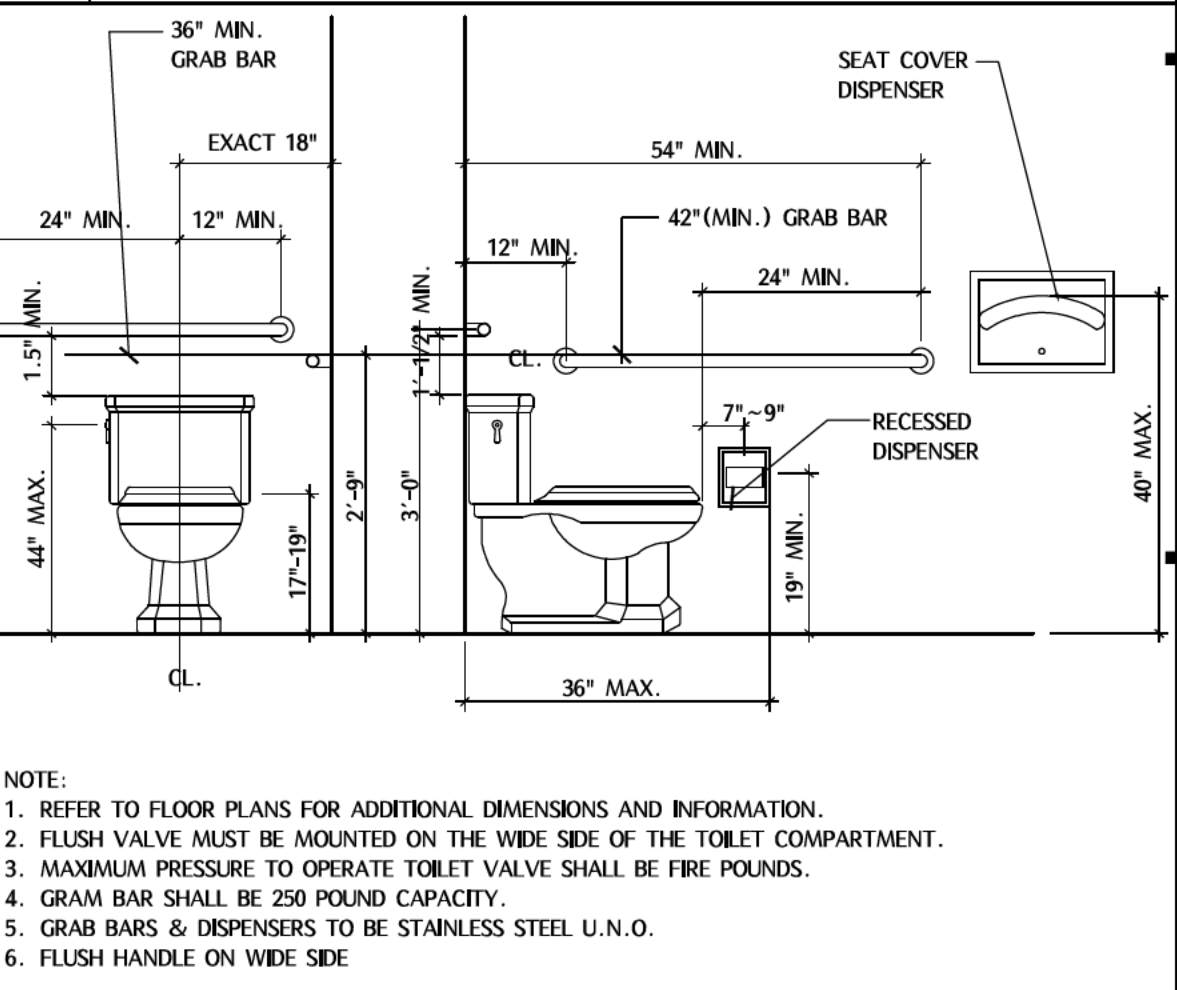
3 WATER CLOSET SIDE REACH LIMITS NTS



2 LABORATORIES NTS



12 N/A



4 TYP. GRAB BAR DETAIL NTS



1 LABORATORIES NTS



1 CLEAR AREAS AT DOORS NTS



DATE	
REVISION/ISSUE	
NUMBER	

JNF ASSOCIATES
JNF
ARCHITECTURE
1220 N. STEWARTS FRWY #303
DALLAS, TX 75234
214-908-1139
J.NF.ASSOCIATES@GMAIL.COM

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SUITE COMBING & PARTIAL INTERIOR REMODELING
D20 TAVERN
112 WEST OAK ST., SUITE #112-100
DENTON, TX 76201

REFERENCE NUMBER	
SHEET TITLE	
SHEET NUMBER	

A1.03

MECHANICAL GENERAL NOTES

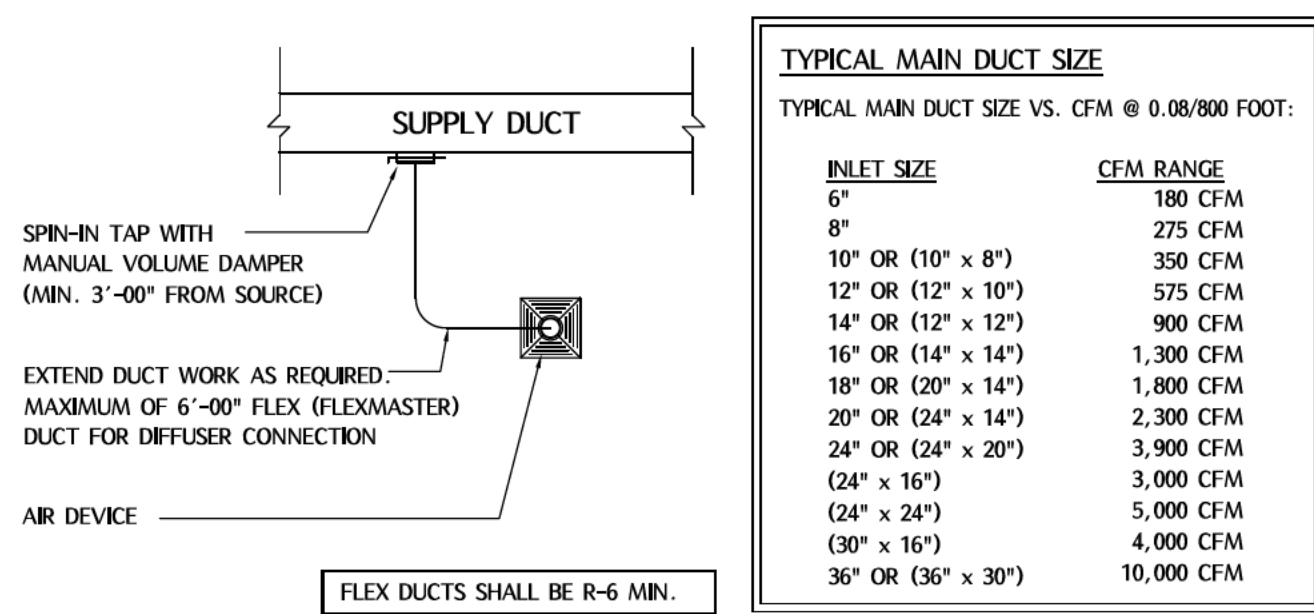
- CODES, RULES AND REGULATIONS
 - ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES AND CODES.
 - WHEN THE DRAWINGS CALL FOR MATERIALS OR CONSTRUCTION OF A BETTER QUALITY OR LARGER SIZES THAN REQUIRED BY THE ABOVE MENTIONED CODES AND RULES, WORK SHALL BE AS SPECIFIED OR SHOWN RATHER THAN AS REQUIRED BY CODE. ALL ITEMS OR FEATURES OF THE MECHANICAL SYSTEMS REQUIRED BY CODE SHALL BE INCLUDED, EVEN THOUGH NOT SPECIFIED HEREIN.
 - INSTALLATION OF THE SYSTEMS SHALL BE IN ACCORDANCE WITH THE ABOVE MENTIONED CODES AND REGULATIONS AND ALSO SHALL CONFORM TO GOOD, ACCEPTED MECHANICAL PRACTICES.
- ALL OUTDOOR AIR INTAKES BY MECHANICAL EQUIPMENT SHALL HAVE A MINIMUM 10'-0" HORIZONTAL CLEARANCE FROM THE DISCHARGE OF ANY EXHAUST FAN, COMBUSTION EXHAUST OR PLUMBING VENT.
- CONTRACTOR SHALL SUBMIT ALL EQUIPMENT AND MATERIAL SPECIFICATIONS TO THE OWNER PRIOR TO CONSTRUCTION.
- ALL HVAC LABOR AND MATERIALS SHALL BE COVERED BY WRITTEN ONE YEAR WARRANTY.
- ALL DUCT SIZE SHOWN ON PLANS ARE CLEAR INSIDE DIMENSIONS.
- SUPPLY, RETURN, RESTROOM EXHAUST DUCT CONSTRUCTION SHALL BE GALVANIZED STEEL. GAUGES, SWAY BRACING AND SUSPENSION SHALL CONFORM TO SMACNA STANDARDS. SEAL ALL SEAMS AND JOINT AIR AND WATERTIGHT. FLEXIBLE ALUMINUM DUCTWORK OR FIBERGLASS DUCTBOARD IS NOT ALLOWED (UNO)
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES.
- THE MECHANICAL CONTRACTOR SHALL COORDINATE ALL DUCT AND DIFFUSER LOCATIONS WITH LIGHT FIXTURES AS WELL AS SPRINKLER PIPING AND HEADS(WHERE INCLUDED IN THE PROJECT) FOR A COMPLETE INSTALLATION.
- THE LOCATION OF ALL ROOF PENETRATIONS SHALL BE COORDINATED WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- ALL SUPPLY AND RETURN AIR DUCTWORK IN CONCEALED SPACES TO BE WRAPPED WITH 1" THICK 0.75 LB/FT3 DENSITY FIBERGLASS INSULATION. JOINTS TO OVERLAP 3" MINIMUM.
- MANUAL VOLUME DAMPERS OR ADJUSTABLE EXTRACTORS TO BE INSULATED IN ALL BRANCH TAKE-OFFS. ALL DAMPERS ARE TO HAVE LOCKING QUADRANTS.
- FLEX DUCT IS ACCEPTABLE ON THIS PROJECT.
- PROVIDE UNISTRUT AND 3/4" TREADED ROD TO HANG AIR HANDLER UNIT.
- ALL DUCTS/VENTS TERMINATING AT EXTERIOR OF BUILDING MUST BE PAINTED TO MATCH EXTERIOR BUILDING COLOR AND MUST HAVE SCREENS TO PREVENT ENTRY OF BIRDS AND OTHER WILDLIFE.

LEGEND

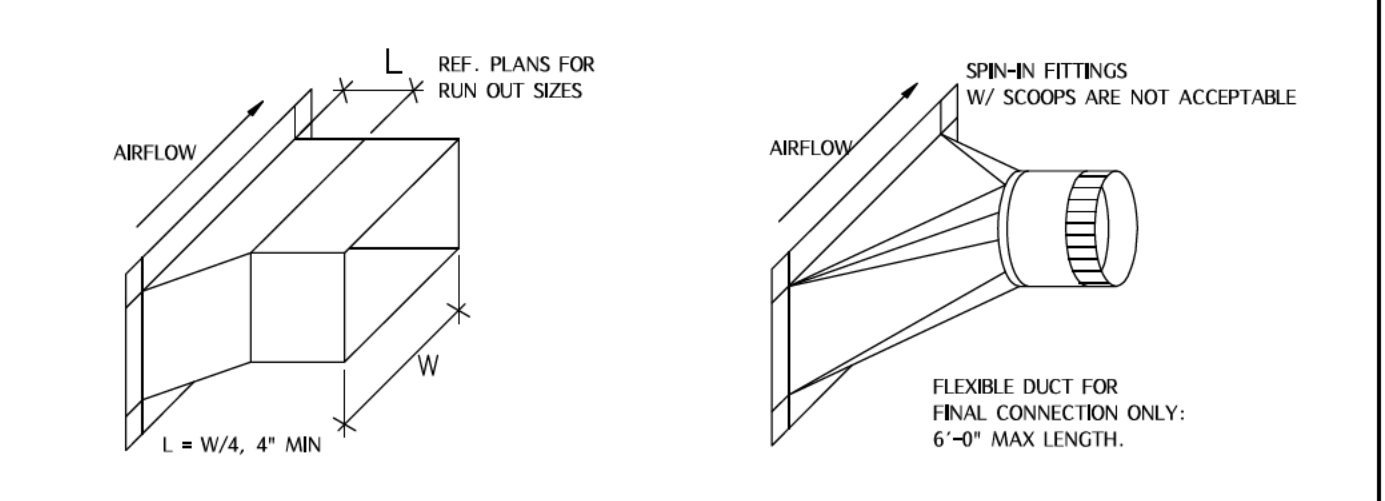
SYMBOL	DESCRIPTION
	AIR LAY IN SUPPLY DIFFUSER 24"X24"
	RAGR RETURN GRILLE 24"X24"
	SMOKE DETECTOR IN RETURN AIR DUCT > 2,000 CFM
	BLDG. STANDARD EXHAUST FAN WITH SWITCH AS REQUIRED BY CODE - WHITE

ALL SYMBOLS NOT NECESSARILY USED

TYP. DUCT DETAIL (TYP.)

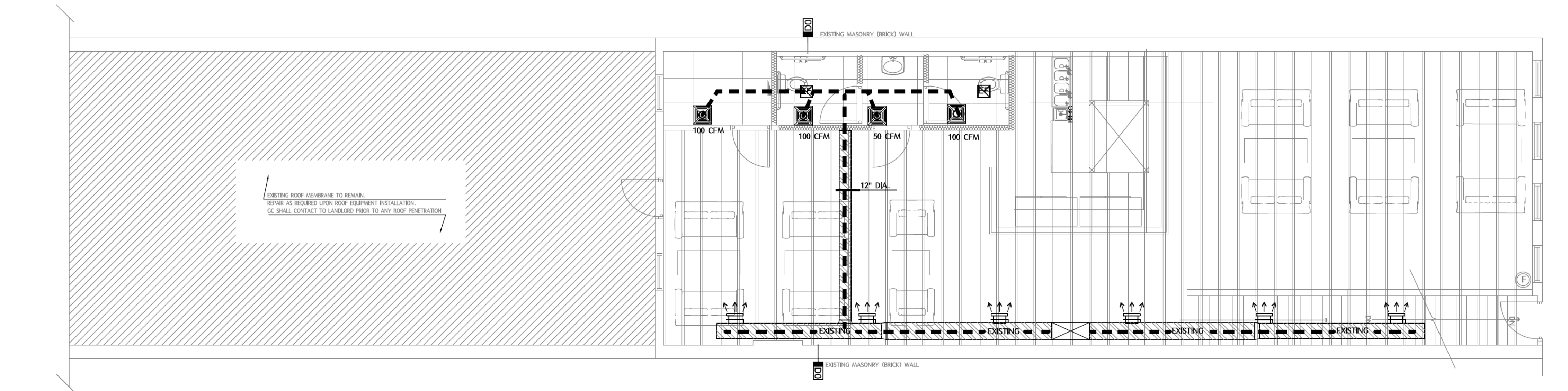
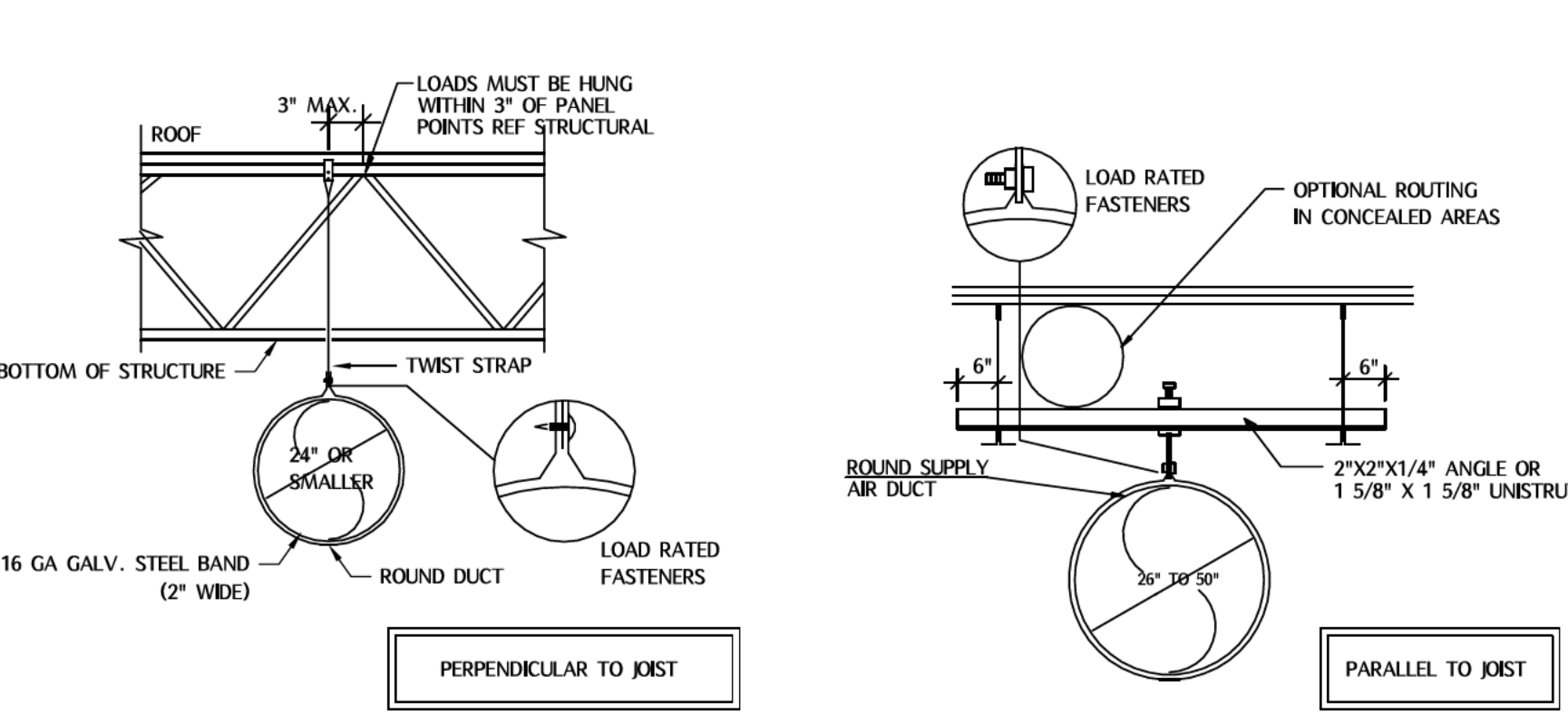


BRANCH DUCT FITTING



MECHANICAL KEYED NOTES

- 1 EXISTING DUCT TO REMAIN
- 2 EXISTING RTU TO REMAIN
- 3 N/A
- 4 N/A



ELECTRIC HOT WATER HEATER SCHEDULE

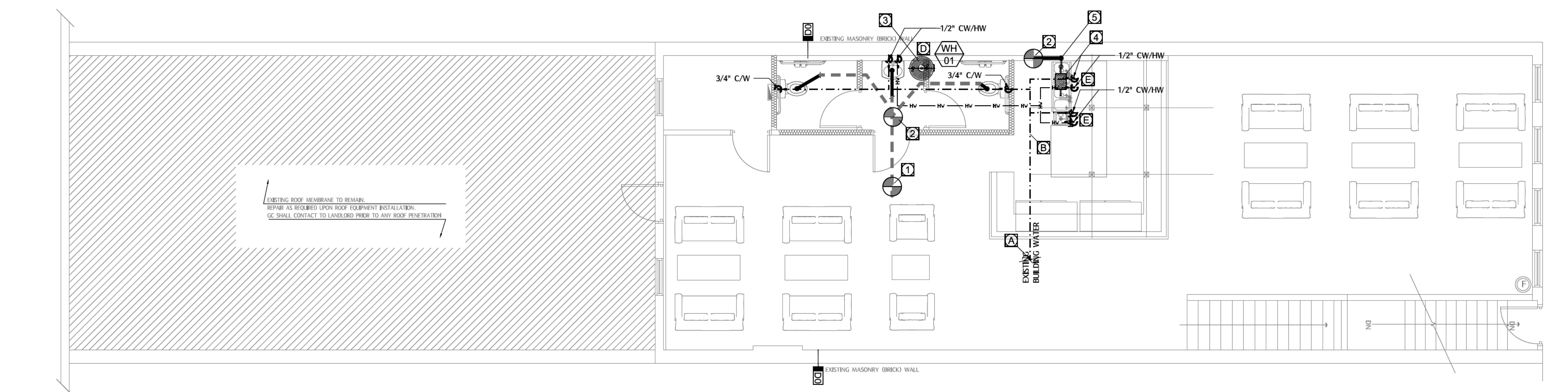
MARK	QTY	DESCRIPTION
WH-01	1	STATE INDUSTRIES ELECTRIC WATER HEATER, LIGHT DUTY LOWBOY TOP CONNECT, SERIES: PATRIOT, 50 GAL TANK, 208 VAC, 3000 W, 3 PH, 3/4 IN FNPT WATER CONNECTION, (2) ZINC PLATED COPPER SHEATH HEATING ELEMENT, 17 GPH AT 36 DEG F RISE RECOVERY, 150 PSI, 120 TO 181 DEG F, ASME YES/NO, BAKED ENAMEL, 26-1/2 IN DIA X 32-1/4 IN H

- REMARKS**
- PROVIDE WITH A CIRCULATION PUMP AND ALL APPURTENANCES.
 - PROVIDE AND INSTALL PLENUM GRADE FLUE/EXHAUST AND AIR INTAKE PER MANUFACTURES REQUIREMENTS.
 - PROVIDE WITH EXPANSION TANK IF APPLICABLE.

THERMOSTATIC MIXING VALVE SCHEDULE

MARK	MANUFACTURER	MODEL #	PRESSURE DROP	INLET HOT WATER		INLET COLD WATER		OUTLET COLD WATER		DESCRIPTION / REMARKS
				TEMP.	FLOW	TEMP.	FLOW	TEMP.	FLOW	
TMV	ARMSTRONG RADA	110	30 PSI		.5 GPM		.5 GPM		1.0	SEE NOTE #1

- NOTES:**
1. BRONZE BODY THERMOSTATIC MIXING VALVE WITH INTEGRAL FILTER WASHERS AND CHECK VALVES AND AN ADJUSTMENT CAP WITH LOCKING FEATURE. VALVE SHALL BE ASSE 1016, 1017 AND 1070 LISTED. IF VALVE SERVES WALL HUNG LAVATORY OR HAND SINK, LOCATE VALVE IN WALL DIRECTLY BEHIND A 12"x12" ACCESS PANEL WITH LOCKING COVER. COORDINATE LOCATION WITH ARCHITECT. IF VALVE SERVES A COUNTERTOP LAVATORY, LOCATE VALVE BELOW LAVATORY WITHIN CABINET. IF VALVE SERVES MULTIPLE LAVATORIES OR HAND SINKS, VALVE SIZE SHALL BE AS FOLLOWS: 1-2 LAVATORIES (1/2"), 3-4 LAVATORIES (3/4") AND 5-6 LAVATORIES (1").



PLUMBING KEYED NOTES (DOMESTIC WATER SUPPLY)

- A APPROXIMATE LOCATION OF EXISTING OVERHEAD WATER MAIN. FIELD VERIFY EXACT LOCATION AND SIZE.
- B CONNECT TO EXISTING WATER LINE ABOVE CEILING. FIELD VERIFY EXACT LOCATION AND SIZE. PROVIDE VALVE AT CONNECTION. PROVIDE REMOTE READING SUB-METER AS REQUIRED BY LANDLORD BASE BUILDING WATER METER READING SYSTEM. CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS WITH THE LANDLORD PRIOR TO CONSTRUCTION.
- C N/A
- D PROVIDE ELECTRIC WATER HEATER WH-1 WITH 1" COLD & HOT WATER CONNECTIONS. INSTALL WATER HEATER ON 18" TALL ANGLE IRON PLATFORM. ROUTE WATER HEATER T&P DISCHARGE AND DRAIN LINE TO MOP SINK.
- E PROVIDE THERMOSTATIC MIXING VALVE (TMV-1) BLOW FUTURE TO TEMPER HOT WATER SUPPLY TO FUTURE AT A MAXIMUM OF 100

PLUMBING KEYED NOTES (WASTE & VENT)

- 1 APPROXIMATE LOCATION OF EXISTING UNDER SLAB SANITARY. FIELD VERIFY EXACT LOCATION AND SIZE.
- 2 CONNECT TO EXISTING SANITARY SEWER LINE BELOW SLAB. FIELD VERIFY EXACT LOCATION AND SIZE.
- 3 ROUTE WATER HEATER T&P DISCHARGE AND DRAIN LINE TO "P" TRAP OF HAND SINK
- 4 GREASE TRAP UNDER SINK TYPE
- 5 SAMPLE TEE
- 6 N/A
- 7 N/A
- 8 N/A

02 HVAC PLAN
3/16"=1'-00"

01 PLUMBING PLAN
3/16"=1'-00"



PROJECT NAME / ADDRESS

SUITE COMBINING & PARTIAL INTERIOR REMODELING
D20 TAVERN
112 WEST OAK ST, SUITE #112-100
DENTON, TX 76201

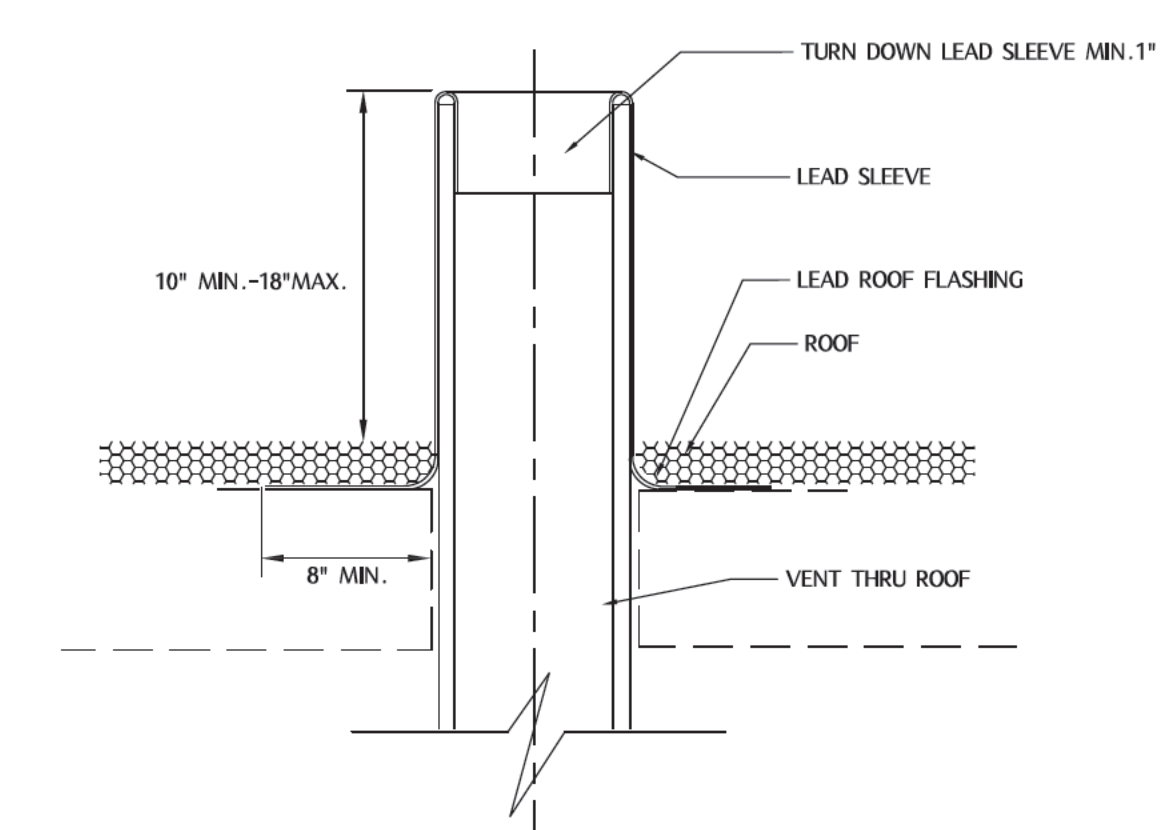
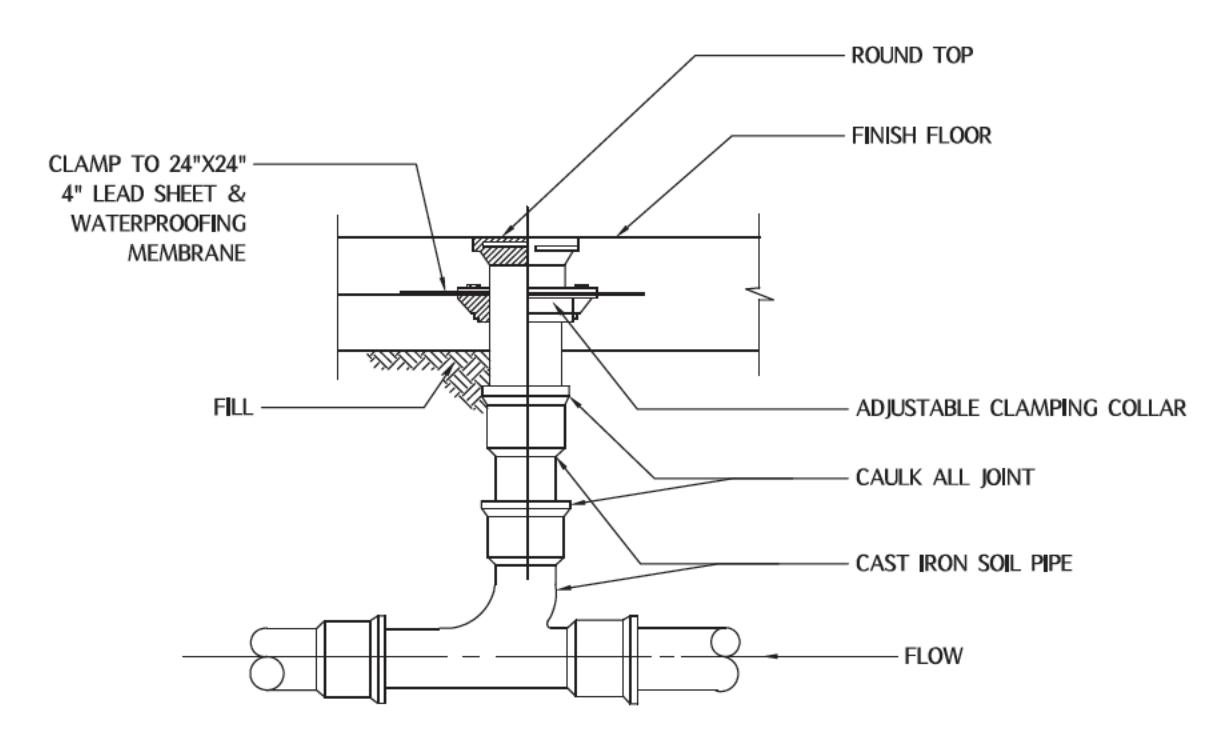
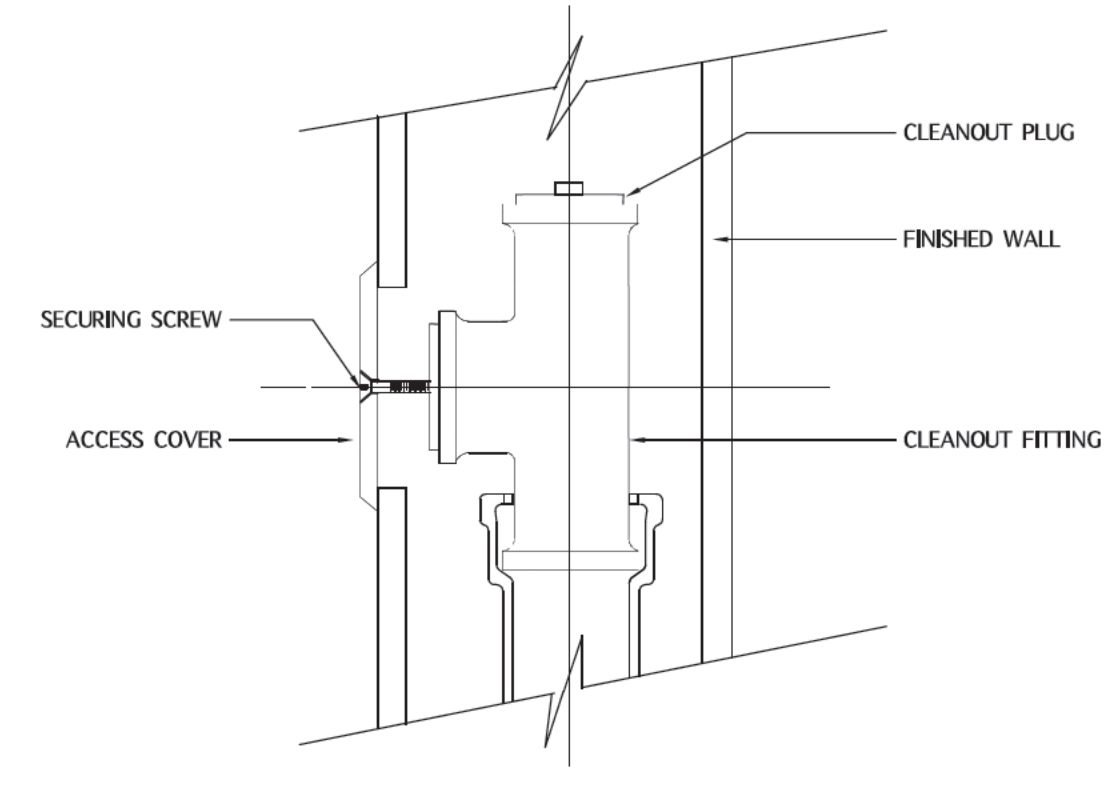
REFERENCE NUMBER

SHEET TITLE

SHEET NUMBER

MEP.4

DATE	
REVISION/ISSUE	
NUMBER	

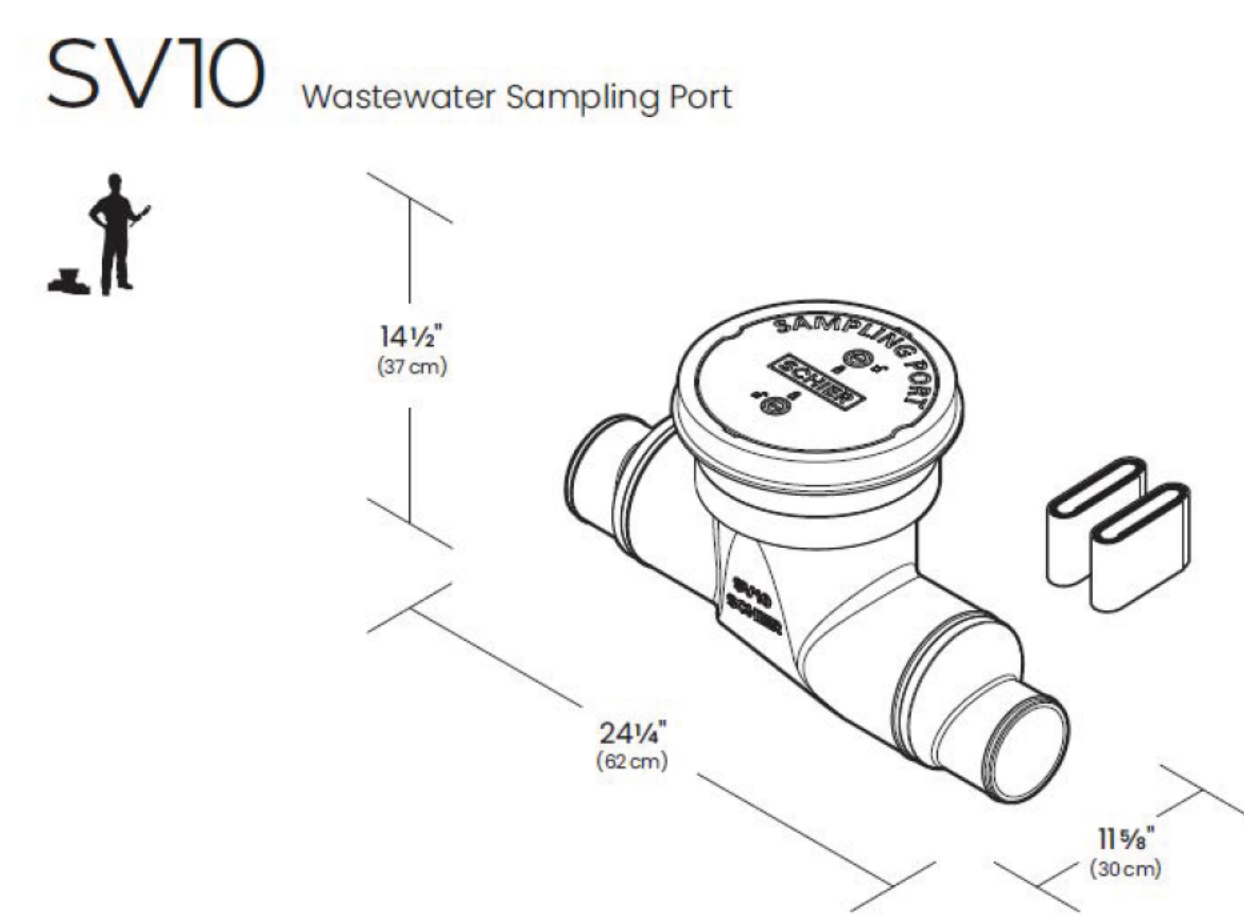


1 EXTERIOR TWO WAY CLEAN OUT NTS

2 WALL CLEAN OUT NTS

3 FLOOR CLEAN OUT NTS

4 VENT THRU DETAIL NTS



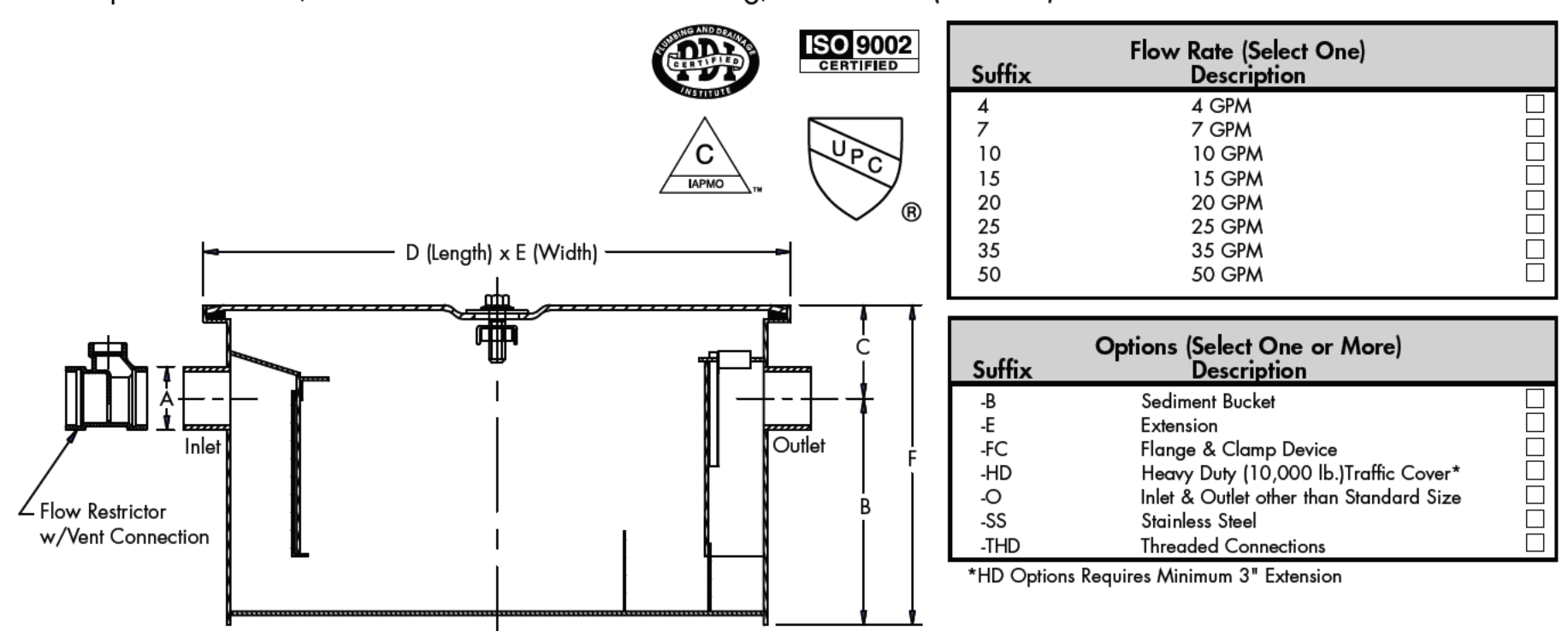
Standard
 Locations: Indoor/Outdoor
 Installation: Above/Below grade
 Weight: 9 lbs.
 Connections: 4\"/>

Options
 FCRI0 (x)0 - 3\"/>



WD Series
PDI Certified Grease Interceptor

SPECIFICATION: Watts Drainage WD Series PDI Certified recessed or floor mounted epoxy coated steel grease interceptor with gasketed epoxy coated steel skid-proof cover secured with hex head center bolt(s), removable baffle assembly, deep seal trap with cleanout, external cast iron flow control fitting, and no hub (standard) connections.

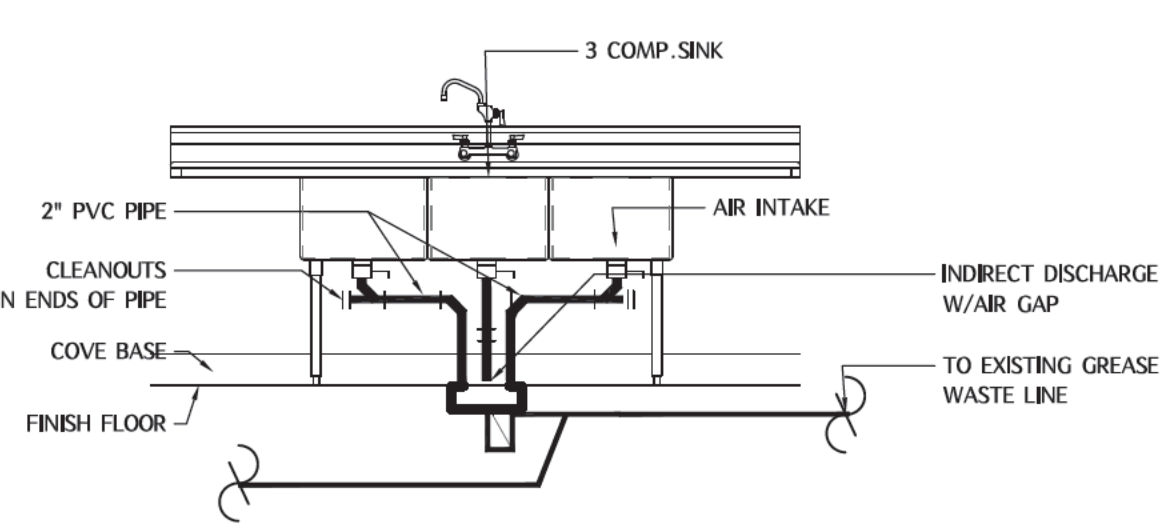


Suffix	Flow Rate (Select One) Description
4	4 GPM
7	7 GPM
10	10 GPM
15	15 GPM
20	20 GPM
25	25 GPM
35	35 GPM
50	50 GPM

Suffix	Options (Select One or More) Description
-B	Sediment Bucket
-E	Extension
-FC	Flange & Clamp Device
-HD	Heavy Duty (10,000 lb.) Traffic Cover*
-O	Inlet & Outlet other than Standard Size
-SS	Stainless Steel
-THD	Threaded Connections

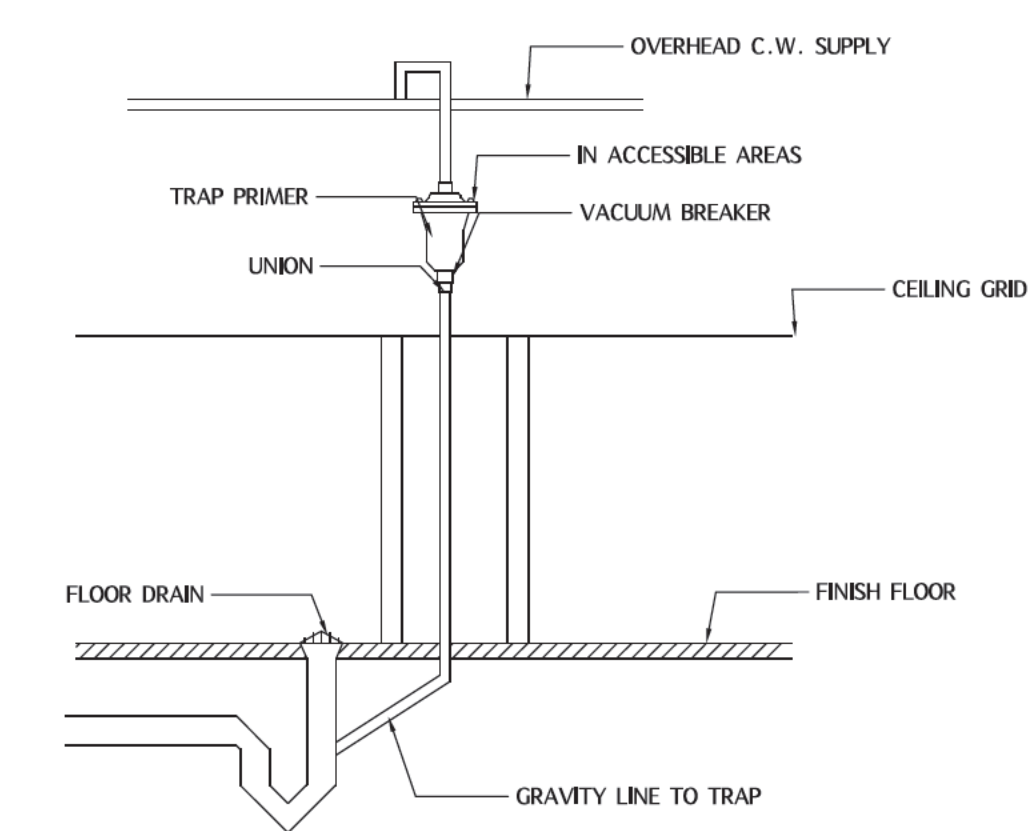
*HD Options Requires Minimum 3\"/>

Interceptor Catalog Number	Flow Rate GPM	Grease Capacity lbs.	A Inlet & Outlet	B Base to Center	C Top to Center	D Length	E Width	F Height
WD-4	4	8	2\"/>					



ARRANGEMENT SHOWN IS SCHEMATIC, ADJUST TO SUIT FIELD CONDITIONS OR MEET LOCAL CODE REQUIREMENTS. COPPER PIPE, FITTINGS AND CONNECTORS ALL AROUND SINK AND TRAP. CONNECT TRAP FROM CENTER COMPARTMENT

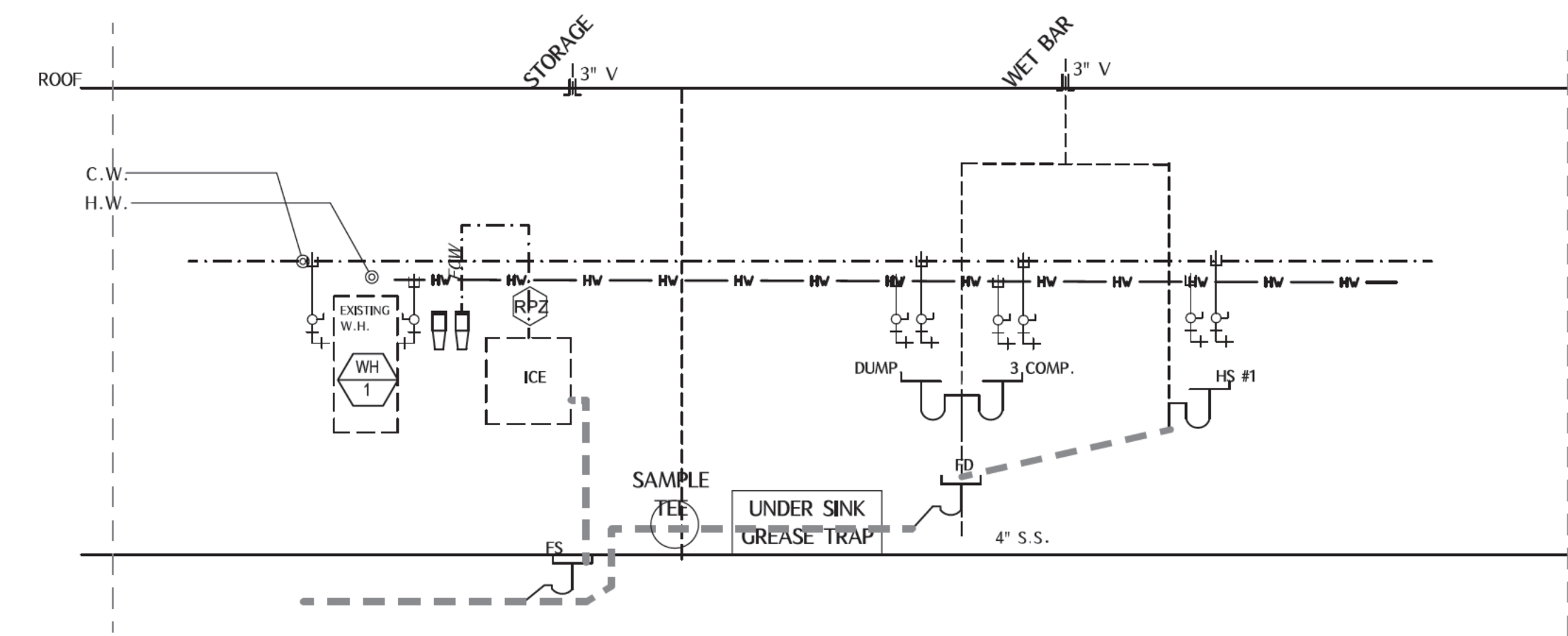
5 3 COMP. SINK NTS



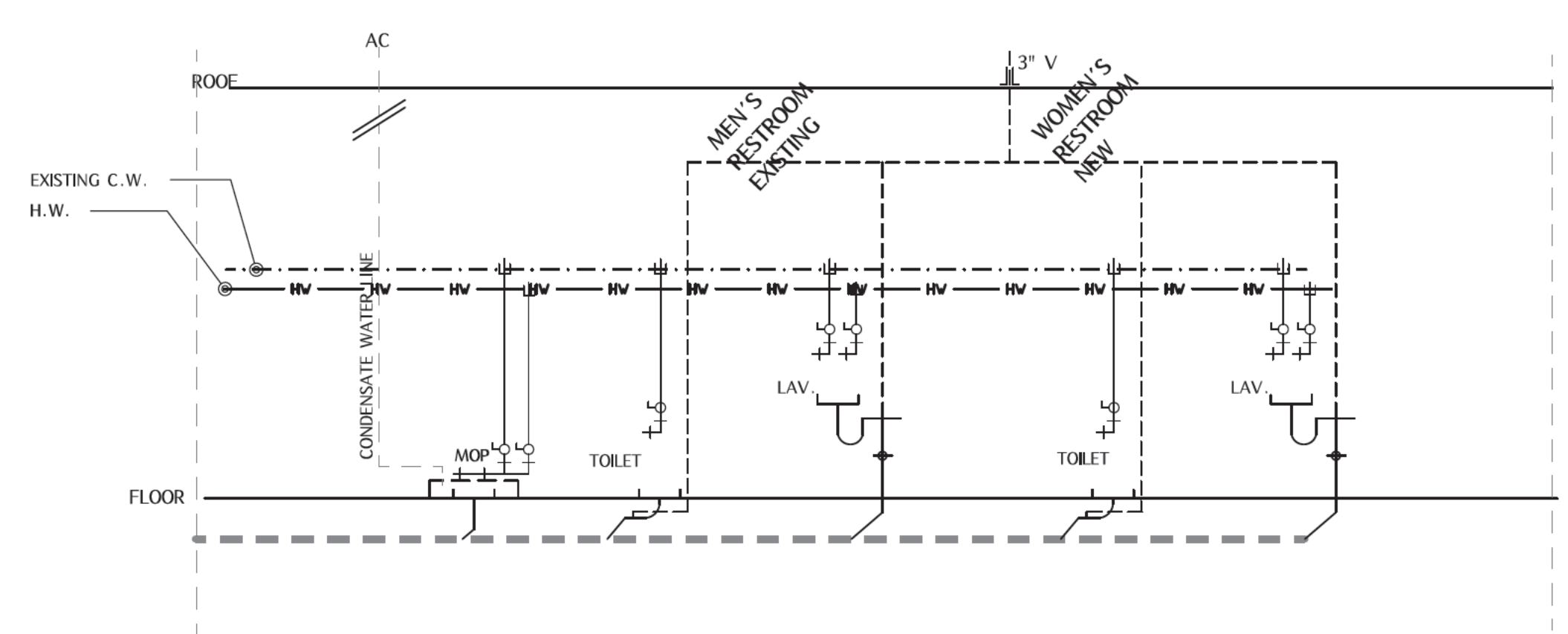
6 TRAP PRIMER DETAIL (TYP.) NTS

6 SAMPLE TEE NTS

7 GREASE TRAP ABOVE GROUND NTS



02 PLUMBING RISER DIAGRAM #2 (GREASE LINE) NTS



01 PLUMBING RISER DIAGRAM #1 (NON GREASE LINE) NTS



12200 N. STEINBOSS FRYWY #933
 DALLAS TX 75234
 214-909-1139
 J.NF.ASSOCIATES@GMAIL.COM

PROJECT NAME / ADDRESS

SUITE COMBINING & PARTIAL INTERIOR REMODELING
D20 TAVERN
 112 WEST OAK ST, SUITE #112-100
 DENTON, TX 76201

REFERENCE NUMBER

SHEET TITLE

SHEET NUMBER

MEP.5

April 2, 2026

d20 Keep

112 W. Oak St., Suite 200

**Kristen Pulido
Main Street Program Manager
Office of Economic Development**

FY 25/26 Downtown Reinvestment Grant Budget Status

FY 25/26 Downtown Reinvestment Grant Pipeline Stage		
Status	Total	Est. Amount Awarded
Application Review	2	\$107,500
Awaiting Application	2	\$200,000
Leads	2	\$50,000
TOTALS	6	\$357,500

Projected 25/26 Tax Increment Reinvestment Zone Number One Grants			
Phase	Owner/Business	Address	Requested Amount
COUNCIL	Fine Arts Theater of Denton, LLC	115-116 N. Elm St.	\$50,000
COUNCIL	West Oak Coffee Bar	114 W. Oak St.	\$50,000
COUNCIL	West Oak Coffee Bar	114. W. Oak St.	\$50,000
TIRZ 1	Brakefield Pools	520 S. Elm St.	\$10,000
TIRZ 1	325 W. McKinney St.	325 W. McKinney	\$50,000
TIRZ 1	Ruby Rodeo/Red Italian	122 N. Locust	\$50,000
DEDC	d20 Keep	112 W. Oak St.	\$23,031
		TOTAL	\$283,031
		<i>FY 25/26 Grant Budget</i>	<i>\$200,000</i>
		<i>Est. Fund Balance</i>	<i>(\$83,031)</i>

ALIGNMENT WITH CITY PLANS

- **City's Strategic Plan**
 - Key Focus Area 3: Foster Economic Opportunity and Affordability
 - Grow Denton's Economic Vitality
 - Key Focus Area 4: Strengthen Community and Quality of Life
 - Preserve Community Character and Identity
 - Strengthen Community Amenities
- **Economic Development Strategic Plan**
 - 2D.2 Downtown Development
- **Design Downtown Plan**
 - Community Priority: Retail and Commercial Development

BACKGROUND

- 2022 – Mark Michnevitz opens d20 Tavern
 - A craft beer and boardgame venue.
 - Features 20 local craft beers and over 400 tabletop games

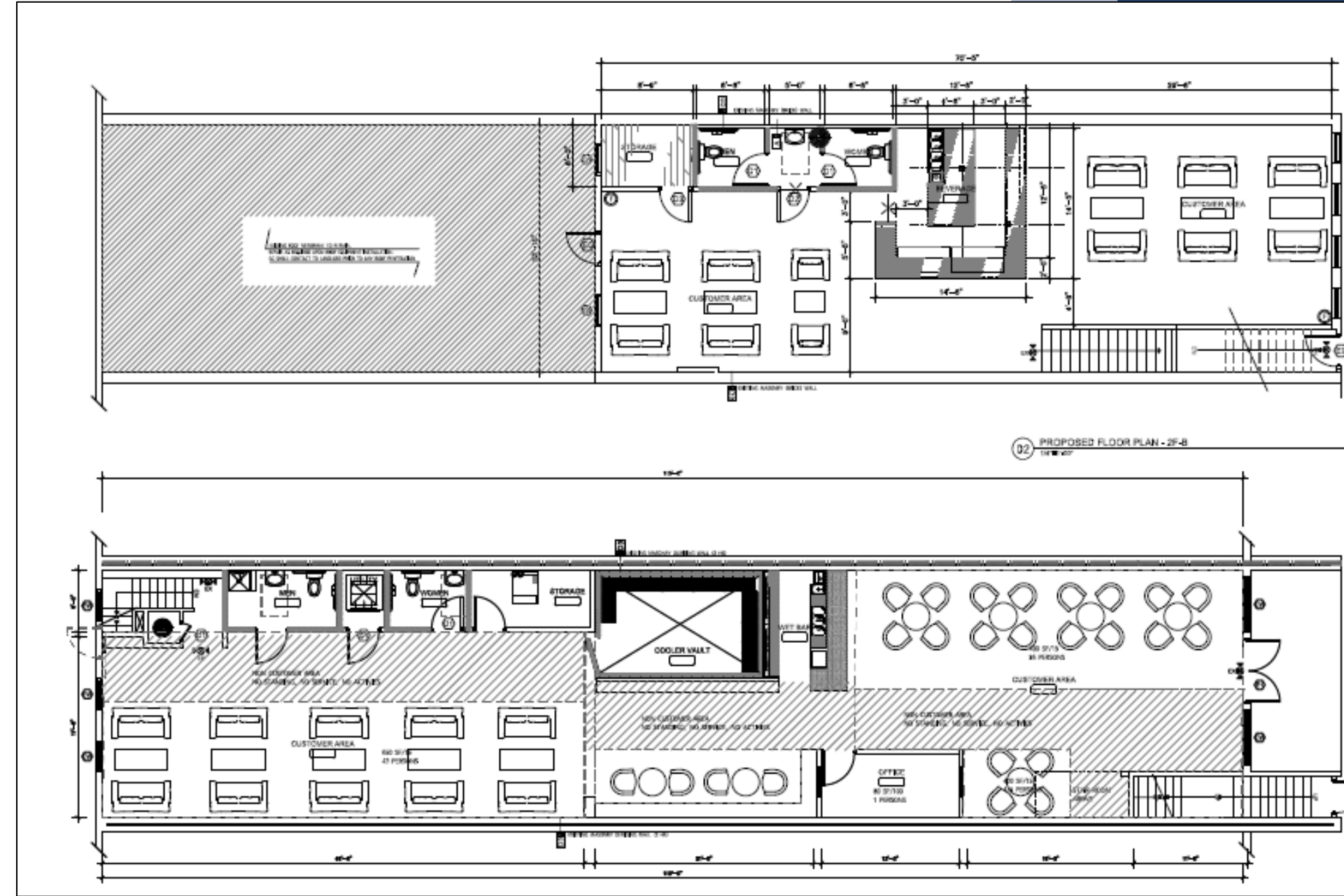
PROJECT

- After more than four years of successful operations, d20 plans to expand into the building's second floor. The new space, branded as "d20 Keep," will offer a similar experience to d20 Tavern.
 - Adds 1760 square feet
 - 29 more occupants
 - Adds a bar and restrooms, as well as completing interior restoration.



UTILITY UPGRADES

- Mechanical
- Electrical
- Plumbing
- **Projected Cost: \$45,242**



INTERIOR/ CODE IMPROVEMENT

- ADA grab bar
- **Projected Cost: \$820.00**

ELIGIBLE EXPENSES

Projected Project Cost: \$46,062

TOTAL Capital Investment: \$99,638

112 W. Oak St. Suite 200, d20 Keep - Grant Application

Project Category	Estimated Cost	Grant Limit
Utility Upgrades	\$45,242	\$22,621
Interior/Code Improvement	\$820.00	\$410.00
Total Project Cost	\$46,062	\$23,031
Total Grant Request:	\$23,031	

SCORING

Downtown Reinvestment Grant Scoring Sheet



<https://forms.office.com/g/2RqhSzTWMc>

NEXT STEPS:

- Recommend approval of the amount determined by the DEDC scoring for submission to the Tax Increment Reinvestment Zone Number One Board.
- Recommend approval of an amount below the DEDC scoring recommendation to the Tax Increment Reinvestment Number One Board.
- Do not recommend approval of grant application.

Questions?

Mark Michnevitz
Owner, d20 Tavern and d20 Keep



City of Denton

City Hall
215 E. McKinney Street
Denton, Texas
www.cityofdenton.com

AGENDA INFORMATION SHEET

DEPARTMENT: Economic Development

ACM: Christine Taylor, Assistant City Manager

DATE: April 2, 2026

SUBJECT

Staff Reports:

1. Denton Main Street Report – Kristen Pulido
2. Future Agenda Items – Brittany Sotelo

BACKGROUND

Denton Main Street Program Update

Receive a report, hold a discussion regarding a recap of Denton Main Street's Quarterly activities.

Future Agenda Items

An overview of current items in the Agenda Queue and discussion of possible future agenda items.

EXHIBITS

Exhibit 1 - Agenda Information Sheet

Exhibit 2 – Main Street Program Update

Exhibit 3 – Future Agenda Items

Respectfully submitted:
Matilda Weeden
Economic Development Specialist



Main Street Quarterly Report

Kristen Pulido
Office of Economic Development
Main Street Program Manager

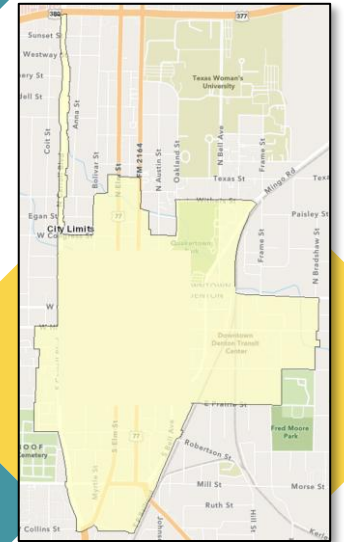
Main Street 4-point Approach

Preservation based Economic Development



Downtown Reinvestment Grant

The Downtown Reinvestment Grant promotes Denton and its unique character through the redevelopment and revitalization of Downtown, historic preservation, community involvement, and by providing educational and technical assistance to business and property owners.



FY 25-26 Tax Increment Reinvestment Zone Number One (Downtown) Grants

Owner/Business	Address	Type	Amount	Approved By				Reimbursement	Completed
				DEDIC	TIRZ	Council	Construction		
Fine Arts Theater, LLC	115-116 N. Elm St.	Fire Suppression	\$50,000	X	X		X		
West Oak Coffee Bar	114 W. Oak St.	Facade/Building Rehab, Utility Upgrades	\$50,000	X	X		X		
West Oak Coffee Bar	114 W. Oak St.	Fire Suppression	\$50,000	X	X		X		
Brakefield's Pool Service	520 S. Elm St.	Sign/Painting	\$10,000	X	X				
Mister Red, LLC (Ruby Rodeo/Red: Italian Restaurant)	122 N. Locust St.	Facade/Building Rehab, Interior/Code Improvements	\$50,000	X	X		X		
325 W. McKinney	325 W. McKinney St.	Facade/Building Rehab, Utility Upgrades	\$50,000	X	X		X		
D20 Keep	112 W. Oak	Utility Upgrades	\$23,031	4.2.26					
124 W. Oak	124 W. Oak	Awning	\$4,250	6.4.26					
380 Incentive Grant									
Axis Realty/Fine Arts Theater	113 N. Elm	380 Incentive Grant	\$1,076,366	X	X	X	X		
Axis Realty/Fine Arts Theater	113 N. Elm	380 Incentive Grant	\$544,503	X	X	X	X		
Total			\$1,908,117						

Q1 Downtown Opening & Closings

Business Name	Location	Jobs (gained)	Jobs (lost)
January-March			
Openings			
Neon Séance Salon – Creative Hair Salon	903 N. Elm	5	
Archive Haus – Photography Studio/Event Venue	101 N. Austin	2	
The Tasting Gathering – Co-share kitchen and artisan market	508 S. Elm	5	
Two Golconda Xpress Food Trucks	400 S. Elm	8	
Here After (relocation) – Antiques, Tattoos, & Curiosities	208 W. Oak	5	
The Velvet Echo – Vintage Clothing and Furniture	311 S. Locust	3	
Closings			
Painting with a Twist			4
TOTAL		28	4

Q1 Business Retention, Expansion & Recruitment

4

Business
Retention &
Expansion Visits

3

Developer/Site
Visits

4

New Business
Visits

20

Recruitment
Outreach

4

Active Business
Support
Requests

BRE visit feedback:

1. Funding opportunities
2. Wayfinding/Branding
3. Expansion/relocation

Developer/Site Visits:

1. Meetings with developers regarding upgrades or plans for their properties
2. Site visits with broker and potential tenants

Top Reasons for BIZ Support:

1. City connections & process navigation
2. Site selection for expansion/relocation

Next Phase: After Downtown Ambassadors

- Monthly Inter-departmental meetings (Community Services, DPD, Solid Waste, and Parks and Rec)
 - Monitoring 311 service requests
 - Tracking internal department requests
 - Graffiti is the number one internal request
- Downtown Cleaning (3 days/week)
 - Cleaning team will start tracking trash collection
- Next City Services meeting, June 2026



DENTON
City Services
at your
Fingertips
CONNECTING RESIDENTS,
BUSINESSES, AND VISITORS

DENTON 311

We are happy to introduce the all-new Denton 311! Connect with City services 24/7, whether you are a resident, visitor, or a local business, our goal is to make it easy for you to create a request in an efficient and user-friendly way.

Popular requests include:

- High Grass and Weeds
- Power Outage
- Trash and Debris
- Traffic Signs and Signals
- Water-related Emergencies
- Streets, Signs and Drainage

Customer Service
Manage and Pay Your Utilities
The City of Denton offers residents an easy and convenient method to view and pay their utility bills online with no additional fees.

Services include:

- Apply for New Utility Service
- Modify or Cancel Existing Service
- Utility Account Management
- Solid Waste Special Collections

SCAN ME! FOR EASY & SECURE ONLINE SERVICES

www.cityofdenton.com/paymybill
Representative: (940) 349-8700
Available Mon - Fri 8 a.m. to 5 p.m.

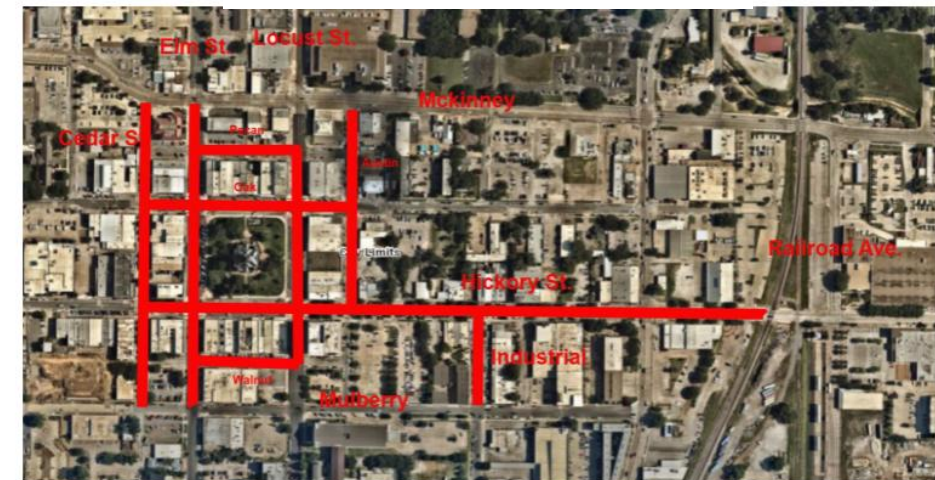
Emergency Services
For crimes in progress and emergencies dial 911
Non-Emergency Police Services:

- File a Police Report
- Noise Complaints (In-Progress)
- Warrant Status
- Juvenile Complaints
- Police Records

www.cityofdenton.com/police
Non-Emergency: (940) 349-8181
Available 24/7/365

www.cityofdenton.com/Denton311
Mobile Phone: 311
Landline: (940) 349-7311
Available 24/7/365

DOWNLOAD THE DENTON 311 APP:
Apple IOS Google Play



Highlights/trainings



Economic Development Program
Status: Application in Progress
Name: test
Case ID: 30213

Program Overview

Please provide the following information.

CITY OF DENTON

Economic Development
Downtown Reinvestment Grant
Program

Office of Economic Development
401 N. Elm St.
Denton, TX 76201
940-349-7776
economic.development@cityofdenton.com

The City of Denton's Office of Economic Development promotes Denton and its unique character through the redevelopment and revitalization of Downtown, historic preservation, community involvement, and by providing educational and technical assistance to business and property owners. With Downtown as a key focus area of Denton's economic development program, the City Council adopted the following Downtown Reinvestment Grant Program.

Applications shall be submitted through this application form hosted by Neighborly Software, and are considered as they are received, and may be funded, if approved, until funds are depleted.

Please note:

- Prior to completing the application, it is required that the applicant meet with a staff member of the Office of Economic Development.
- No grant application will be accepted for work that has already been started or completed, or for work that is covered by insurance.
- Any deviation from the approved project may result in the total or partial withdrawal of the grant.

Please view the map [HERE](#) to confirm you are in an eligible zone. Properties within either the TIRZ #1 or TIRZ #1A boundaries are eligible. If you are uncertain about your property's eligibility, please confirm with the Office of Economic Development.

To download the full program policy, please click [HERE](#).

No save history

Save Complete & Continue



Thank you

Downtown Economic Development Committee

Thursday, June 4, 2026		
IC - Items for Consideration	Approval of Minutes	Chair
IC - Items for Consideration	Downtown Reinvestment Grant	Kristen Pulido
WS - Staff Report	Future Agenda Items	Kristen Pulido/Brittany Sotelo
		Total Time
Thursday, August 6, 2026		
IC - Items for Consideration	Approval of Minutes	Chair
WS - Staff Report	Future Agenda Items	Kristen Pulido/Brittany Sotelo
		Total Time
Thursday, October 1, 2026		
IC - Items for Consideration	Approval of Minutes	Chair
WS - Staff Report	Future Agenda Items	Kristen Pulido/Brittany Sotelo
		Total Time
Thursday, December 3, 2026		
IC - Items for Consideration	Approval of Minutes	Chair
WS - Staff Report	Future Agenda Items	Kristen Pulido/Brittany Sotelo