

ORDINANCE NO. 23-1272

AN ORDINANCE APPROVING A WATER AND WASTEWATER UTILITY RELOCATION STANDARD UTILITY AGREEMENT (“AGREEMENT”) BY AND BETWEEN THE CITY OF DENTON (“CITY”) AND THE TEXAS DEPARTMENT OF TRANSPORTATION (“TXDOT”), FOR THE REIMBURSEMENT OF ELIGIBLE COSTS INCURRED IN THE ADJUSTMENT, REMOVAL, AND RELOCATION OF CITY FACILITIES OF BOTH WATER AND WASTEWATER UTILITIES ALONG I-35E FROM US 380/UNIVERSITY TO MILAM ROAD (“UTILITY RELOCATIONS PROJECT (TXDOT CSJ# 0195-02-074), WITHIN THE COUNTY AND CITY OF DENTON, TEXAS; AUTHORIZING THE CITY MANAGER, OR DESIGNEE, TO EXECUTE AND DELIVER THE AGREEMENT; PROVIDING FOR THE EXPENDITURE OF FUNDS IN AN AMOUNT NOT TO EXCEED \$8,071,662.47 FOR WATER AND WASTEWATER UTILITY RELOCATION EFFORTS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the TxDOT has deemed it necessary to make certain highway improvements as designated by the State and approved by the Federal Highway Administration within the limits of the highway as indicated for the I-35 E From US 380 to Milam Road Utility Relocation Project (“Utility Relocation Project”);

WHEREAS, TxDOT has expanded their right-of-way through the I-35E corridor within the Denton city limits in anticipation of the TxDOT’s I-35E Widening project with a current project letting schedule of September 2023; and

WHEREAS, the proposed Utility Relocation Project will necessitate the adjustment, removal, and/or relocation of certain facilities of the City as indicated in the following statement of work:

- 1) CSJ 074 Water Line: Install approximately 12,643 LF of 20” HDPE, 279 LF of 12” PVC, longitudinal to IH35 from IH35 Sta 2230+71 to IH35 Sta 2360+33. Install approximately 1,142 LF of 30" steel casing, longitudinal to IH35 with two Crossings of Barthold Rd and Hwy 77 at I-35 ML Sta 2237+09 and Sta 2230+71. Approximately 14,313 LF of 16”, 919 LF of 12”, 188 LF of 8”, and 50 LF of 6”, water line in easement that is in conflict with right-of-way expansion and pavement is to be abandoned.
- 2) CSJ 074 Wastewater: abandon 12,214 LF of 4” wastewater in conflict with pavement & right- of-way; and

WHEREAS, the City of Denton is responsible for relocating the City’s utilities currently located within the recently acquired TxDOT right-of-way; and

WHEREAS, in an effort to meet TxDOT’s anticipated roadway construction schedule, the City’s Utility Relocation Project will relocate both water and wastewater utilities out of TxDOT’s recently expanded right-of-way between US-380 and Milam Rd; and

WHEREAS, the TxDOT will participate in the costs of the adjustment, removal, and relocation of certain facilities to the extent as may be eligible for State and/or Federal participation; and

WHEREAS, TxDOT, upon receipt of evidence it deems sufficient, acknowledges the City's interest in certain lands and facilities that entitle it to reimbursement for the adjustment, removal, and relocation of certain of its facilities located upon the lands as indicated in the statement of work; and

WHEREAS, TxDOT will, upon satisfactory completion of the adjustment, removal, and/or relocation and upon receipt of final billing prepared in an approved form and manner and accounting for any intermediate payments, make payment in the amount of 90 percent (90%) of the eligible costs as shown in the final billing prior to audit and after such audit shall make an additional final payment totaling the reimbursement amount found eligible for State reimbursement.

WHEREAS, the City Council having considered the importance of the project to the citizens of Denton and finding that it is in the public's health and safety interest, is of the opinion that it should approve the Agreements; NOW, THEREFORE,

THE COUNCIL OF THE CITY OF DENTON HEREBY ORDAINS:

SECTION 1. The recitals contained in the preamble of this ordinance are hereby incorporated into the body of this ordinance are true and correct.

SECTION 2. The City Manager, or designee, is authorized to expend funds in the amount of expenditure of funds in the amount of Eight Million, Seventy-one Thousand, Six Hundred Sixty-two and 47/100 Dollars (\$8,071,662.47) for the I-35 E From US 380 to Milam Road Utility Relocation Project in the City and County of Denton.

SECTION 3. The City Manager, or designee, is hereby authorized to execute on behalf of the City the Water and Wastewater Standard Utility Agreement No. U00017637, a copy of which is attached hereto as Exhibits " A" and made a part hereof for all purposes.

SECTION 4. The City Manager, or designee, is further authorized to carry out all obligations and duties of the City as set forth in the Agreement, including but not limited to the expenditure of funds.

SECTION 5. That this ordinance shall become effective immediately upon its passage and approval.

[Signatures to appear on the following page]

The motion to approve this ordinance was made by Brian Beck and seconded by Brandon Chase McGee. The ordinance was passed and approved by the following vote [6 - 0]:

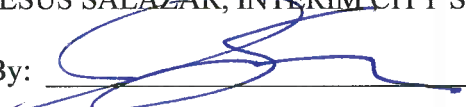
	<u>Aye</u>	<u>Nay</u>	<u>Abstain</u>	<u>Absent</u>
Gerard Hudspeth, Mayor:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Vicki Byrd, District 1:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Brian Beck, District 2:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Paul Meltzer, District 3:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Joe Holland, District 4:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Brandon Chase McGee, At Large Place 5:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Chris Watts, At Large Place 6:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

PASSED AND APPROVED this the 18th day of July, 2023.



 GERARD HUDSPETH, MAYOR

ATTEST:
 JESUS SALAZAR, INTERIM CITY SECRETARY

By: 

APPROVED AS TO LEGAL FORM:
 MACK REINWAND, CITY ATTORNEY

By: Benjamin H. Douglas, II





4777 US HIGHWAY 80 EAST, MESQUITE, TX 75150-6643 | 214.320.6100 | WWW.TXDOT.GOV

July 28, 2023

Mr. Sarah Hensley, City Manager
City of Denton
1659 Spencer Rd.
Denton, TX 76205

RE: Approved Standard Utility Agreement – Utility ID U00017637

City of Denton
IH 35 Project from: US 77 North of Denton to: Cooke County Line
RCSJ: 0195-02-079 / CCSJ: 0195-02-074
Federal Project Number: NH 2020 (576)
Denton County

Dear Ms. Hensley,

The Texas Department of Transportation is pleased to forward a fully executed copy of the approved Standard Utility Agreement for the above referenced utility relocation project. The Agreement assembly consists of the following:

1. Standard Utility Agreement (Form ROW-U-35)
2. Plans, Specifications, and Estimated Costs (Attachment "A")
3. Accounting Method (Attachment "B")
4. Schedule of Work (Attachment "C")
5. Statement Covering Contract Work (Attachment "D")
6. Utility Joint Use Agreement/Utility Installation Review (Form ROW-U-JUA) (Attachment "E")
7. Eligibility Ratio (Attachment "F")
8. Betterment Calculation and Estimate (Attachment "G")
9. Proof of Property Interest (Attachment "H")

Also attached are the specifications for utility construction including: General Utility Installations, Water and Sanitary Sewer Lines, Trench Excavation and Pit Location, Construction of Highway Crossing by Bore, Construction of Highway Crossing by Tunnel, Backfill Specifications, "Buy America" guidelines, and a copy of Form 1818.

Planned construction on the above project requires that utilities, "In Conflict", be relocated or adjusted. This utility adjustment consists of relocating approximately 12,643 LF of 20" HDPE, 279 LF of 12" PVC, longitudinal to IH 35 from IH 35 STA 2230+71 to IH 35 STA 2360+33; 1,142 LF of 30" steel casing, longitudinal to IH 35 with two crossings of Barthold Road and Highway 77 at IH 35 STA 2237+09 and STA 2230+71. This project includes 12,214 LF of 4" wastewater to be abandoned, in addition to 14,313 LF of 16", 919 LF of 12", 188 LF 8", and 50 LF of 5" water line to be abandoned in an easement that is in conflict with the ROW expansion and pavement. Facilities will be uniformly aligned and installed in accordance with the Utility Accommodation Rules.

The City of Denton has submitted a calculated total estimated cost for this adjustment of \$8,071,662.47. The replacement is all in kind with no betterment dollar value. There is no elective betterment or declared salvage credit associated with this plan of adjustment.

This adjustment is eligible for state cost participation in accordance with the provisions of 23 CFR 645 A. The eligibility ratio is 100% of eligible costs for the relocation of Utilities on Federal Aid Interstate projects. Based upon linear footage of the existing facilities, in private easement, an eligibility ratio of 100% has been established (see Attachment "F" for calculations).

"Buy America" items have been identified within this agreement.

All quantities in the estimate portion of the agreement are preliminary. Final quantities and participation will be based on the costs of actual work performed.

Subject to Texas Transportation Code Section 203.094, TxDOT may reduce reimbursement to the utility by 10 percent for each 30-day period or portion of a 30-day period by which the relocation exceeds the limit specified in the agreement.

Billing submittals to TxDOT must have a cover letter that includes the following information to facilitate expeditious processing of payments due:

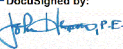
1. Highway Name - RCSJ 0195-02-079 - City of Denton (ROWIS U# NA/Utility ID U00017637)
2. Starting and Ending Dates of Construction
3. If applicable, "Buy America" Certification must be notarized and submitted on Material Statement (Form 1818).
4. The Street Address where all records pertaining to this job can be accessed for audit. These records must be maintained for a 3-year minimum from the date of completion.
5. The Utility's 11 Digit Texas Taxpayer Number and 3 Digit Mail Code
6. If applicable, a copy of all Bid Tabulations received.
7. Final or partial invoices must include a detailed itemized billing submittal consistent with the same format as the original estimate. Supporting documentation is also required. If billing submittal deviates significantly from the approved estimate, an explanation will be needed.

The TxDOT Area Engineer (AE) is Amanda Miller, P.E., at the Denton County Area Office. The Area Engineer will be certifying that work was done in accordance with these plans and specifications, and that materials specified, or equivalent have been used. Attention should be paid to backfill, cleanup requirements, and erosion control. These must be accomplished to the satisfaction of the Project Engineer.

The Area Office Utility Coordinator must be notified to arrange a pre-construction meeting 5 working days prior to starting construction. The agenda for this meeting shall include the following: a) Construction Safety, b) Traffic Control Plan, c) Scheduled Project Starting and Completion Dates, and d) Prior to installation, all "Buy America" compliant items must be shown on the Material Statement (Form 1818) with each item's supporting documentation included. The Utility Coordinator for this Area Office is Leonard Chapman (940) 230-5350.

Questions regarding this adjustment may be directed to Jose Olivares at (214) 319-6507.

Sincerely,

DocuSigned by:

CD610F6E0D584EF...

John Hudspeth, P.E.
Deputy District Engineer, Dallas District

Attachments

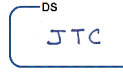
cc: Lesley Taylor

^{DS}


Darla Payberah, P.E.

^{DS}


Travis Campbell, P.E.

^{DS}


Amanda Miller P.E.

Sarah Hensley



Engineering
Surveying
Subsurface Utility Engineering
Construction Management

July 28, 2023

Darla Payberah
TxDOT – Dallas District Utility and Survey Supervisor
4777 E. Highway 80
Mesquite, Texas 76021
214-320-6648

Re: ROW CSJ 0195-02-074 IH 35 from US 77 to View Road, North of Denton Standard Utility Agreement Submittal

Subject: Standard Utility Agreements (SUA) for City of Denton (U00017637)

Dear Mrs. Payberah:

The City of Denton (the City) would like to submit this Standard Utility Agreements (SUA) for your approval. This SUA is for the adjustment of an existing water and wastewater facilities (U00017637) located in Denton, TX which are currently located completely within acquired TxDOT ROW, including a transmission water line that is in existing easement. The City has included the signed 2002 City Ordinance subsection 35.21.4 and was carried over to the most current 2019 Denton Development Code in subsection 7.6.7, requiring that all relocations be in an easement.

Relocation and abandonment/removal plans and the cost estimate is in Attachment A. All work under this Standard Utility Agreement has been solicited using a contractor selected during a competitive bid process advertised, selected, and approved by City. The 3 closest bid tabs are included. The estimated construction start date for the work this agreement is September 11, 2023. The relocations and abandonment and removals are expected to be completed by April 14, 2024. The City is providing an incentive to the Contractor to finish early and the Contractor plans to begin work on August 1. Prior to the underground work being performed, LTRA will inspect steel casing and ductile iron pipe (if selected) and confirm Form 1818 with MTR's are properly filled out and signed.

The relocations include relocating approximately 9,018 LF of existing water lines and 3,971 LF of existing gravity and force main wastewater lines. To complete all adjustments in 0195-02-074, the City of Denton's water relocation in this package are from IH 35 STA 2230+71 to STA 2360+33. This utility adjustment consists of relocating approximately 12,643 LF of 20" HDPE, 279 LF of 12" PVC, longitudinal to IH 35 from IH 35 STA 2230+71 to IH 35 STA 2360+33; 1,142 LF of 30" steel casing, longitudinal to IH 35. This project includes 12,214 LF of 4" wastewater to be abandoned, in addition to 14,313 LF of 16", 919 LF of 12", 188 LF 8", and 50 LF of 5" water line to be abandoned in an easement that is in conflict with the ROW expansion and pavement. The proposed water line terminates at a water vault to be constructed by the City of Denton and connected in the future by Upper Trinity Regional Water District (See U00013437). City relocations do not propose replacement of a 6" wastewater force main between US 77 and Milam Road.



Engineering
Surveying
Subsurface Utility Engineering
Construction Management

Proposed easements include a 30 FT water and wastewater easement from US 77 to Ganzer Road, a 40' water and wastewater easement south of Ganzer Road and a 20' water and wastewater easement between Ganzer Road and Milam Road.

This Utility Assembly includes all documents required by the TxDOT Dallas District based on review completed by appropriate representatives. Included in the scope of work is the placement of a total of IH 35 STATIONS are referenced on all relocations and the parcel numbers are included in the plans.

The Estimated Cost of the relocations in RCSJ 0195-03-074 is \$8,071,662.47 with no elective betterment. Attachment G is followed by a Forced Betterment letter clarifying that 20" HDPE is a City standard equivalent to 16" Ductile Iron pipe and should be utilize due to the shorter procurement time. A total in-kind estimate is included herein Attachment A after the plan and profiles. This relocation is completely within IH 35 ROW acquisition under this RCSJ.

We respectfully request your approval of these two SUA's as submitted. If you have any questions or require additional information, please contact me through the information provided below.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Peter Borsack', is written over a light blue horizontal line.

Peter Borsack, P.E., PMP
LTRA Senior Project Manager
pborsack@ltraengineers.com



Form ROW-U-35
(Rev. 10/20)
Page 1

STANDARD UTILITY AGREEMENT

U Number: **N/A** Utility ID: **U00017637**

District: Dallas
Federal Project No.: NH2020(576)
ROW CSJ: 0195-02-079
Highway Project Letting Date: January 2024

County: Denton
Highway: IH35
From: US 77
To: Cooke County Line

This Agreement by and between the State of Texas, acting by and through the Texas Transportation Commission, ("**State**"), and City of Denton, ("**Utility**"), acting by and through its duly authorized representative, shall be effective on the date of approval and execution by and on behalf of the **State**.

WHEREAS, the **State** has deemed it necessary to make certain highway improvements as designated by the **State** and approved by the Federal Highway Administration within the limits of the highway as indicated above (the "**Highway Project**");

WHEREAS, the proposed Highway Project will necessitate the adjustment, removal, and/or relocation of certain facilities of the **Utility** as indicated in the following statement of work: CSJ 074 Water Line: Install approximately 12,643 LF of 20" HDPE, 279 LF of 12" PVC, longitudinal to IH35 from IH35 Sta 2230+71 to IH35 Sta 2360+33. Install approximately 1,142 LF of 30" steel casing, longitudinal to IH35 with two Crossings of Barthold Rd and Hwy 77 at I-35 ML Sta 2237+09 and Sta 2230+71. Approximately 14,313 LF of 16", 919 LF of 12", 188 LF of 8", and 50 LF of 6", water line in easement that is in conflict with ROW expansion and pavement is to be abandoned. CSJ 074 Wastewater: abandon 12,214 LF of 4" wastewater in conflict with pavement & ROW; and more specifically as shown in the **Utility's** plans, specifications and estimated costs, which are attached hereto as Attachment "A".

WHEREAS, the **State** will participate in the costs of the adjustment, removal, and relocation of certain facilities to the extent as may be eligible for State and/or Federal participation.

WHEREAS, the **State**, upon receipt of evidence it deems sufficient, acknowledges the **Utility's** interest in certain lands and facilities that entitle it to reimbursement for the adjustment, removal, and relocation of certain of its facilities located upon the lands as indicated in the statement of work above.

NOW, THEREFORE, BE IT AGREED:

The **State** will pay to the **Utility** the costs incurred in adjustment, removal, and relocation of the **Utility's** facilities up to the amount said costs may be eligible for **State** participation.

All conduct under this agreement, including but not limited to the adjustment, removal, and relocation of the facility, the development and reimbursement of costs, any environmental requirements, and retention of records will be in accordance with all applicable federal and state laws, rules and regulations, including, without limitation, the Federal Uniform Relocation Assistance and Real Property Acquisition Policies Act, 42 U.S.C. §§ 4601, et seq., the National Environmental Policy Act, 42 U.S.C. §§ 4321, et seq., the Buy America provisions of 23 U.S.C. § 313 and 23 CFR 635.410, as amended, Texas Transportation Code § 223.045, the Utility Relocations, Adjustments, and Reimbursements provisions of 23 CFR 645, Subpart A, and the Utility Accommodation provisions of 23 CFR 645, Subpart B.

The **Utility** shall supply, upon request by the **State**, proof of compliance with the aforementioned laws, rules, regulations, and guidelines prior to the commencement of the adjustment, removal, and relocation of the facility.

^{DS}
DP 7/31/2023

Initial Date
TxDOT

^{DS}
SH 7/31/2023

Initial Date
Utility

The Utility shall not commence any physical work, including without limitation site preparation, on the State's right of way or future right of way, until TxDOT provides the Utility with written authorization to proceed with the physical work upon TxDOT's completion and clearance of its environmental review of the Highway Project. Any such work by the Utility prior to TxDOT's written authorization to proceed will not be eligible for reimbursement and the Utility is responsible for entering any property within the proposed limits of the Highway Project that has not yet been acquired by TxDOT. This written authorization to proceed with the physical work is in addition to the authorization to commence work outlined below. Notwithstanding the foregoing, the provisions of this paragraph are required only when TxDOT has not obtained completion and clearance of its environmental review of the Highway Project prior to the execution of this Agreement by the State and the Utility.

The **Utility** shall comply with the Buy America provisions of 23 U.S.C. § 313, 23 CFR 635.410, as amended, and the Steel and Iron Preference provisions of Texas Transportation Code § 223.045 and, when products that are composed predominately of steel and/or iron are incorporated into the permanent installation of the utility facility, use domestically manufactured products. TxDOT Form 1818 (Material Statement), along with all required attachments, must be submitted, prior to the commencement of the adjustment, removal, and relocation of the facility, as evidence of compliance with the aforementioned provisions. Failure to submit the required documentation or to comply with the Buy America, and Steel and Iron Preference requirements shall result in: (1) the **Utility** becoming ineligible to receive any contract or subcontract made with funds authorized under the Intermodal Surface Transportation Efficiency Act of 1991; (2) the **State** withholding reimbursement for the costs incurred by the **Utility** in the adjustment, removal, and relocation of the **Utility's** facilities; and (3) removal and replacement of the non-compliant products.

The **Utility** agrees to develop relocation or adjustment costs by accumulating actual direct and related indirect costs in accordance with a work order accounting procedure prescribed by the **State**, or may, with the **State's** approval, accumulate actual direct and related indirect costs in accordance with an established accounting procedure developed by the **Utility**. Bills for work hereunder are to be submitted to the **State** not later than one (1) year after completion of the work. Failure to submit the request for final payment, in addition to all supporting documentation, within one (1) year after completion of the work may result in forfeiture of payment for said work.

When requested, the **State** will make intermediate payments at not less than monthly intervals to the **Utility** when properly billed. Such payments will not exceed 90 percent (90%) of the eligible cost as shown in each such billing. Intermediate payments shall not be construed as final payment for any items included in the intermediate payment.

The **State** will, upon satisfactory completion of the adjustment, removal, and/or relocation and upon receipt of final billing prepared in an approved form and manner and accounting for any intermediate payments, make payment in the amount of 90 percent (90%) of the eligible costs as shown in the final billing prior to audit and after such audit shall make an additional final payment totaling the reimbursement amount found eligible for **State** reimbursement.

Alternatively, the **State** agrees to pay the **Utility** an agreed lump sum of \$N/A as supported by the attached estimated costs. The **State** will, upon satisfactory completion of the adjustments, removals, and relocations and upon receipt of a final billing, make payment to the **Utility** in the agreed amount.

Upon execution of this agreement by both parties hereto, the **State** will, by written notice, authorize the **Utility** to perform such work diligently and to conclude said adjustment, removal, and relocation by the stated completion date which is attached hereto in Attachment "C". The completion date shall be extended for delays caused by events outside the **Utility's** control, including an event of Force Majeure, which shall include a strike, war or act of war (whether an actual declaration of war is made or not), insurrection, riot, act of public enemy, accident, fire, flood or other act of God, sabotage, or other events, interference by the **State** or any other party with the **Utility's** ability to proceed with the work, or any other event in which the **Utility** has exercised all due care in the prevention thereof so that the causes of other events are beyond the control and without the fault or negligence of the **Utility**.

This agreement in its entirety consists of the following elements:

Standard Utility Agreement – ROW-U-35;

- Plans, Specifications, and Estimated Costs (Attachment "A");

DP	SH
7/31/2023	7/31/2023
Initial	Initial
Date	Date
TxDOT	Utility

- Schedule of Work (Attachment “C”);
- Statement Covering Contract Work – ROW-U-48 (Attachment “D”);
- Utility Joint Use Agreement – ROW-U-JUA and/or Utility Installation Request – Form 1082 (Attachment “E”);
- Eligibility Ratio (Attachment “F”);
- Betterment Calculation and Estimate (Attachment “G”); and
- Proof of Property Interest – ROW-U-Affidavit (Attachment “H”).


All attachments are included herein as if fully set forth. In the event it is determined that a substantial change from the statement of work contained in this agreement is required, reimbursement therefore shall be limited to costs covered by a modification or amendment of this agreement or a written change or extra work order approved by the **State** and the **Utility**.


This agreement is subject to cancellation by the **State** at any time up to the date that work under this agreement has been authorized, and such cancellation will not create any liability on the part of the **State**. However, the **State** will review and reimburse the **Utility** for eligible costs incurred by the **Utility** in preparation of this Agreement.

The State Auditor may conduct an audit or investigation of any entity receiving funds from the **State** directly under this contract or indirectly through a subcontract under this contract. Acceptance of funds directly under this contract or indirectly through a subcontract under this contract acts as acceptance of the authority of the State Auditor, under the direction of the Legislative Audit Committee, to conduct an audit or investigation in connection with those funds. An entity that is the subject of an audit or investigation must provide the state auditor with access to any information the state auditor considers relevant to the investigation or audit.

The **Utility** by execution of this agreement does not waive any of the rights that the **Utility** may have within the limits of the law.

It is expressly understood that the **Utility** conducts the adjustment, removal, and relocation at its own risk, and that the **State** makes no warranties or representations regarding the existence or location of utilities currently within its right of way.


 DP 7/31/2023
 Initial Date
 TxDOT

 SH 7/31/2023
 Initial Date
 Utility

The signatories to this agreement warrant that each has the authority to enter into this agreement on behalf of the party represented.

UTILITY

Utility: City of Denton
Name of Utility

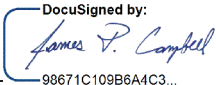
By: 
Authorized Signature

Sara Hensley
Print or Type Name

Title: City Manager

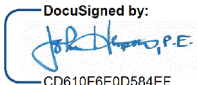
Date: 7/31/2023

EXECUTION RECOMMENDED:



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Director of TP&D (or designee), Dallas District


THE STATE OF TEXAS

Executed and approved for the Texas Transportation Commission for the purpose and effect of activating and/or carrying out the orders, established policies or work programs heretofore approved and authorized by the Texas Transportation Commission.

By: 
District Engineer (or designee)

Date: 8/2/2023

 7/31/2023
Initial Date
TxDOT

 7/31/2023
Initial Date
Utility

Attachment "A"

Plans, Specifications, and Estimated Costs

All material items within cost estimate that must meet Buy America or Steel and Iron Preference Provision requirements must be indicated with an asterisk (*).

- Currently, **we do not have** Buy America required materials planned for this project. In the event that Buy America compliant materials are used during construction on this project, compliance documentation will be provided.
- There are non-domestic iron and steel materials in this project that fall under the De Minimus equation. Calculation showing the total cost does not exceed one-tenth of one percent (0.1 %) of the individual utility agreement amount or \$2,500.00, whichever is greater is required.
- We understand the Buy America Compliance Requirements and will supply the required documentation to TxDOT indicating compliance with this provision. The following documents will be supplied prior to installation of the materials:

- 1) Form 1818 - Material Statement
- 2) Material Test Reports or Certifications

^{DS}
DP 7/31/2023
Initial Date
TxDOT

^{DS}
SH 7/31/2023
Initial Date
Utility

THE CITY OF DENTON, TEXAS PLANS FOR THE:

IH-35 UTILITY RELOCATIONS

FROM US-380 TO MILAM

IFB NO. 7968-003

TxDOT Project CCSJ 0195-03-087 & ROW CSJ 0195-03-091
WATER AND WASTEWATER UTILITY ID# U00011547
TxDOT Project CCSJ 0195-02-074 & ROW CSJ 0195-02-079
WATER AND WASTEWATER UTILITY ID# U00017367



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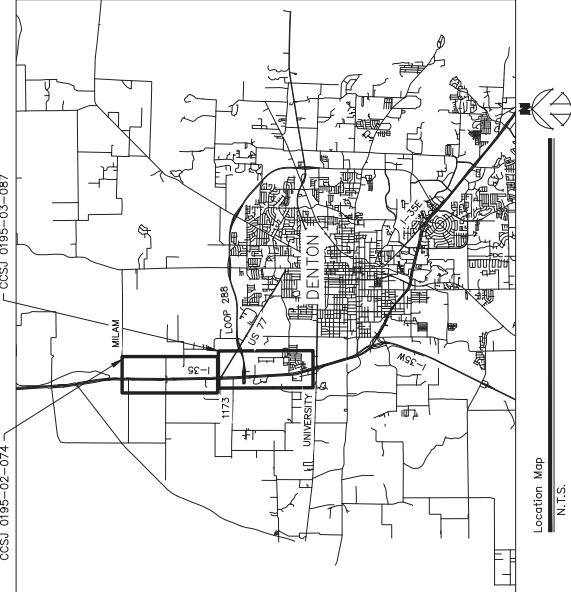
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Location Map
N.T.S.

CITY OFFICIALS:

MAYOR..... GERARD HUDSPETH
COUNCIL MEMBERS:
DISTRICT 1..... VICKI BYRD
DISTRICT 2..... BRIAN BECK
DISTRICT 3..... JESSE DAVIS
DISTRICT 4.....
AT LARGE PLACE 5..... BRANDON MCGEE
AT LARGE PLACE 6..... CHRIS WATTS

DIRECTOR OF WATER AND WASTEWATER UTILITIES
STEPHEN GAY

CITY ENGINEER
REBECCA DIVINEY, P.E.
PROJECT MANAGER,
SR. ENGINEER
KYLE PEDIGO
CAPITAL PROJECTS

TxDOT General Notes

1. BY SEALING AND SIGNING THESE PERMIT PLANS AS A PROFESSIONAL CIVIL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, I CERTIFY THAT THE PROPOSED DRIVEWAY OR PUBLIC STREET CONNECTION TO THE STATE ROADWAY MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF THE TEXAS STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION ON THE MOST RECENT TxDOT DESIGN MANUAL REQUIREMENTS.
2. ALL CONSTRUCTION WITHIN THE STATE RIGHT OF WAY WILL REQUIRE COMPLIANCE TO TxDOT STANDARD SPECIFICATIONS, STANDARD PLANS, AND TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
3. SPECIFICATIONS ADOPTED BY THE TEXAS DEPARTMENT OF TRANSPORTATION, JUNE 1, 2004, AND SPECIFICATION ITEMS LISTED AS FOLLOWS SHALL GOVERN ON THIS PROJECT FOR ALL WORK WITHIN THE STATE RIGHT OF WAY.
Yuan, J
(CHRISTOPHER JCO, P.E. #120045)
*THE STANDARD TxDOT SHEETS, SPECIFICALLY IDENTIFIED IN THIS SHEET INDEX, HAVE BEEN SELECTED BY ME OR UNDER MY RESPONSIBLE SUPERVISION AS BEING APPLICABLE TO THIS PROJECT.



Kimley»Horn

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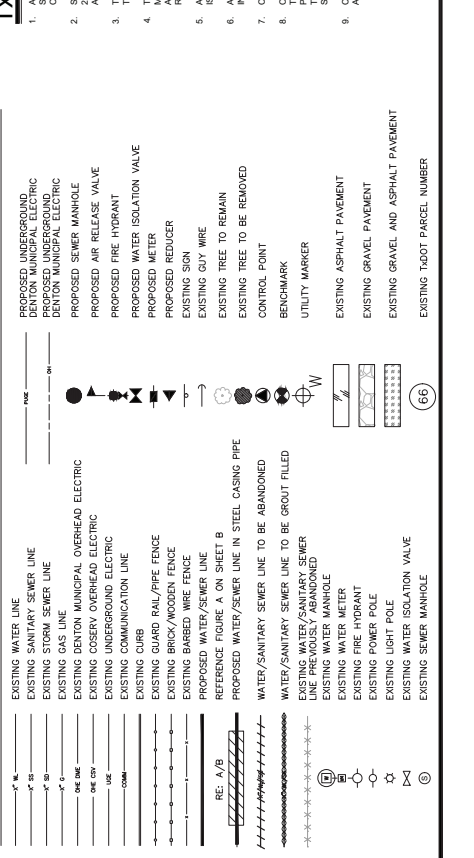
MAY 2023

No.	Revision	By	Date
1A	FOR PERMITS SUBMITTED SUBMITTAL	YUAN	5/10/2023

GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER EXISTING OR PROPOSED, AND VERIFYING THEIR DEPTHS AND LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, APPROVALS AND BASED ON INFORMATION FURNISHED BY THE OWNERS OF SUCH UTILITIES, TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IN WHICH THE CONTRACTOR IS TO BE PERFORMING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DATA FOR LOCATING ALL UNDERGROUND FACILITIES FOR COORDINATION OF THE WORK WITH THE CITY OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION FOR THE CONTRACT PERIOD. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY OWNERS IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- NOTIFY THE CITY OF DENTON TO LOCATE EXISTING CITY UTILITIES PRIOR TO CONSTRUCTION.
- CAUTION BURIED GAS LINES EXIST ALONG THIS PROJECT. CONTACT EXPLORER GAS, THOMAS BURIED GAS LINES (948-4951014) 48 HOURS PRIOR TO EXCAVATION.
- CAUTION BURIED TELEPHONE CABLES EXIST ALONG THIS PROJECT. CONTACT AT&T APPROPRIATE FRANCHISE 48 HOURS PRIOR TO EXCAVATION. VERSION (972-318-5206), OTE (940-391-4294), ZATO (972-966-9152), AND A&T (973-388-0173).
- CAUTION BURIED ELECTRIC CABLES EXIST ALONG THIS PROJECT. CONTACT THE DENTON MUNICIPAL ELECTRIC (940-349-3900) TO EXCAVATION. COBERT (940-5217-980) AND DENTON MUNICIPAL ELECTRIC (940-349-3900).
- FOLLOW OSHA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS AND NEAR OVERHEAD LINES. OSHA REQUIRES THAT WORKMEN AND ANY EQUIPMENT OR TOOLS ALSO REQUIRES THAT THE POWER LINES SHALL EITHER BE DE-ENERGIZED AND GROUND OR OTHER PROTECTIVE MEASURES SHALL BE TAKEN BEFORE WORK IS STARTED. OSHA KEPT FROM OVERHEAD LINES. 10 FEET IS THE DISTANCE FOR POWER LINES OF 50,000 VOLTS OR LESS. 11 FEET IS THE DISTANCE FOR POWER LINES OF 150,000 VOLTS.
- CONTRACTOR SURVIVING IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SUBMIT DOCUMENTATION OF VERIFICATION TO THE CITY AND ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SUBMIT DOCUMENTATION OF VERIFICATION TO THE CITY AND ENGINEER.
- ONLY THOSE ITEMS LISTED ON THE TABULATION SHALL BE MEASURED AND PAID FOR AT THE UNIT PRICE REQUIRED TO COMPLETE THE PROJECT. ALL OTHER WORK SHALL BE CONSIDERED SUBSIDIARY TO THE VARIOUS ITEM BID, AND NO SEPARATE PAYMENT SHALL BE MADE.
- CONTRACTOR SHALL NOTIFY THE CITY OF DENTON 48 HOURS PRIOR TO START OF ANY CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY LANDOWNERS AT LEAST 48 HOURS PRIOR TO ENTERING PROPERTY.
- CLEARING OF OBSTACLES MAY BEGIN SOONER THAN ONE MONTH PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SUBMIT DOCUMENTATION OF VERIFICATION TO THE CITY AND ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SUBMIT DOCUMENTATION OF VERIFICATION TO THE CITY AND ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SUBMIT DOCUMENTATION OF VERIFICATION TO THE CITY AND ENGINEER.
- ALL BARRICADES, WARNING SIGNS, LIGHTS, DEVICES, ETC. FOR THE GUIDANCE AND PROTECTION OF TRAFFIC SHALL BE MAINTAINED THROUGHOUT THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SUBMIT DOCUMENTATION OF VERIFICATION TO THE CITY AND ENGINEER.

LEGEND:



- CONTRACTOR SHALL MAINTAIN AT LEAST ONE LANE OF TRAFFIC ON ALL OPEN-CUT ROADS AT ALL TIMES, AND CONSTRUCT TEMPORARY BYPASS IF NECESSARY.
- THE CONTRACTOR SHALL GIVE THE CITY 5 DAYS NOTICE IN ADVANCE OF THE TIME A TEMPORARY BYPASS IS TO BE CONSTRUCTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE TEMPORARY BYPASS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE TEMPORARY BYPASS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE TEMPORARY BYPASS.
- CONTRACTOR SHALL COORDINATE DRIVEWAY CLOSURES WITH PROPERTY OWNERS PRIOR TO BEGINNING WORK. DRIVEWAYS SHALL REMAIN OPEN AT ALL TIMES IF POSSIBLE. DRIVEWAYS SHALL BE REPAIRED IMMEDIATELY AFTER CONSTRUCTION OPERATIONS ARE COMPLETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE TEMPORARY BYPASS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE TEMPORARY BYPASS.
- CONTRACTOR SHALL PLAN WORK SEQUENCE IN A MANNER THAT WILL CAUSE THE MINIMUM INTERFERENCE WITH TRAFFIC DURING CONSTRUCTION OPERATIONS. BEFORE CONSTRUCTION OPERATIONS BEGIN, THE CONTRACTOR SHALL SUBMIT TO THE CITY A CONSTRUCTION OPERATIONS PLAN, INCLUDING A TRAFFIC CONTROL PLAN, AND FOLLOWED. SETTING OUT THE METHOD OF HANDLING TRAFFIC ALONG, AROUND, AND ADJACENT TO THE WORK.
- IF AT ANY TIME DURING CONSTRUCTION THE CONTRACTOR PROPOSES A PLAN OF WORK THAT WILL INTERFERE WITH TRAFFIC, THE CONTRACTOR SHALL IMMEDIATELY CHANGE HIS OPERATIONS TO CORRECT THE UNSAFE SITUATION.
- TEMPORARY SIGNS WILL BE REQUIRED DURING CONSTRUCTION OF THE EXISTING ROADWAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE TEMPORARY SIGNS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE TEMPORARY SIGNS.
- BARRICADES AND SIGNS SHALL BE PLACED IN SUCH A MANNER AS NOT TO INTERFERE WITH THE SIGHT DISTANCE OF DRIVERS ENTERING THE ROADWAYS OR SIDE STREETS TO BE EXCAVATED. BARRICADES AND SIGNS SHALL BE MAINTAINED THROUGHOUT THE PROJECT. THESE SIGNS SHALL CONFORM TO MUTCD AND ARE SUBJECT TO THE APPROVAL OF THE CITY.
- THE CONTRACTOR SHALL NOT BE PERMITTED TO CONDUCE WORK ON THE ROAD BEFORE THE ROADWAY HAS BEEN FULLY OPENED TO TRAFFIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE TEMPORARY BYPASS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE TEMPORARY BYPASS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SUBMIT DOCUMENTATION OF VERIFICATION TO THE CITY AND ENGINEER.
- CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND STATE OF TEXAS LAWS CONCERNING EXCAVATION, TRENCHING, SHORING, AND SITE SAFETY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCURATE VERTICAL AND HORIZONTAL CONTROL THROUGHOUT THE PROJECT.
- A MINIMUM COVER OF SIX FEET ABOVE PROPOSED TOP OF PIPE SHALL BE MAINTAINED UNLESS OTHERWISE SHOWN IN THE CONSTRUCTION PLANS. THE APPROXIMATE GROUND SURFACE SHALL BE SHOWN IN THE CONSTRUCTION PLANS. THE APPROXIMATE GROUND SURFACE SHALL BE SHOWN IN THE CONSTRUCTION PLANS. THE APPROXIMATE GROUND SURFACE SHALL BE SHOWN IN THE CONSTRUCTION PLANS.
- AT WATER LINE FITTINGS, THE MAXIMUM JOINT DEFLECTION SHALL NOT EXCEED 0.6% OF THE WATER LINE LENGTH. THE MAXIMUM JOINT DEFLECTION SHALL NOT EXCEED 0.6% OF THE WATER LINE LENGTH. THE MAXIMUM JOINT DEFLECTION SHALL NOT EXCEED 0.6% OF THE WATER LINE LENGTH.
- CONTRACTOR SHALL ENGINEER A MINIMUM OF TEN FEET SEPARATION BETWEEN PROPOSED WATER LINE AND EXISTING PARALLEL SANITARY SEWER LINES AND MANHOLES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SUBMIT DOCUMENTATION OF VERIFICATION TO THE CITY AND ENGINEER.
- IN GENERAL, MAINTAIN 2' MIN VERTICAL SEPARATION BETWEEN SANITARY SEWER AND WATER LINES. MAINTAIN 2' MIN VERTICAL SEPARATION BETWEEN SANITARY SEWER AND STORM SEWER AT CROSSINGS.

TXDOT STANDARD NOTES

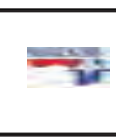
- ALL CONSTRUCTION WITHIN THE STATE RIGHT OF WAY WILL REQUIRE COMPLIANCE TO APPLY TO ALL CONSTRUCTION WITHIN THE STATE RIGHT OF WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SUBMIT DOCUMENTATION OF VERIFICATION TO THE CITY AND ENGINEER.
- SPECIFICATIONS ADOPTED BY THE TEXAS DEPARTMENT OF TRANSPORTATION, NOVEMBER 1, 2014 AND SPECIFICATION ITEMS LISTED AS FOLLOWS SHALL GOVERN ON THIS PROJECT FOR ALL WORK WITHIN THE STATE RIGHT OF WAY.
- TRAFFIC CONTROL MUST BE MAINTAINED THROUGHOUT THE DURATION OF WORK WITHIN THE STATE RIGHT OF WAY.
- THERE MAY BE TIMES WHERE INTERRUPTION OF A PARTICULAR CONSTRUCTION SEQUENCE WILL BE NECESSARY TO MAINTAIN THE SAFETY OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SUBMIT DOCUMENTATION OF VERIFICATION TO THE CITY AND ENGINEER.
- ALL DISTURBED ROW MUST BE REVEGETATED WITH SOG AND MAINTAINED UNTIL VEGETATION IS RE-ESTABLISHED.
- ALL LANE CLOSURES MUST BE COORDINATED WITH BOTH TXDOT AND MUNICIPAL INSPECTORS.
- CONTRACTOR TO CONTACT TXDOT 48 HOURS PRIOR TO BEGIN CONSTRUCTION.
- CONTRACTOR TO ENSURE MINIMUM DEPTH OF 60" FROM TOP OF CASING TO TOP OF GRADE IN TXDOT ROW AND THAT THE LENGTH OF ANY ENCASMENT UNDER THE ROADWAY SHALL BE SUFFICIENT TO PROTECT THE UNDERGROUND UTILITY FROM ALL TYPES OF DAMAGE. THE TOP OF CASING SHALL BE AT LEAST 6" ABOVE THE FINISH GRADE OF THE ROADWAY SURFACE.
- CONTRACTOR SHALL MAINTAIN A 2' MINIMUM CLEARANCE FROM HIGHWAY STRUCTURES AND ALL OTHER EXISTING UTILITIES (UNLESS MORE IS REQUIRED).

PROJECT SPECIFIC NOTES:

- ALL MATERIALS SHALL USE DOMESTICALLY MANUFACTURED PRODUCTS THAT ARE PERMANENT INSTALLATION OF THE UTILITY FACILITY. IN COMPLIANCE WITH THE BUY AMERICA PROVISIONS OF 23 CFR 655.410 AS AMENDED.
- THE CONTRACTOR MAY BE REQUIRED TO USE TEMPORARY PLUGS FOR SECURING OF EXISTING UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SUBMIT DOCUMENTATION OF VERIFICATION TO THE CITY AND ENGINEER.
- CONTRACTOR SHALL SEQUENCE WORK BY PRIORITIZING TxDOT CROSSINGS AND AVAILABLE LANDSEASONS. THIS WILL PRIMARY START WITH WA (074) AND PMA (071) INITIALLY. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF PROPOSED CONNECTIONS PRIOR TO FABRICATION OF PROPOSED PIPING. VERIFICATION OF THEM SHALL BE MADE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SUBMIT DOCUMENTATION OF VERIFICATION TO THE CITY AND ENGINEER.
- ALL OUTLETS, APPLICANCES AND FITTINGS FOR DUCTILE IRON PIPE ALTERNATIVE SHALL BE MECHANICAL JOINT, EXCEPT WHERE NOTED OTHERWISE.
- IF MORE IS THE PIPE MATERIAL SELECTED FOR THE 12" PIPE, THIS WILL REQUIRE AMERISE IN DIAMETER TO 27 DR11 HOPE. GATE VALVES/APPLICANCES ARE TO REMAIN AS THE SIZES SHOWN IN THE DRAWINGS. THEREFORE, REDUCERS WOULD BE REQUIRED TO THE INTO THE SIZES SHOWN.
- CURBS AND RAMPALS FOR THE FOLLOWING CROSSINGS TO BE CONSTRUCTED SHALL BE REQUIRED TO THE INTO THE SIZES SHOWN.

- EXCUTE IRON PIPE
- A CORROSION CONTROL SYSTEM INCLUDING 8-MIL V-BOND ENHANCED POLYETHYLENE GEL LINING, ZINC COATED PIPE IN ACCORDANCE WITH ISO 8903 191-1
- JOINT BONDING
- ELECTRICAL ISOLATION AT CASING CROSSINGS

Kimley-Horn
 THE CITY OF DENTON, TEXAS
 5000 F.W. WALTERS BLVD., SUITE 1000
 DENTON, TEXAS 76201
 BY: [Signature] DATE: []/ []/ []

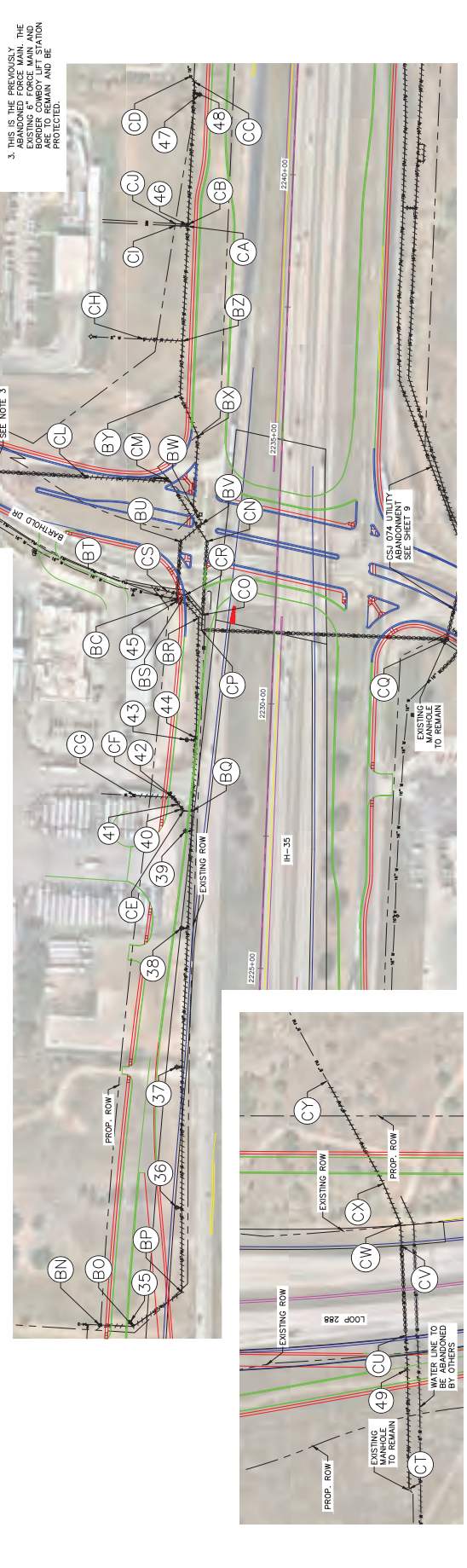
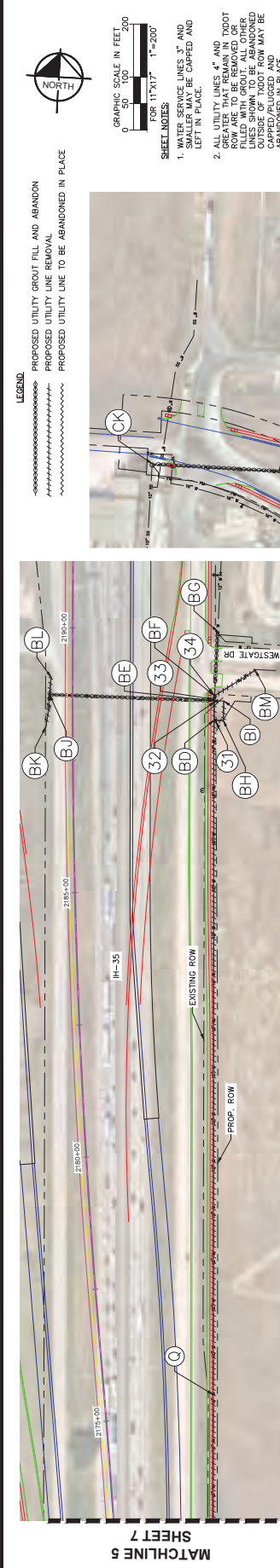


CITY OF DENTON
 (FROM US-380 TO MILAM)
 HIGH-UTILITY RELATIONS

GENERAL NOTES 1

DATE:	MARCH 2023
DRWNG:	CFM
CHKD BY:	JFA
KHA NO.:	061024043

2
 SHEET



LEGEND
 PROPOSED UTILITY GROUT FILL AND ABANDON
 PROPOSED UTILITY LINE REMOVAL
 PROPOSED UTILITY LINE TO BE ABANDONED IN PLACE

GRAPHIC SCALE IN FEET
 0 50 100 150 200
 FOR 11"x17" 1"=200'

SHEET NOTES
 1. WATER SERVICE LINES 3" AND 4" SHALL BE CAPPED AND LEFT IN PLACE.
 2. ALL UTILITY LINES 4" AND GREATER THAT REMAIN IN TODOT ROW ARE TO BE REMOVED OR ABANDONED. ALL UTILITY LINES SHOWN TO BE ABANDONED OUTSIDE OF TODOT ROW MAY BE ABANDONED IN PLACE.
 3. THIS IS THE PREVIOUSLY ABANDONED FORCE MAIN. THE EXISTING FORCE MAIN AND EXISTING COMBINED SEWER LINES ARE TO REMAIN AND BE PROTECTED.

WATER ABANDONMENT

Point #	Northing	Easting	Description
43	7145963.34	2327252.76	REMOVE FH AND 6" VALVE
44	7145968.66	2327289.46	REMOVE 16" GATE VALVE
45	7146224.22	2327218.12	REMOVE FH AND 6" VALVE
46	7146934.05	2327289.15	REMOVE WATER METER CONNECTION
47	7147591.62	2327203.24	REMOVE FH AND 6" VALVE
48	7147186.27	2327262.55	REMOVE 16" GATE VALVE

WATER ABANDONMENT

Point #	Northing	Easting	Description
31	7141887.52	2327346.23	REMOVE 12" GATE VALVE
32	7141923.98	2327345.77	REMOVE 12" GATE VALVE
33	7141928.73	2327342.22	REMOVE 12" GATE VALVE
34	7141933.53	2327342.10	REMOVE 12" GATE VALVE
35	7144860.34	2327212.84	REMOVE FH AND 6" VALVE
36	7145091.22	2327286.98	REMOVE FH AND 6" VALVE
37	7145546.03	2327271.40	REMOVE FH AND 6" VALVE
38	7145606.51	2327264.49	REMOVE FH AND 6" VALVE
39	7145791.97	2327260.46	REMOVE FH AND 6" VALVE
40	7145833.48	2327251.02	REMOVE 12" GATE VALVE
41	7145841.57	2327244.49	REMOVE WATER METER
42	7145854.13	2327234.34	REMOVE 8" GATE VALVE

WATER ABANDONMENT

Point #	Northing	Easting	Description
Q	BD 1273		REMOVE 12" WL PIPE
BD	BE 37		REMOVE 12" WL PIPE
BE	BF 10		REMOVE 12" WL PIPE
BF	BG 121		GROUT FILL AND ABANDON 12" WL PIPE
BG	BH 17		REMOVE 12" WL PIPE
BH	BI 37		REMOVE 12" WL PIPE
BI	BJ 311		GROUT FILL AND ABANDON 12" WL PIPE
BJ	BK 61		REMOVE 12" WL PIPE
BK	BL 33		REMOVE 12" WL PIPE
BL	BM 91		REMOVE 16" WL PIPE
BM	BN 63		REMOVE 16" WL PIPE
BN	BO 113		REMOVE 16" WL PIPE
BO	BP 908		REMOVE 16" WL PIPE
BP	BQ 365		REMOVE 16" WL PIPE
BQ	BR 46		REMOVE 16" WL PIPE
BR	BS 10		REMOVE 16" WL PIPE
BS	BU 108		GROUT FILL AND ABANDON 16" WL PIPE

WATER ABANDONMENT

Point #	Northing	Easting	Description
BU	BV 53		REMOVE 16" WL PIPE
BV	BW 35		REMOVE 16" WL PIPE
BW	BX 136		REMOVE 16" WL PIPE
BX	BY 85		REMOVE 16" WL PIPE
BY	BZ 102		REMOVE 16" WL PIPE
BZ	CA 217		REMOVE 16" WL PIPE
CA	CB 4		REMOVE 16" WL PIPE
CB	CC 269		REMOVE 16" WL PIPE
CC	CD 13		REMOVE 16" WL PIPE
CD	CE 17		REMOVE 16" WL PIPE
CE	CF 31		REMOVE 16" WL PIPE
CF	CG 75		REMOVE 16" WL PIPE
CG	CH 74		REMOVE 8" WL PIPE
CH	CI 25		REMOVE 4" WL PIPE
CI	CJ 24		REMOVE 8" WL PIPE
CJ	CK 10		REMOVE 16" WL PIPE
CK	CL 108		GROUT FILL AND ABANDON 16" WL PIPE

WATER ABANDONMENT

Point #	Northing	Easting	Description
CL	CM 158		GROUT FILL AND ABANDON 6" FM
CM	CN 134		REMOVE 6" FM
CN	CO 139		GROUT FILL AND ABANDON 6" FM
CO	CP 28		REMOVE 6" FM
CP	CQ 464		GROUT FILL AND ABANDON 6" FM
CQ	CR 50		REMOVE 6" FM
CR	CS 34		REMOVE 6" FM
CS	CU 291		REMOVE 6" FM
CU	CV 169		GROUT FILL AND ABANDON 8" FM
CV	CW 41		REMOVE 8" FM
CW	CX 82		REMOVE 6" FM
CX	CY 221		REMOVE 6" FM

SANITARY SEWER LINE ABANDONMENT

Point #	Northing	Easting	Description
49	7143260.60	2374878.78	REMOVE SS MH

WATER ABANDONMENT

Point #	Northing	Easting	Description
49	7143260.60	2374878.78	REMOVE SS MH

WATER ABANDONMENT

Point #	Northing	Easting	Description
49	7143260.60	2374878.78	REMOVE SS MH

WATER ABANDONMENT

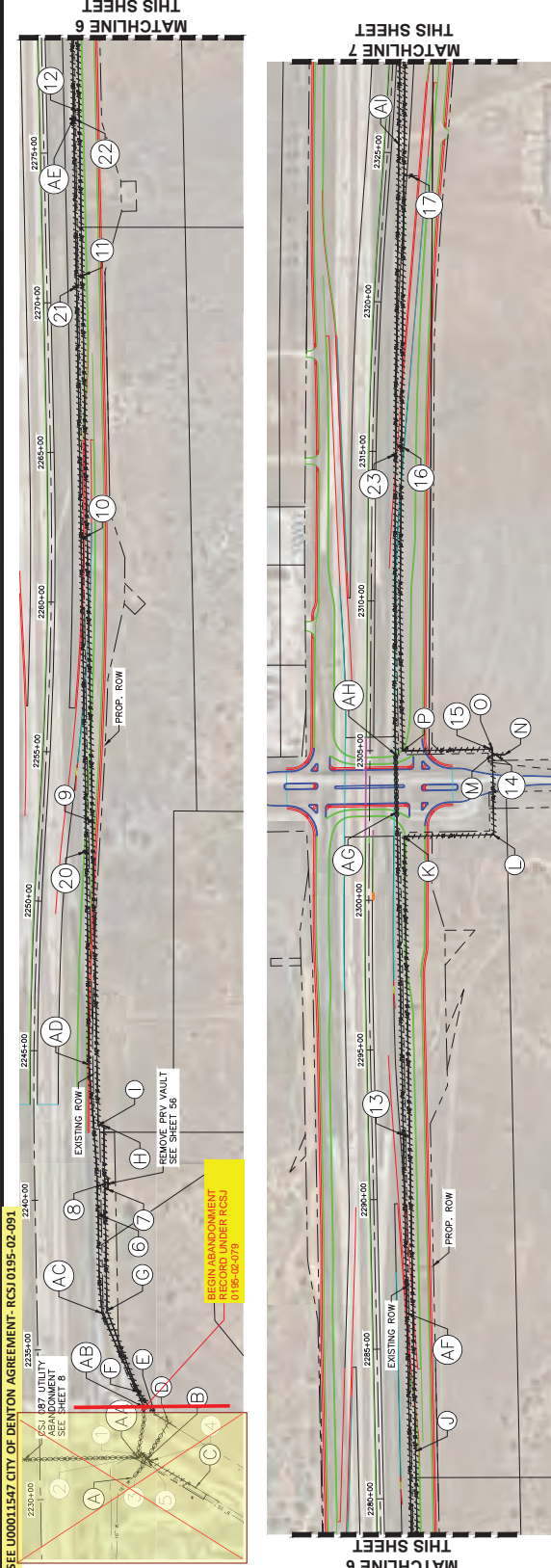
Point #	Northing	Easting	Description
49	7143260.60	2374878.78	REMOVE SS MH

WATER ABANDONMENT

Point #	Northing	Easting	Description
49	7143260.60	2374878.78	REMOVE SS MH



- SHEET NOTES:**
1. WATER SERVICE LINES 3" AND GREATER TO BE CAPPED AND LEFT IN PLACE.
 2. ALL UTILITY LINES 4" AND GREATER THAT REMAIN IN TPOOT ROW ARE TO BE REMOVED OR LINES SHOWN TO BE ABANDONED OUTSIDE OF TPOOT ROW MAY BE ABANDONED IN PLACE.



WATER ABANDONMENT

Point #	Nothing	Easting	Description
1	7146192.61	2373248.49	REMOVE FH AND 6" VALVE
2	7146185.95	2373241.18	REMOVE WATER METER
3	7146187.73	2373254.41	REMOVE WATER METER
4	7146171.34	2373275.56	REMOVE 8" GATE VALVE
5	7146177.88	2373263.12	REMOVE 16" GATE VALVE
6	7146991.32	2373106.91	REMOVE FH AND 6" VALVE
7	7147098.05	2373124.36	REMOVE 16" GATE VALVE
8	7147096.89	2373212.60	REMOVE 16" GATE VALVE
9	7148307.75	2373079.24	REMOVE 2" AIR RELEASE VALVE
10	7149254.54	2373047.21	REMOVE FH AND 6" VALVE
11	7150130.27	2373263.27	REMOVE 2" AIR RELEASE VALVE
12	7150680.18	2373032.42	REMOVE 2" AIR RELEASE VALVE
13	7152522.44	2372985.34	REMOVE FH AND 6" VALVE
14	7153526.22	2373286.77	REMOVE 12" GATE VALVE
15	7153544.39	2373271.81	REMOVE 16" GATE VALVE
16	7154556.17	2372972.22	REMOVE 2" AIR RELEASE VALVE
17	7154549.85	2373002.97	REMOVE 6" GATE VALVE
18	7156508.02	2372976.12	REMOVE FH AND 6" VALVE
19	7157658.07	2372986.88	REMOVE 2" AIR RELEASE VALVE

WATER LINE ABANDONMENT

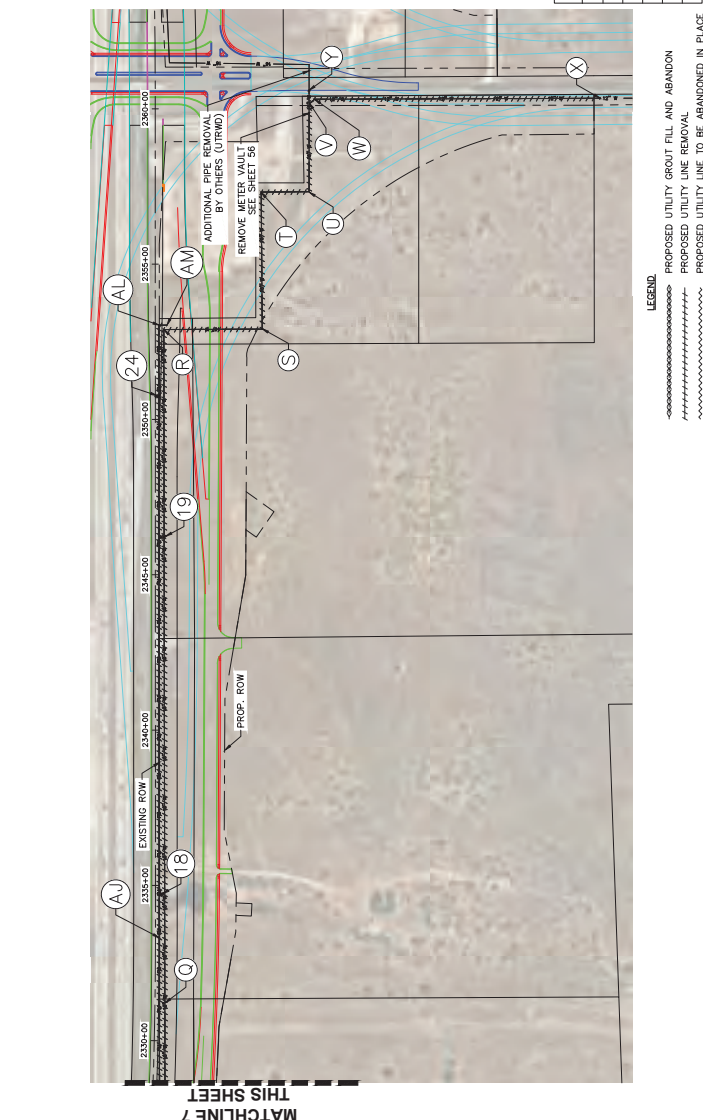
Begin	End	Length	Description
A	B	79'	GROUT FILL AND ABANDON 16" WL PIPE
C	B	185'	REMOVE 8" WL PIPE
B	D	142'	GROUT FILL AND ABANDON 16" WL PIPE
D	E	52'	REMOVE 16" WL PIPE
E	F	91'	REMOVE 16" WL PIPE
F	G	291'	REMOVE 16" WL PIPE
G	H	619'	REMOVE 16" WL PIPE
H	I	19'	REMOVE 16" WL PIPE
I	J	3907'	REMOVE 16" WL PIPE
J	K	2035'	REMOVE 16" WL PIPE
K	L	300'	REMOVE 16" WL PIPE
L	M	265'	REMOVE 16" WL PIPE
M	N	40'	REMOVE 16" WL PIPE
N	O	18'	REMOVE 16" WL PIPE
O	P	300'	REMOVE 16" WL PIPE
P	Q	2619'	REMOVE 16" WL PIPE
Q	R	317'	REMOVE 16" WL PIPE
R	S	317'	REMOVE 16" WL PIPE
S	T	440'	REMOVE 16" WL PIPE
T	U	155'	REMOVE 16" WL PIPE
U	V	288'	REMOVE 16" WL PIPE
V	W	21'	REMOVE 16" WL PIPE
W	X	919'	REMOVE 12" WL PIPE
X	Y	40'	REMOVE 16" WL PIPE

SANITARY SEWER LINE ABANDONMENT

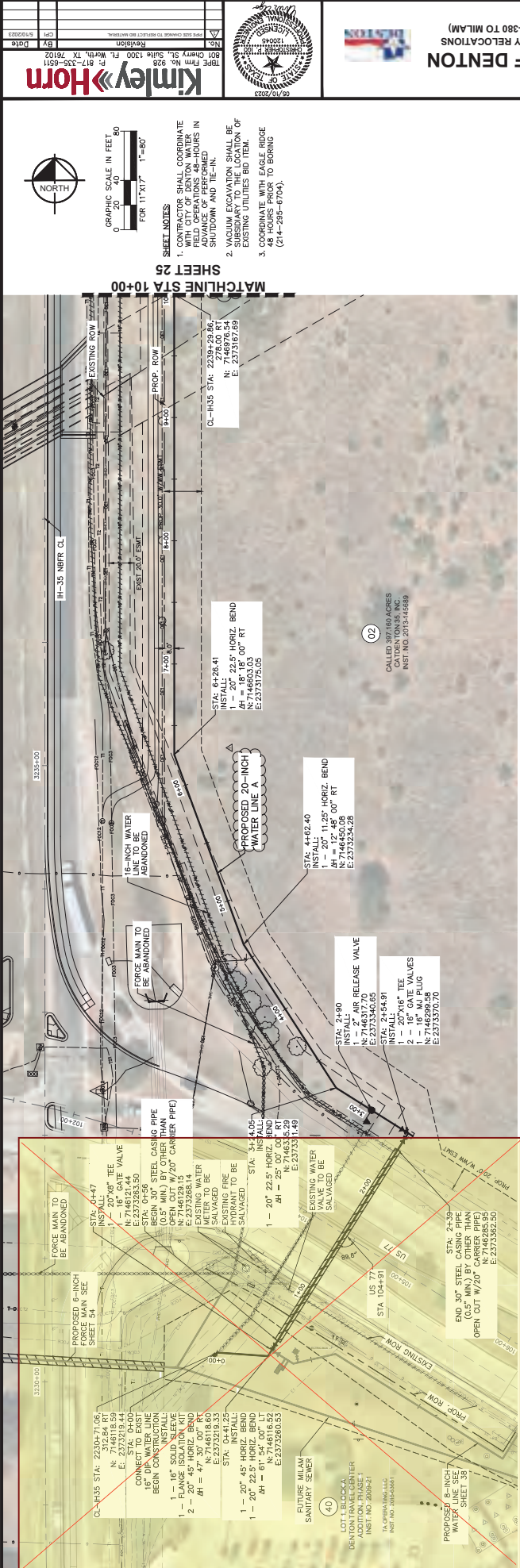
Begin	End	Length	Description
AA	AB	169'	GROUT FILL AND ABANDON 4" FM
AB	AC	343'	REMOVE 4" FM
AC	AD	831'	REMOVE 4" FM
AD	AE	3161'	REMOVE 4" FM
AE	AF	1005'	REMOVE 4" FM
AF	AG	1674'	REMOVE 4" FM
AG	AH	192'	GROUT FILL AND ABANDON 4" FM
AH	AI	2039'	REMOVE 4" FM
AI	AJ	803'	REMOVE 4" FM
AJ	AK	1972'	REMOVE 4" FM
AK	AM	25'	REMOVE 4" FM

SANITARY SEWER LINE ABANDONMENT

Point #	Nothing	Easting	Description
20	7148206.79	2373058.96	REMOVE 2" AIR RELEASE VALVE
21	7150094.98	2373027.32	REMOVE 2" AIR RELEASE VALVE
22	7150656.16	2373013.25	REMOVE 2" AIR RELEASE VALVE
23	7154528.05	2372981.34	REMOVE 2" AIR RELEASE VALVE
24	7158111.91	2372963.43	REMOVE 2" AIR RELEASE VALVE



- LEGEND:**
- PROPOSED UTILITY GROUT FILL AND ABANDON
 - PROPOSED UTILITY LINE REMOVAL
 - PROPOSED UTILITY LINE TO BE ABANDONED IN PLACE



Kimley-Horn
 801 Cherry St., Suite 1300, Ft. Worth, TX 76102
 P: 817-335-9511
 F: 817-335-9511
 BY: DMT
 DATE: 04/10/2023



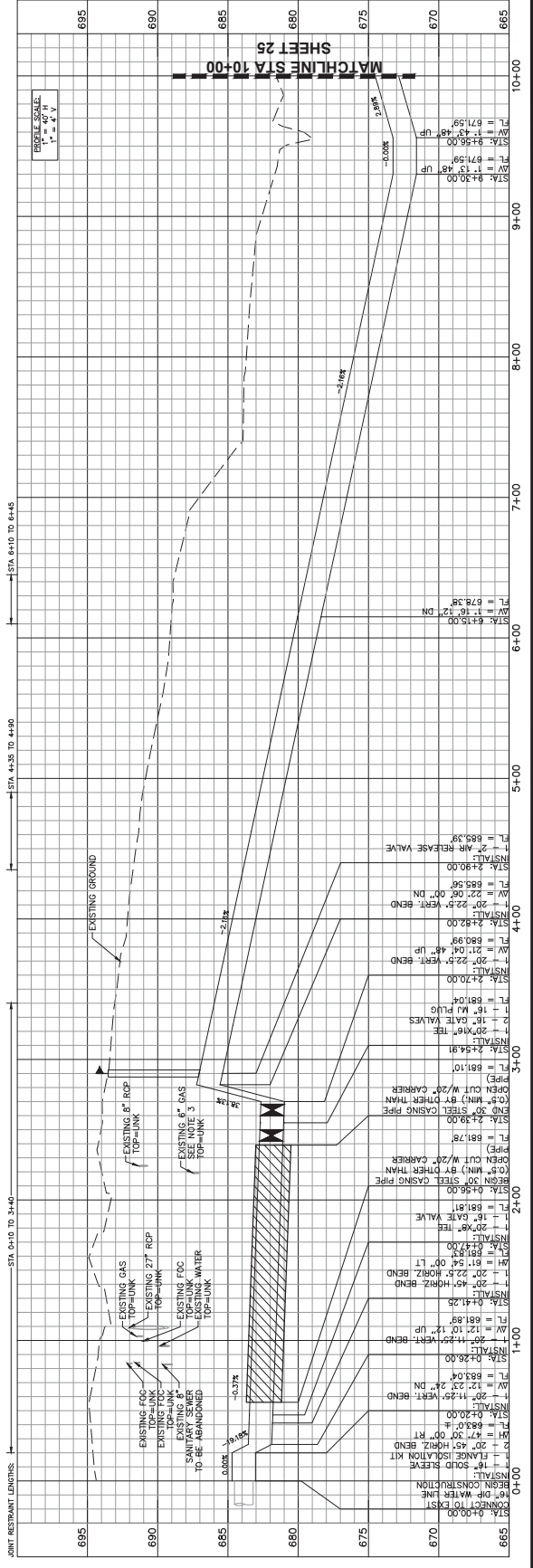
CITY OF DENTON
 (FROM US-380 TO MILAM)
 IH-35 UTILITY RELOCATIONS

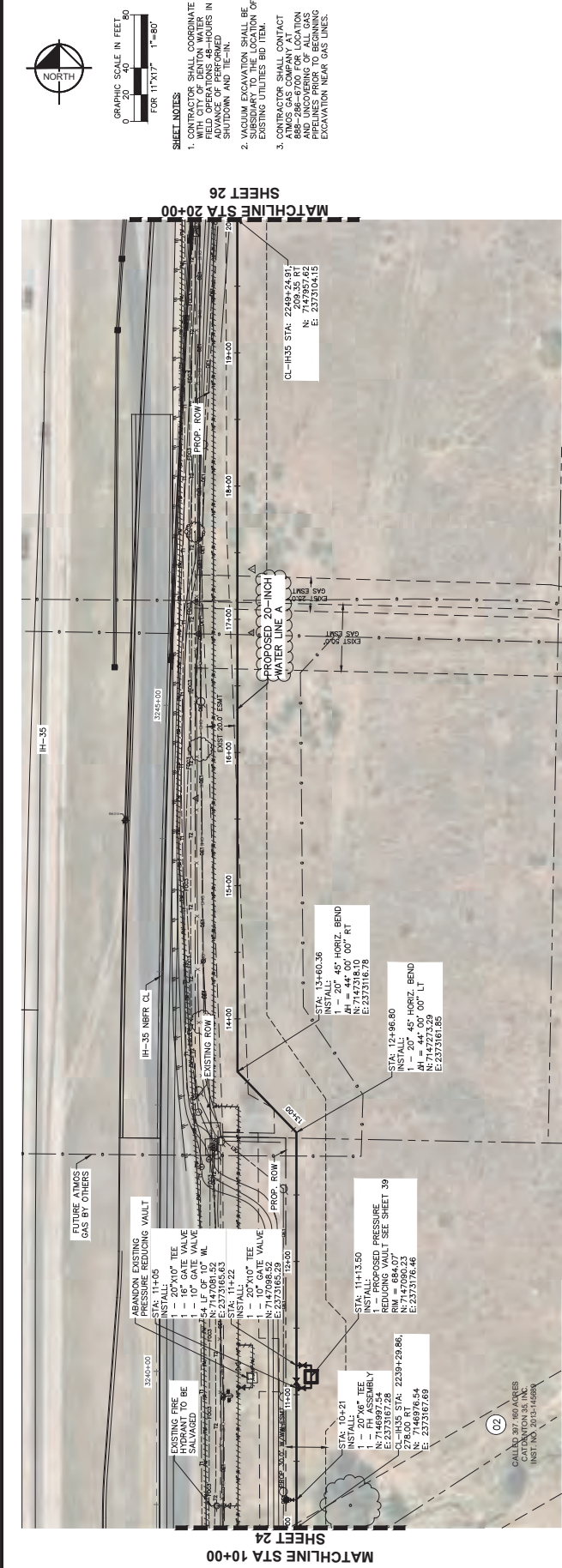
CSJ 074 - PROPOSED 20IN
 WL A STA 0+00 - 10+00

SHEET
 24
 DATE: APRIL 2023
 DESIGN: CFI
 DRAWN: NDOH
 CHECKED: JFA
 KHA NO.: 061024043

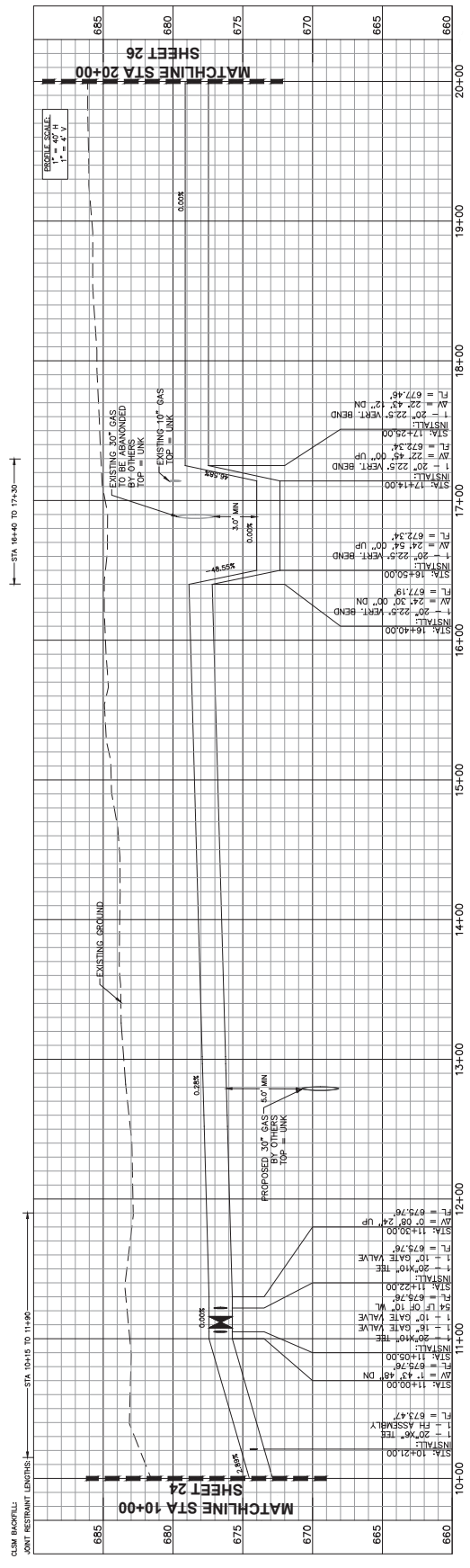
SHEET NOTES
 1. CONTRACTOR SHALL COORDINATE WITH ALL AGENCIES FOR FIELD OPERATIONS 48 HOURS IN ADVANCE OF PERFORMED WORK. ALL WORK SHALL BE COMPLETED BY 05:00 AM ON MONDAY AND TUESDAY.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES BY THE LOCATION OF EXISTING UTILITIES BIO ITEM.
 3. COORDINATE WITH EAGLE RIDGE 48 HOURS PRIOR TO BORING (214-295-0794).

SEE U00011547 CITY OF DENTON AGREEMENT - RCSJ 0195-02-091





CSJ 074 - PROPOSED 20IN WL A STA 10+00 - 20+00



Kimley-Horn
 801 Cherry St., Suite 1300 Ft. Worth, TX 76102
 Tel: 817-733-3333 Fax: 817-733-3511
 FIRM LICENSE NO. 1153-0001
 PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 STATE OF TEXAS

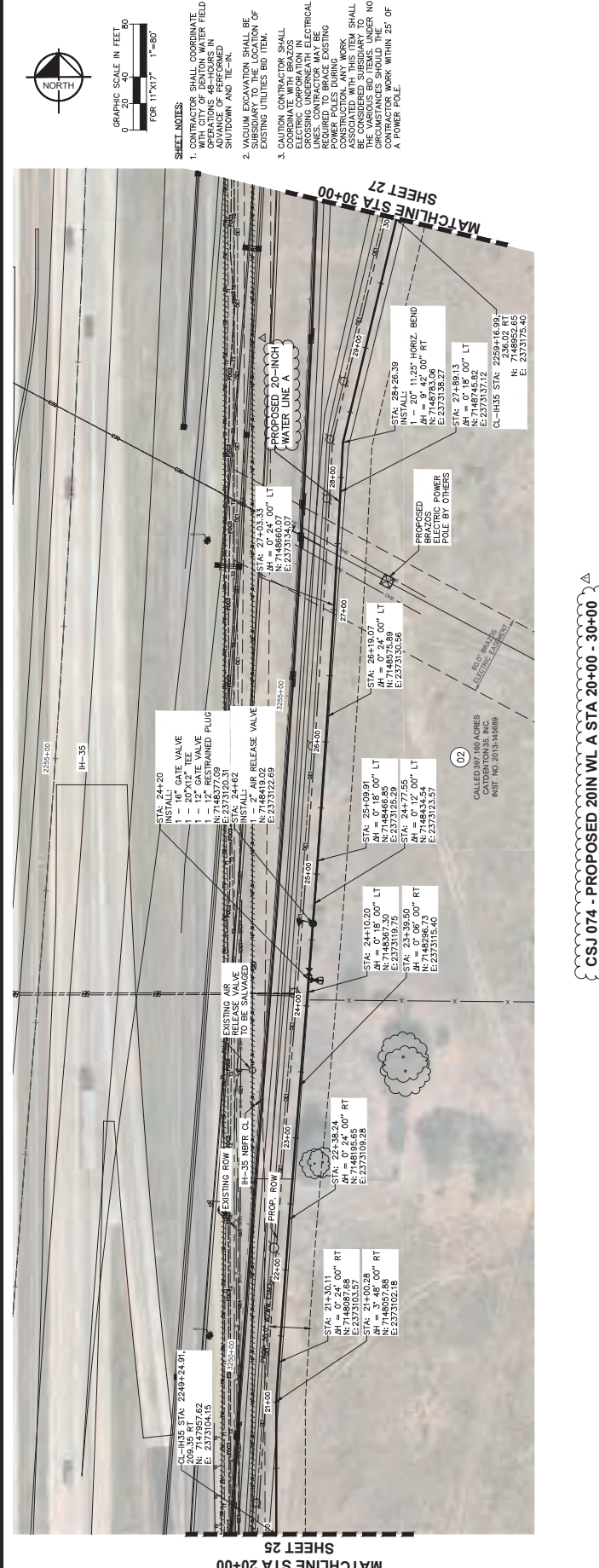


CITY OF DENTON
 (FROM US-380 TO MILAM)
 IH-35 UTILITY RELOCATIONS

CSJ 074 - PROPOSED 20IN WL A STA 20+00 - 30+00

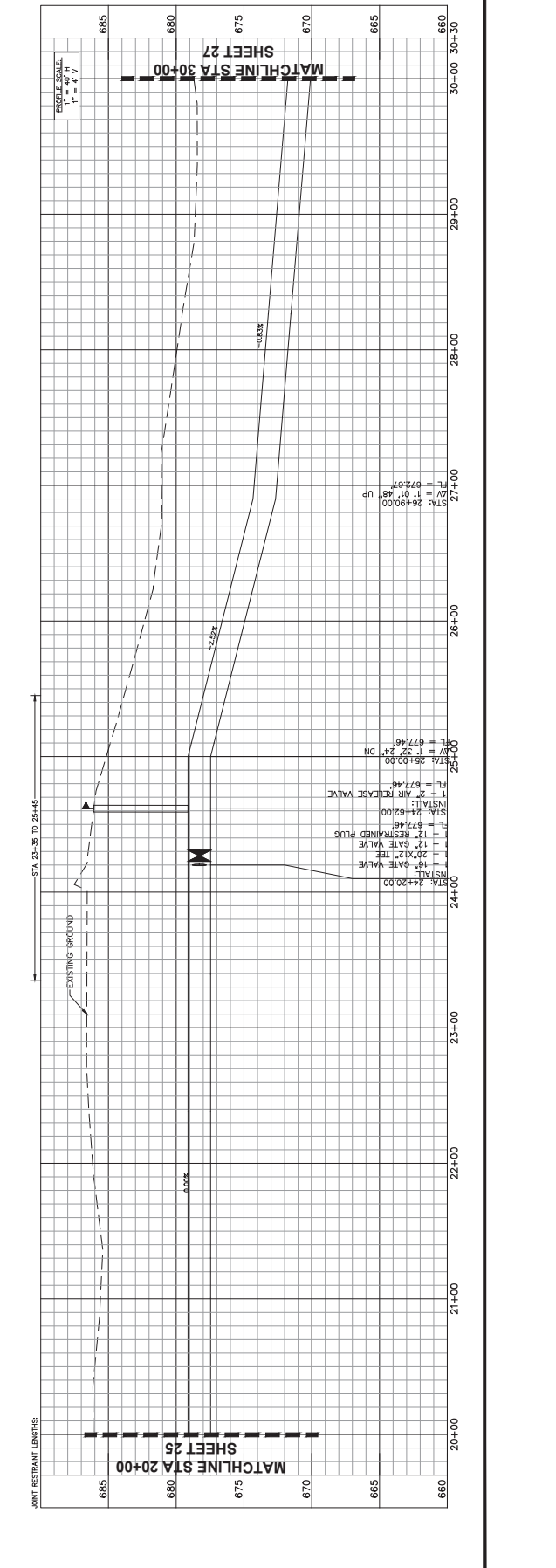
DATE:	APRIL 2023
DESIGN:	CPH
DRAWN:	NDCH
CHECKED:	JFA
KMA NO.:	061024043

26
 SHEET

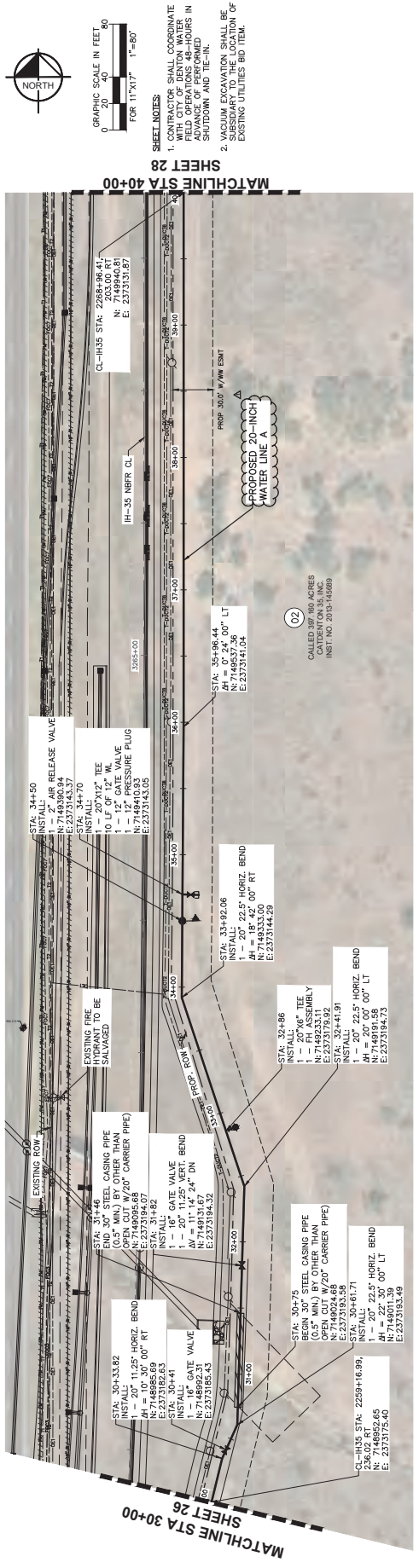


SHEET NOTES:
 1. CONTRACTOR SHALL COORDINATE WITH ALL AGENCIES AND FIELD OPERATIONS 48 HOURS IN ADVANCE OF ANY WORK TO BE PERFORMED ON-SITE AND THEREIN.
 2. ALL WORK SHALL BE SUBSIDIARY TO THE LOCATION OF EXISTING UTILITIES BID ITEM.
 3. CAUTION CONTRACTOR SHALL COORDINATE WITH BRAZOS CANES AND ALL OTHER UTILITIES CROSSING UNDERNEATH ELECTRICAL LINES. CONTRACTOR MAY BE REQUIRED TO RELOCATE OR PROTECT POWER POLES DURING CONSTRUCTION. ANY WORK SHALL BE CONSIDERED SUBSIDIARY TO THE LOCATION OF EXISTING UTILITIES UNDER NO CIRCUMSTANCES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONTRACTOR WORK WITHIN 25' OF A POWER POLE.

CSJ 074 - PROPOSED 20IN WL A STA 20+00 - 30+00

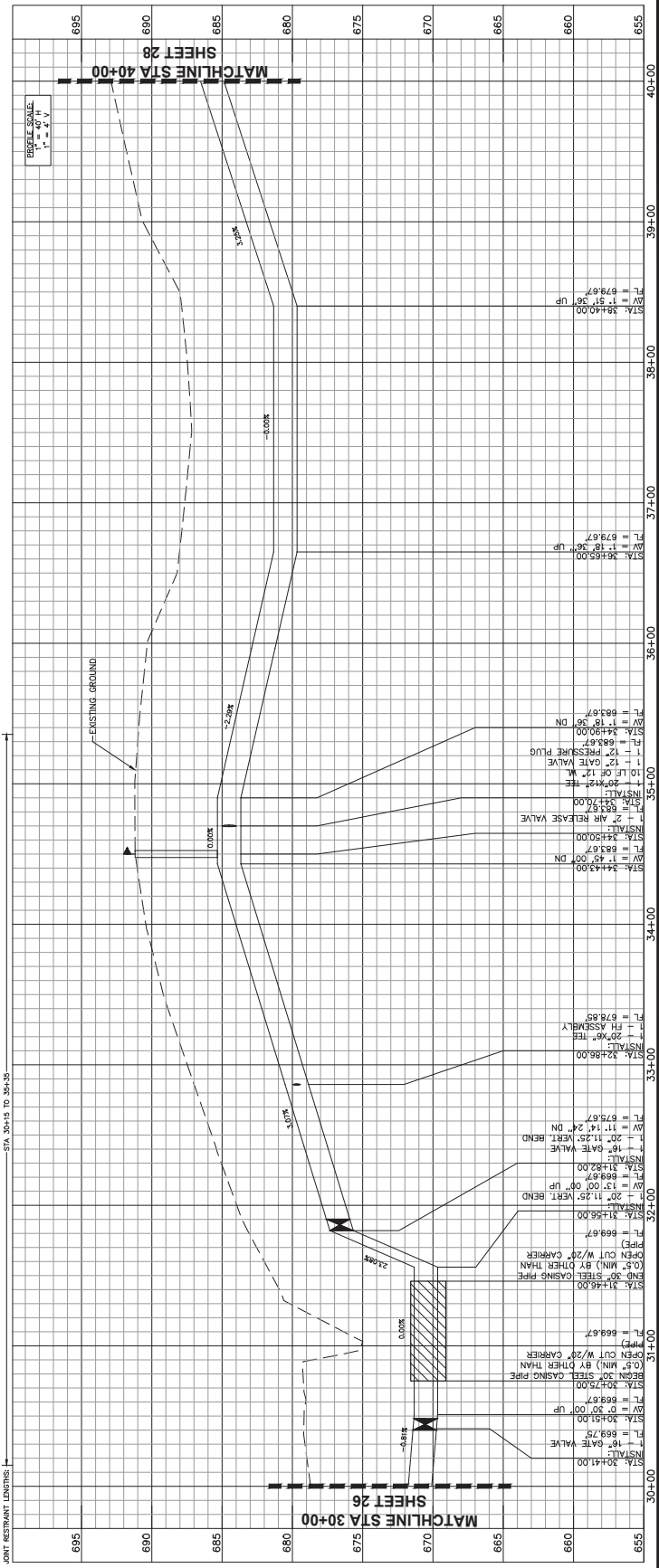


STATION	ELEVATION	DESCRIPTION
20+00	660	PROPOSED 20-INCH WATER LINE
20+00	665	EXISTING GROUND
21+00	670	PROPOSED 20-INCH WATER LINE
21+00	675	EXISTING GROUND
22+00	680	PROPOSED 20-INCH WATER LINE
22+00	685	EXISTING GROUND
23+00	685	PROPOSED 20-INCH WATER LINE
23+00	690	EXISTING GROUND
24+00	695	PROPOSED 20-INCH WATER LINE
24+00	700	EXISTING GROUND
25+00	705	PROPOSED 20-INCH WATER LINE
25+00	710	EXISTING GROUND
26+00	715	PROPOSED 20-INCH WATER LINE
26+00	720	EXISTING GROUND
27+00	725	PROPOSED 20-INCH WATER LINE
27+00	730	EXISTING GROUND
28+00	735	PROPOSED 20-INCH WATER LINE
28+00	740	EXISTING GROUND
29+00	745	PROPOSED 20-INCH WATER LINE
29+00	750	EXISTING GROUND
30+00	755	PROPOSED 20-INCH WATER LINE
30+00	760	EXISTING GROUND



- SHEET NOTES:**
1. ALL FIELD OPERATIONS SHALL BE CONDUCTED WITHIN THE CITY OF DENTON WATER UTILITY SHUTDOWN AND TIE-IN.
 2. VACUUM EXCAVATION SHALL BE NECESSARY TO THE LOCATION OF EXISTING UTILITIES BID ITEM.

PROPOSED 20-INCH WATER LINE



JOINT RESTRAINT LENGTHS: STA 30+15 TO 30+35

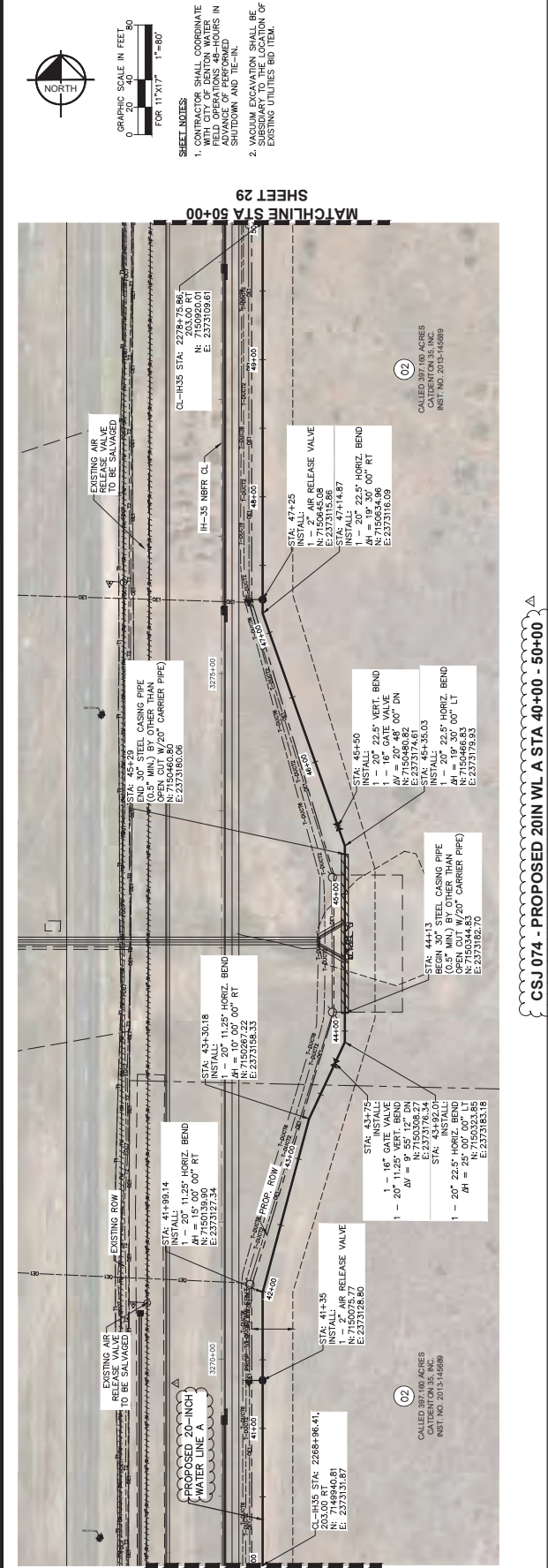
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GRAPHIC SCALE IN FEET: 0 20 40 50

FOR 11\"/>

1\"/>

1\"/>

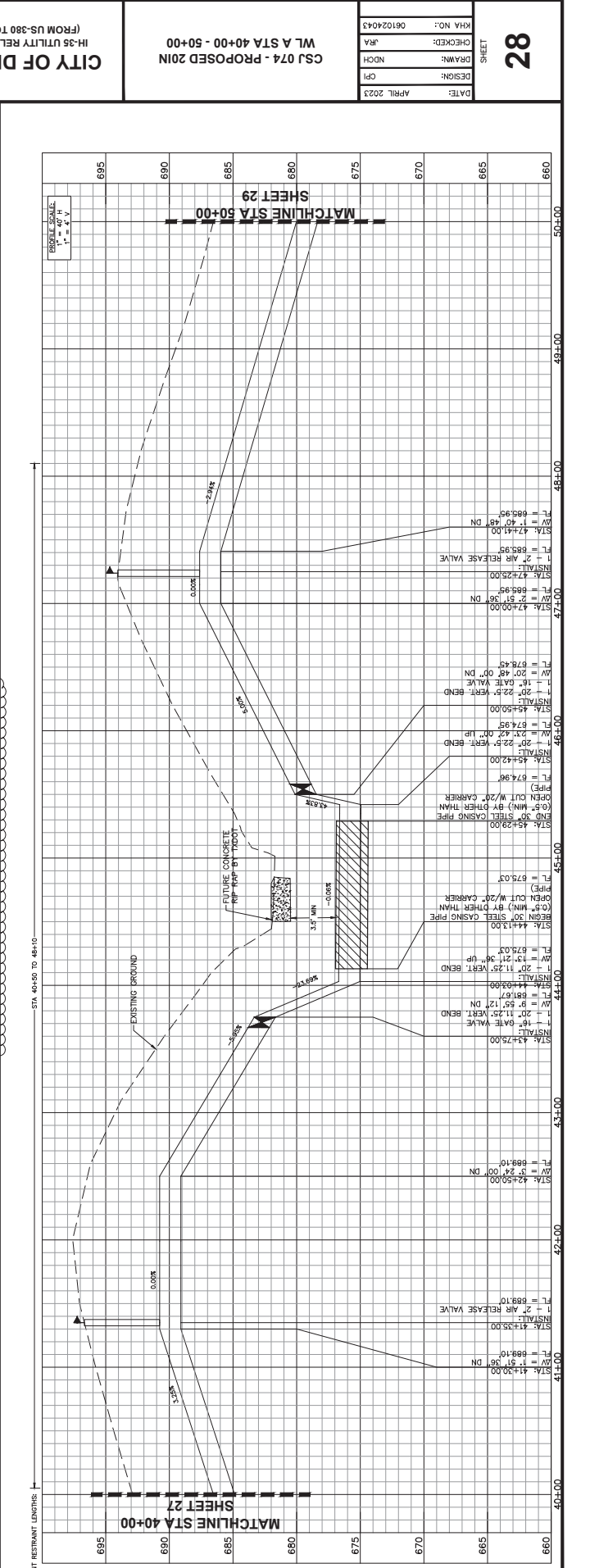


SHEET 27
 MATCHLINE STA 40+00

SHEET 29
 MATCHLINE STA 50+00

GRAPHIC SCALE IN FEET
 0 20 40 60
 FOR 11"X17" 1"=80'
 1"=40'

SHEET NOTES:
 1. ALL FIELD OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH THE CITY OF DENTON WATER UTILITY DEPARTMENT'S STANDARD OPERATING PROCEDURES (SOP) AND THE CITY OF DENTON WATER UTILITY DEPARTMENT'S STANDARD SPECIFICATIONS FOR WATER MAINS.
 2. VACUUM EXCAVATION SHALL BE USED TO EXPOSE EXISTING UTILITIES TO BE SALVAGED.



SHEET 27
 MATCHLINE STA 40+00

SHEET 29
 MATCHLINE STA 50+00

GRAPHIC SCALE IN FEET
 0 20 40 60
 FOR 11"X17" 1"=80'
 1"=40'

SHEET NOTES:
 1. ALL FIELD OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH THE CITY OF DENTON WATER UTILITY DEPARTMENT'S STANDARD OPERATING PROCEDURES (SOP) AND THE CITY OF DENTON WATER UTILITY DEPARTMENT'S STANDARD SPECIFICATIONS FOR WATER MAINS.
 2. VACUUM EXCAVATION SHALL BE USED TO EXPOSE EXISTING UTILITIES TO BE SALVAGED.

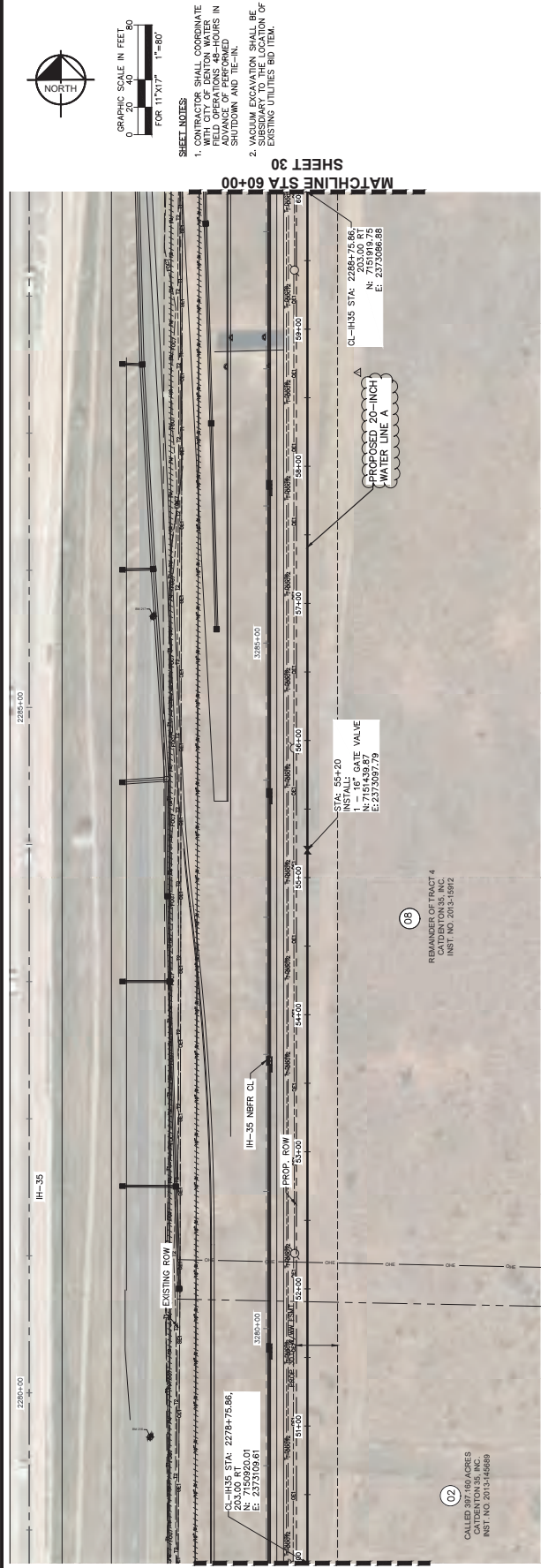
DATE:	APRIL 2023
DESIGN:	CPI
DRAWN:	NDCH
CHECKED:	JFA
KMA NO.:	06102403



CITY OF DENTON
 (FROM US-380 TO MILAM)
 IH-35 UTILITY RELOCATIONS

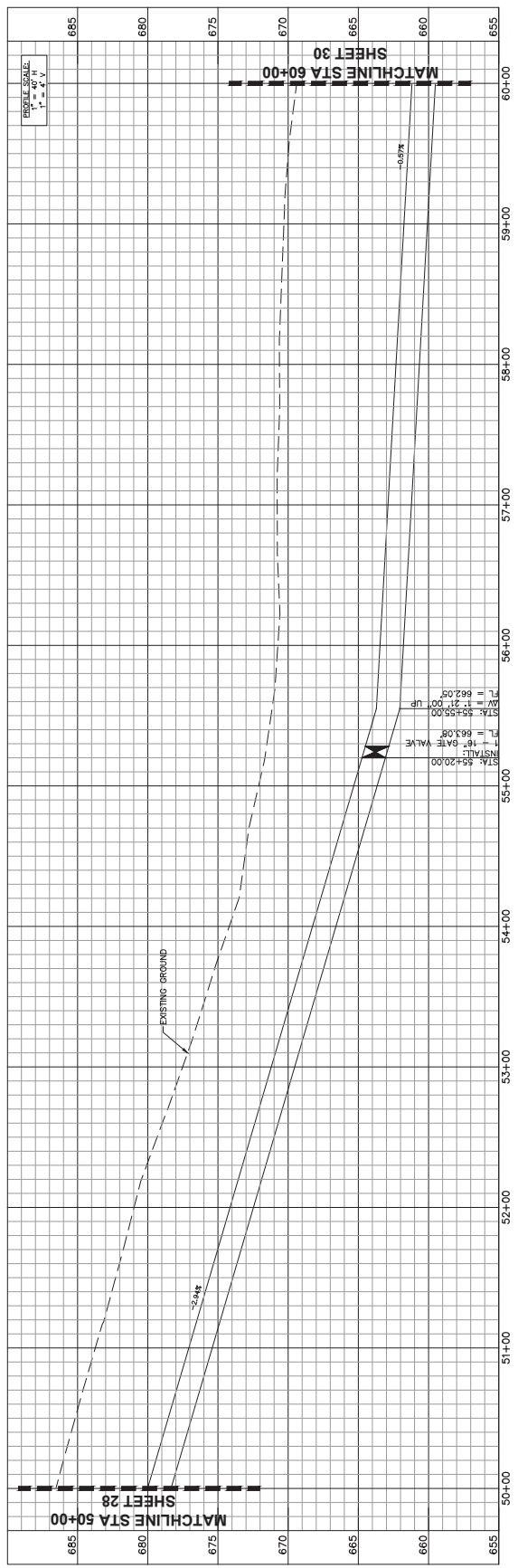
CSJ 074 - PROPOSED 20IN WL A STA 50+00 - 60+00

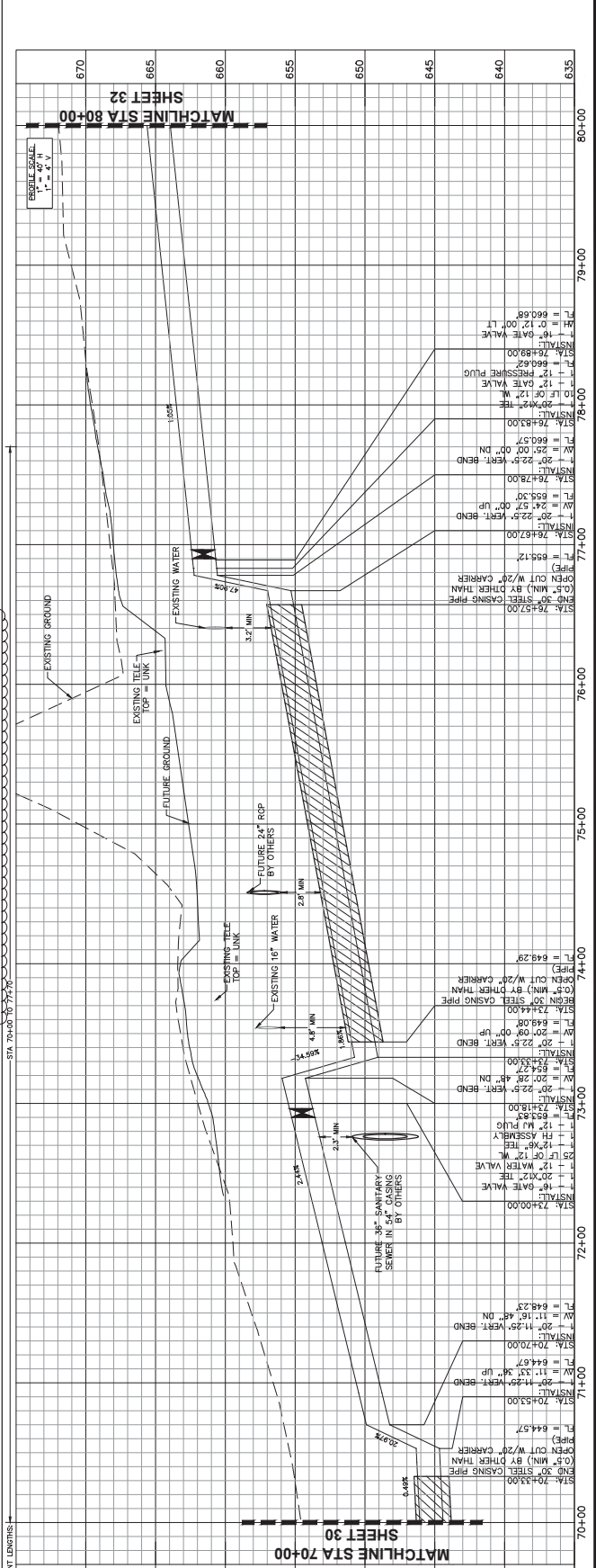
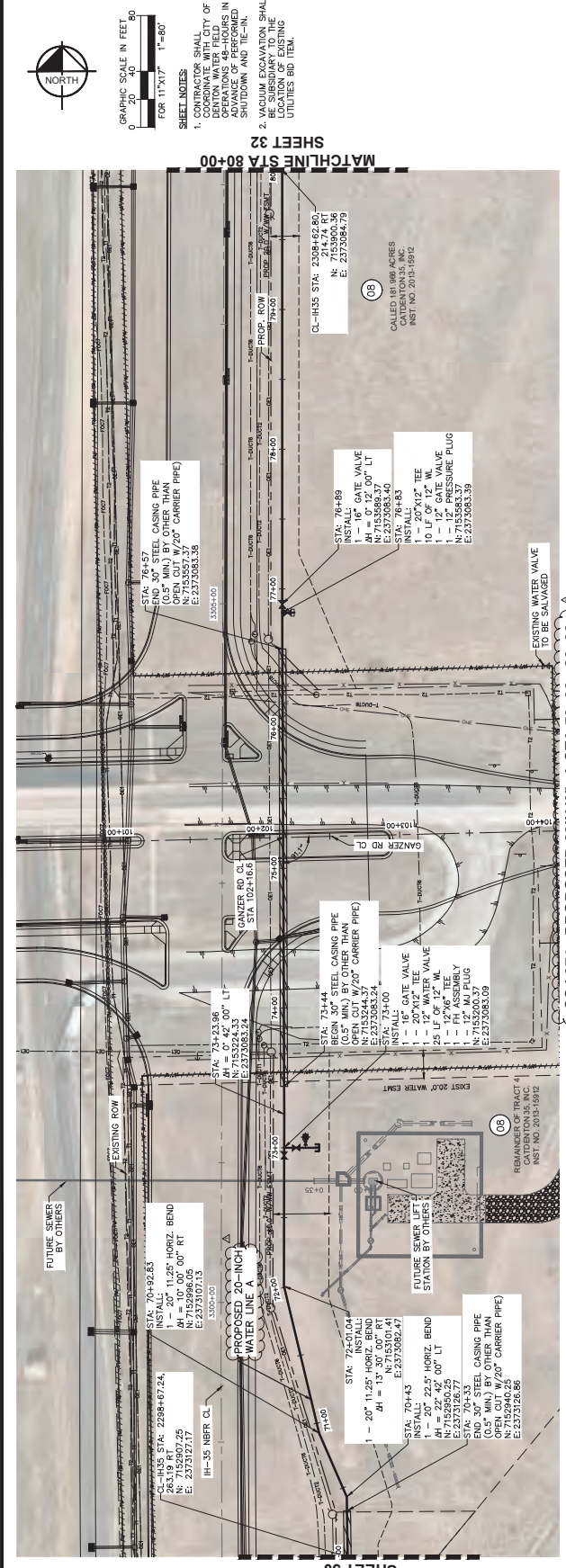
29
 SHEET



SHEET NOTES:
 1. ALL UTILITY SHALL OPERATE WITH CITY OF DENTON WATER IN SHUTDOWN AND TIE-IN.
 2. VACUUM EXCAVATION SHALL BE SUBSIDIARY TO THE LOCATION OF EXISTING UTILITIES BID ITEM.

CSJ 074 - PROPOSED 20IN WL A STA 50+00 - 60+00





SHEET 30
 MATCHLINE STA 70+00

SHEET 31
 MATCHLINE STA 80+00

GRAPHIC SCALE IN FEET
 0 20 40 60
 1" = 40'

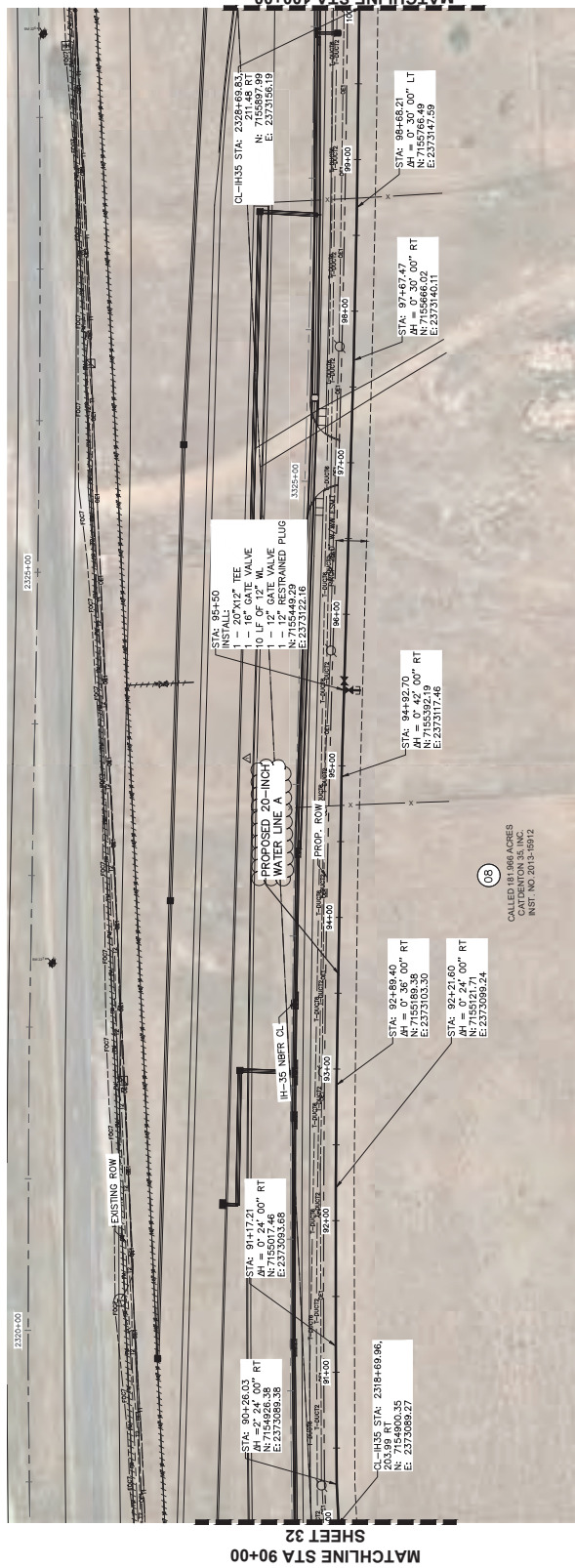
FOR 11"X17"
 1" = 80'

SHEET NOTES
 1. CONTRACTOR SHALL COORDINATE WITH CITY OF DENTON FOR ALL UTILITIES OPERATIONS 48-HOURS IN ADVANCE OF PERFORMED SHUTDOWN AND TIE-IN.
 2. VACUUM EXCAVATION SHALL BE USED TO EXPOSE LOCATION OF EXISTING UTILITIES BID ITEM.

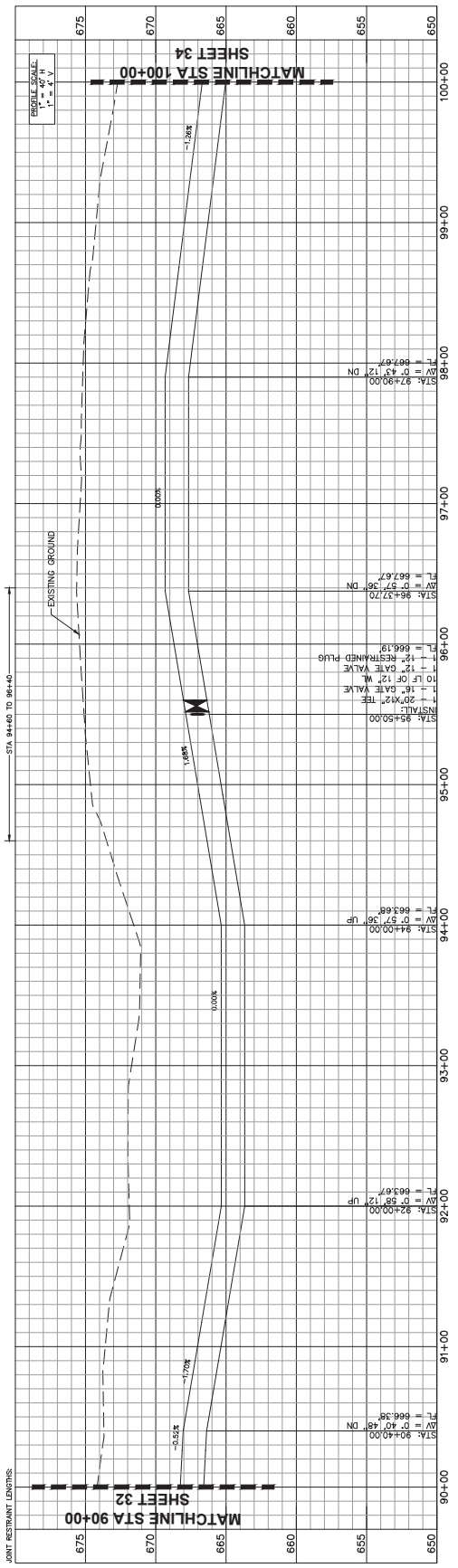


SHEET NOTES:

1. ALL FIELD OPERATIONS SHALL BE CONDUCTED WITHIN THE 48-HOUR FIELD OPERATIONS WINDOW WITH THE CITY OF DENTON WATER SHUTDOWN AND TE-IN.
2. VASULUM EXCAVATION SHALL BE SUBSIDIARY TO THE LOCATION OF EXISTING UTILITIES BID ITEM.



CSJ 074 - PROPOSED 20IN WL A STA 90+00 - 100+00



GRAPHIC SCALE IN FEET
 0 20 40 50
 FOR 11"X17" 1"=80'

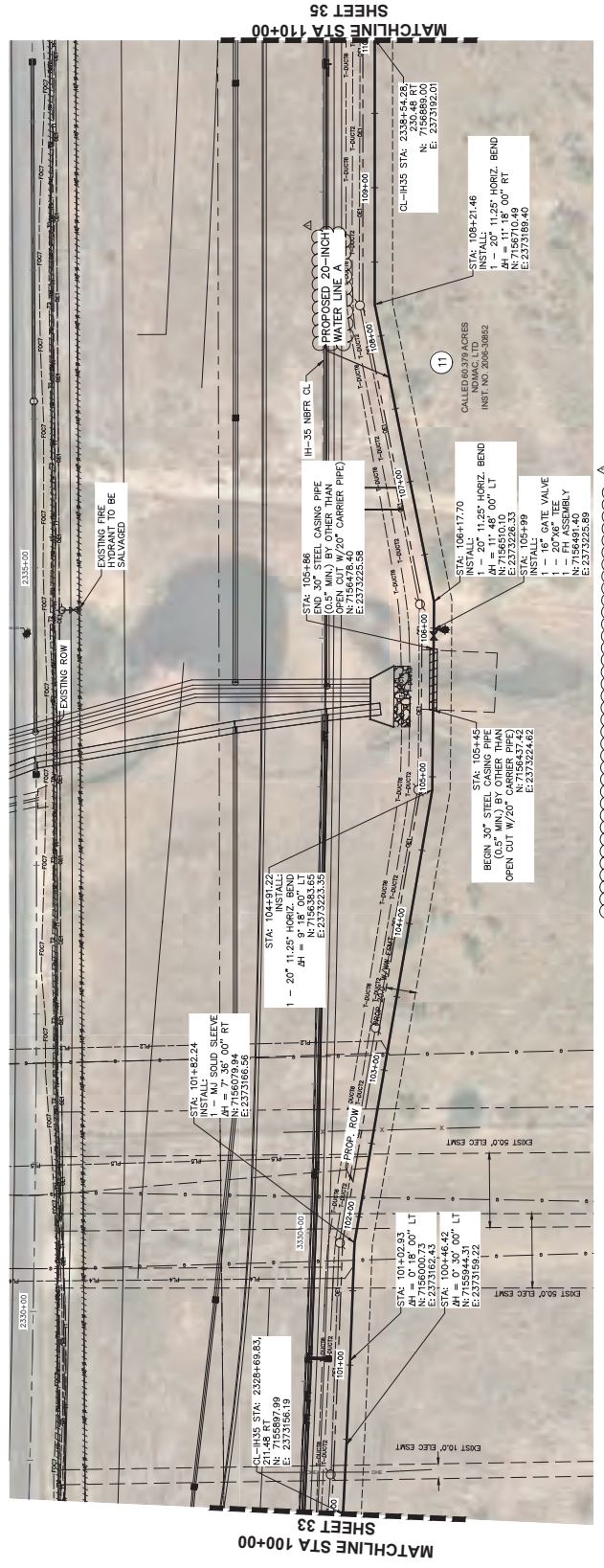
SHEET 32
 MATCHLINE STA 90+00

SHEET 34
 MATCHLINE STA 100+00

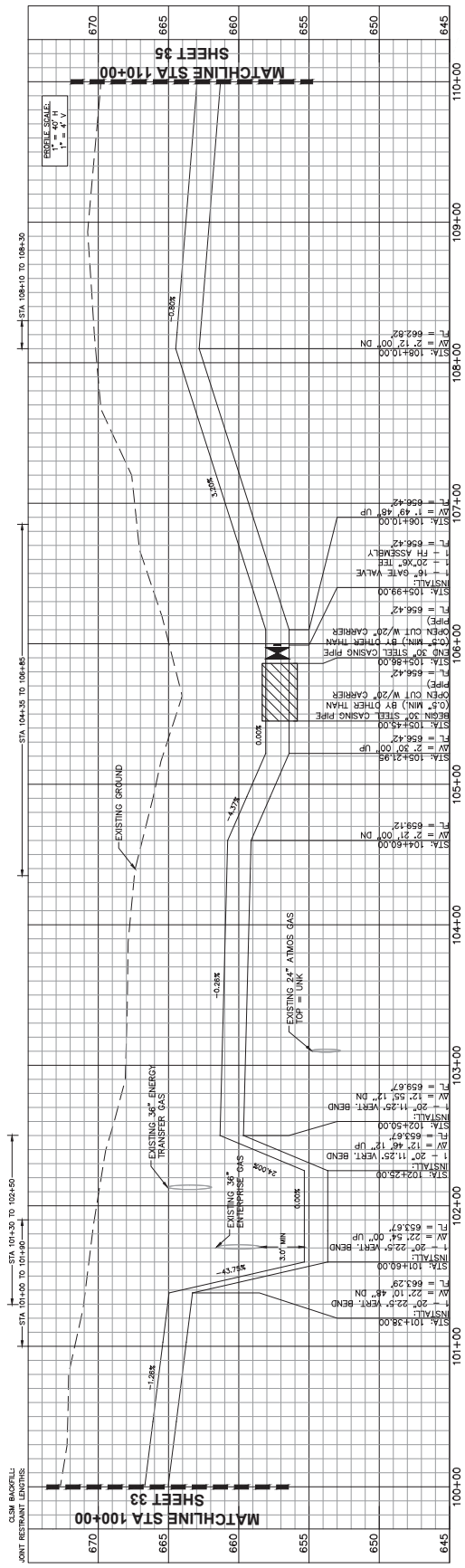


GRAPHIC SCALE IN FEET
 0 20 40 60
 FOR 11"X17" 1"=60'
 FOR 11"X17" 1"=80'

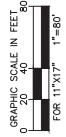
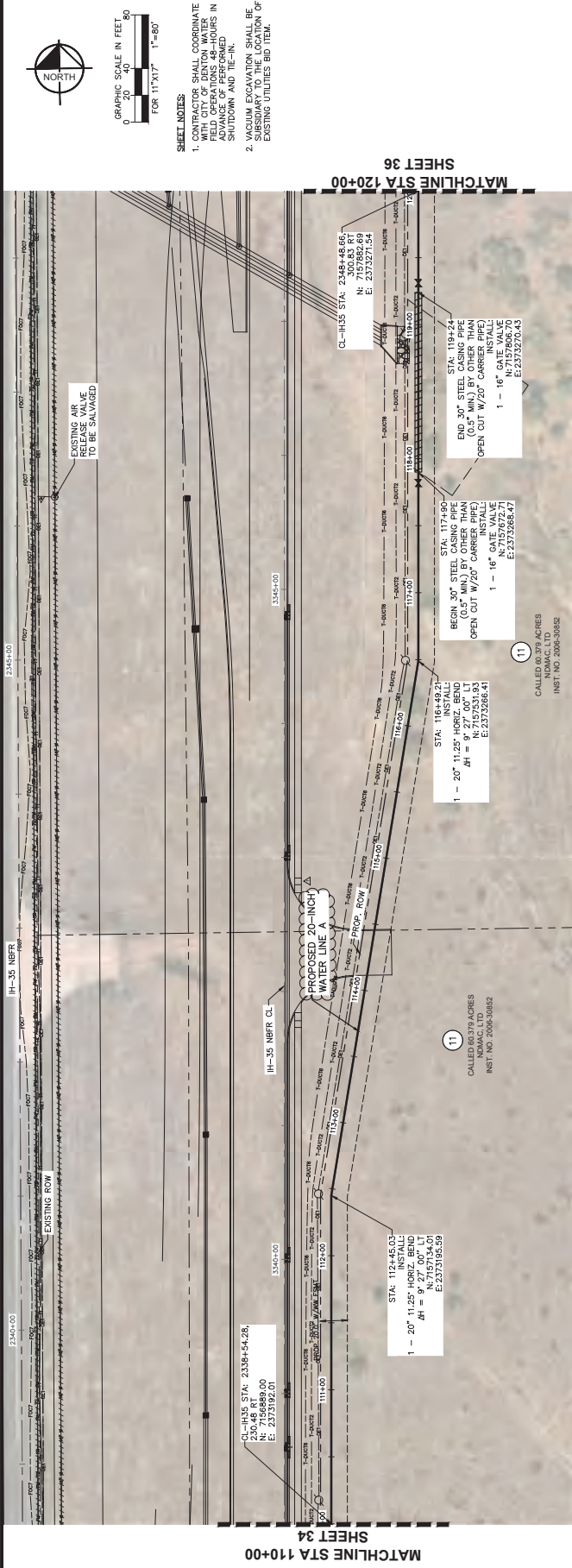
- SHEET NOTES:**
- CONTRACTOR SHALL CONTACT THE UTILITY OWNERS FOR THE LOCATION OF ALL EXISTING UTILITIES. THE UTILITY OWNERS ARE: ENERGY TRANSFER GAS (214-381-0700), TEXAS ELECTRIC CO. (214-381-0700), TEXAS GAS (888-288-0700) PRIOR TO CROSSING GAS LINE.
 - CONTRACTOR SHALL COORDINATE WITH CITY OF DENTON FOR ALL OPERATIONS 48 HOURS IN ADVANCE OF PERFORMED SHUTDOWN AND TIE-IN.
 - VACUUM EXCAVATION SHALL BE USED FOR ALL TIE-INS OF EXISTING UTILITIES BID ITEM.



CSJ 074 - PROPOSED 20IN WL A STA 100+00 - 110+00

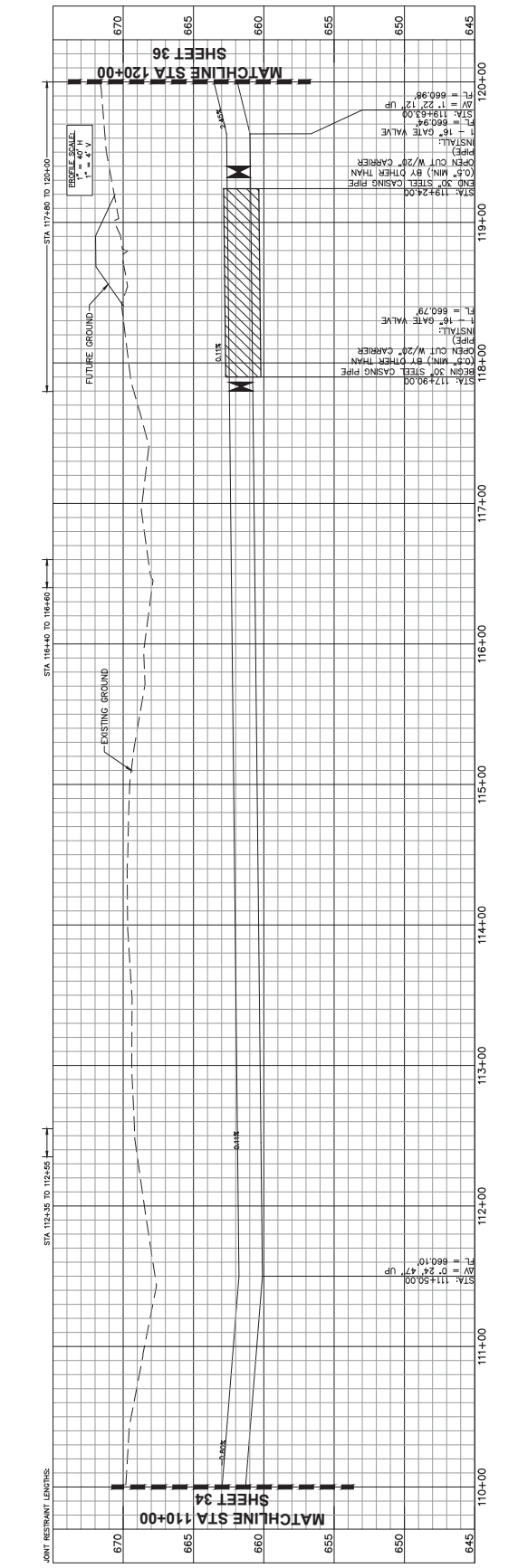


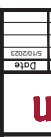
100+00 101+00 102+00 103+00 104+00 105+00 106+00 107+00 108+00 109+00 110+00



SHEET NOTES:
 1. CONTRACTOR SHALL COORDINATE FIELD OPERATIONS 48 HOURS IN ADVANCE OF PERFORMED SURVEY AND THEN.
 2. ALL UTILITIES SHOWN SHALL BE SUBSIDIARY TO THE LOCATION OF EXISTING UTILITIES BID ITEM.

CSJ 074 - PROPOSED 20IN WL A STA 110+00 - 120+00

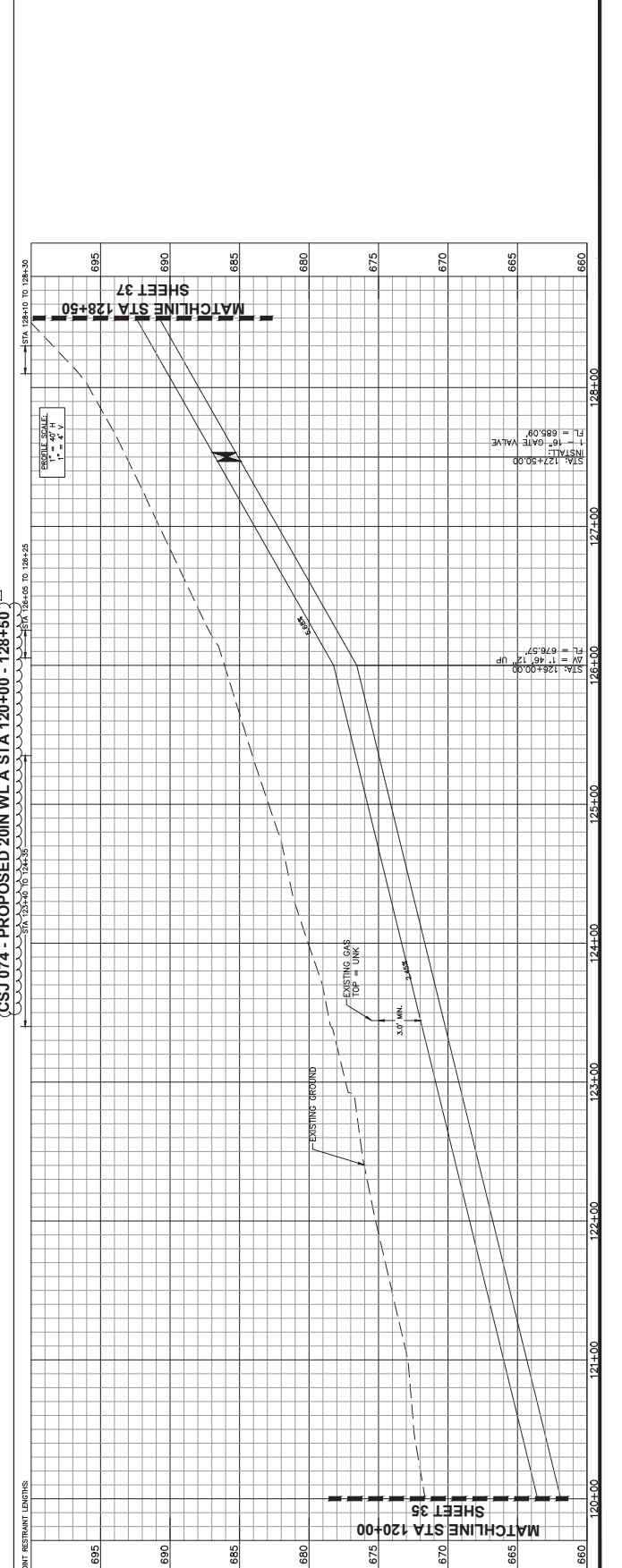
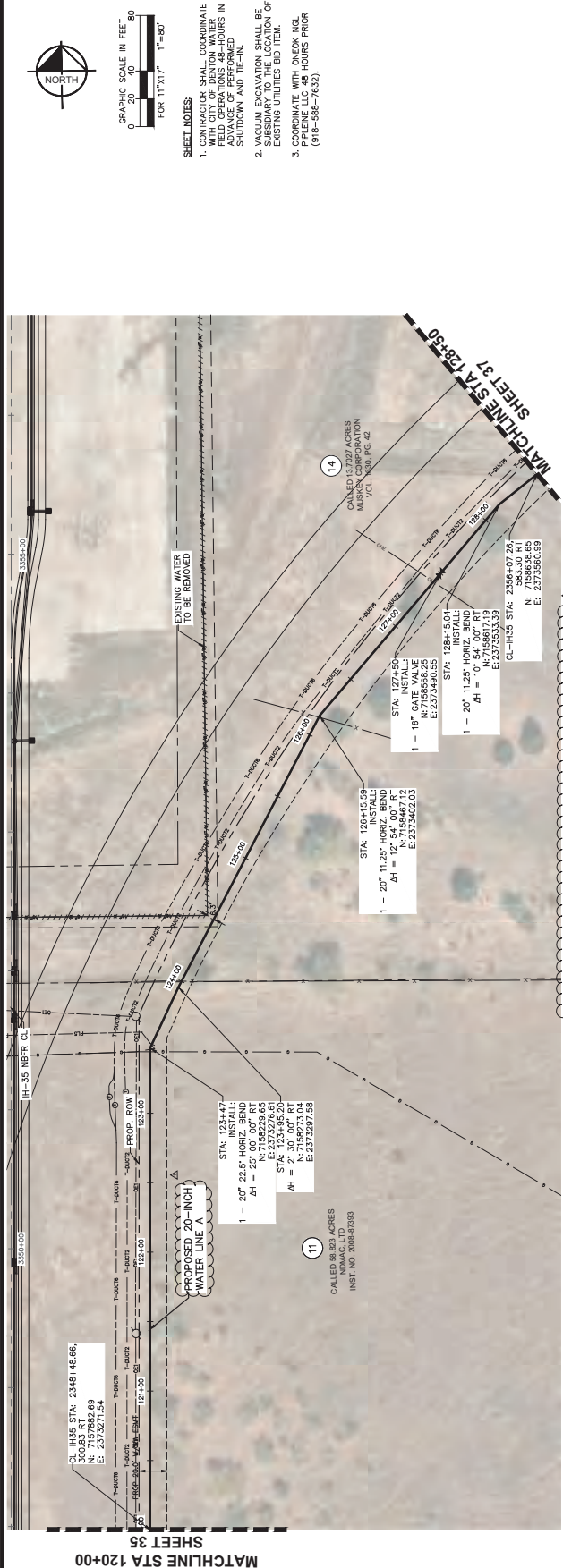



CITY OF DENTON
 (FROM US-380 TO MILAM)
 IH-35 UTILITY RELOCATIONS
 CSJ 074 - PROPOSED 20IN WL A
 STA 120+00 - 128+50
 KHA NO.: 061024043
 CHECKED: JFA
 DESIGN: NDCH
 CFI:
 DATE: APRIL 2023


 No. 13588
 Exp. 08/31/2023
 State of Texas
 PROFESSIONAL ENGINEER
 CIVIL
 DATE: 5/10/2023
 BY: DTD
 TITLE: PEER CHECK TO REFLECT 80% MATERIAL

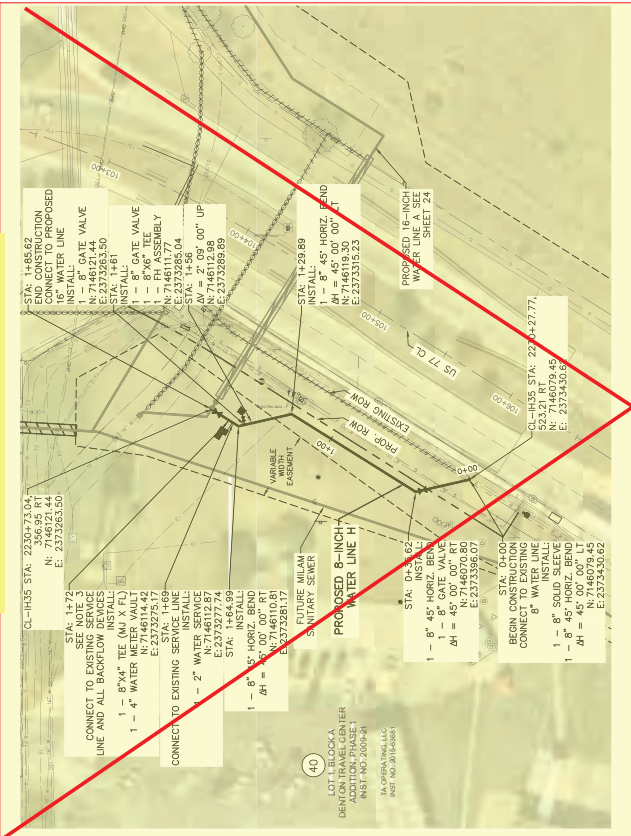


36
 SHEET
 KHA NO.: 061024043
 CHECKED: JFA
 DESIGN: NDCH
 CFI:
 DATE: APRIL 2023



MATCHLINE STA 120+00
 MATCHLINE STA 128+50
 SHEET 35
 SHEET 37
 CSJ 074 - PROPOSED 20IN WL A STA 120+00 - 128+50
 GRAPHIC SCALE IN FEET FOR 11"x17" 1"=80'
 NORTH
 SHEET NOTES:
 1. CONTRACTOR SHALL COORDINATE WITH ONEOK NGL PIPELINE LLC 48 HOURS PRIOR TO CONSTRUCTION.
 2. EXISTING WATER LINES SHALL BE REMOVED.
 3. COORDINATE WITH ONEOK NGL PIPELINE LLC 48 HOURS PRIOR (916-588-7632).

SEE U00011547 CITY OF DENTON AGREEMENT - RCSJ 01095-02-091



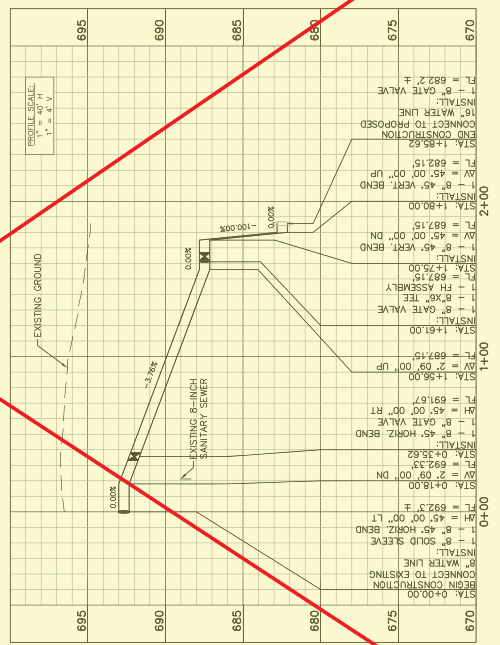
- SHEET NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND OPERATIONS 48-HOURS IN ADVANCE. ALL WORK SHALL BE COMPLETED BY 5:00 PM. ALL WORK SHALL BE COMPLETED BY 5:00 PM. ALL WORK SHALL BE COMPLETED BY 5:00 PM.
 - VACUUM EXCAVATION SHALL BE USED FOR ALL EXCAVATIONS UNLESS OTHERWISE NOTED. ALL EXCAVATIONS SHALL BE PROTECTED BY SHUTDOWN AND TIE-IN.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND OPERATIONS 48-HOURS IN ADVANCE. ALL WORK SHALL BE COMPLETED BY 5:00 PM. ALL WORK SHALL BE COMPLETED BY 5:00 PM. ALL WORK SHALL BE COMPLETED BY 5:00 PM.

Kimley-Horn
 10000 Preston Road, Suite 200, Dallas, TX 75242
 (972) 440-0000
 www.kimley-horn.com

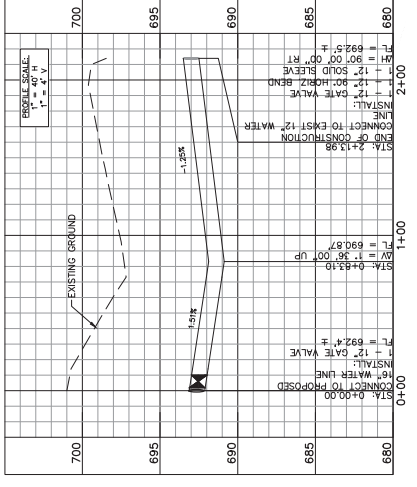


CITY OF DENTON
 (FROM US-380 TO MILAM)
 IH-36 UTILITY RELOCATIONS

CSJ 087 - PROPOSED 8IN WL H



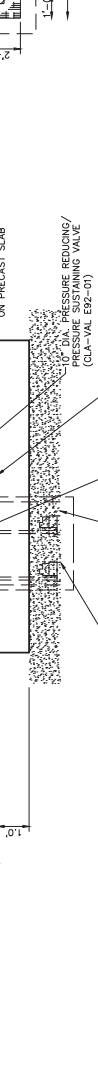
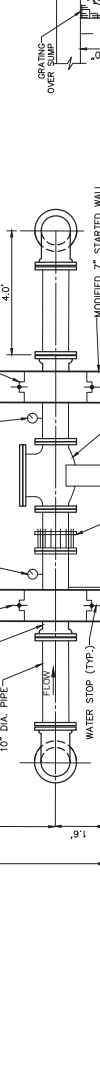
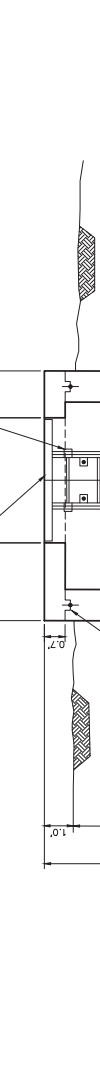
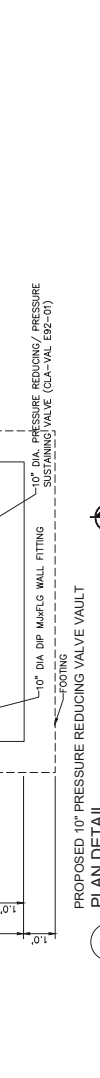
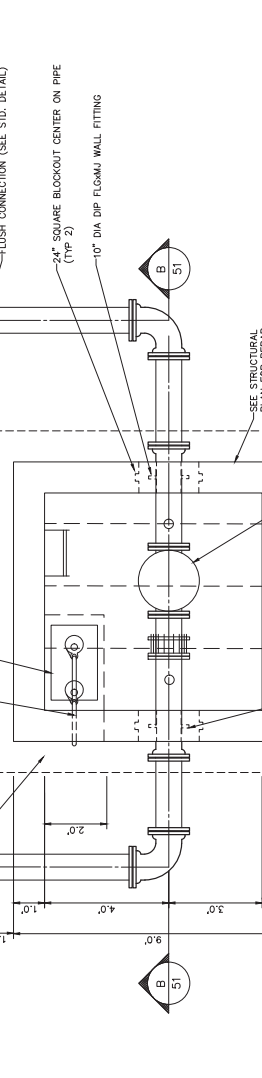
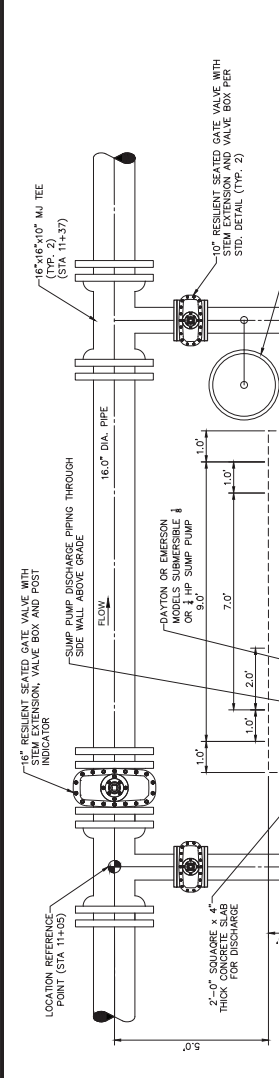
CSJ 074 - PROPOSED 12 IN WL B

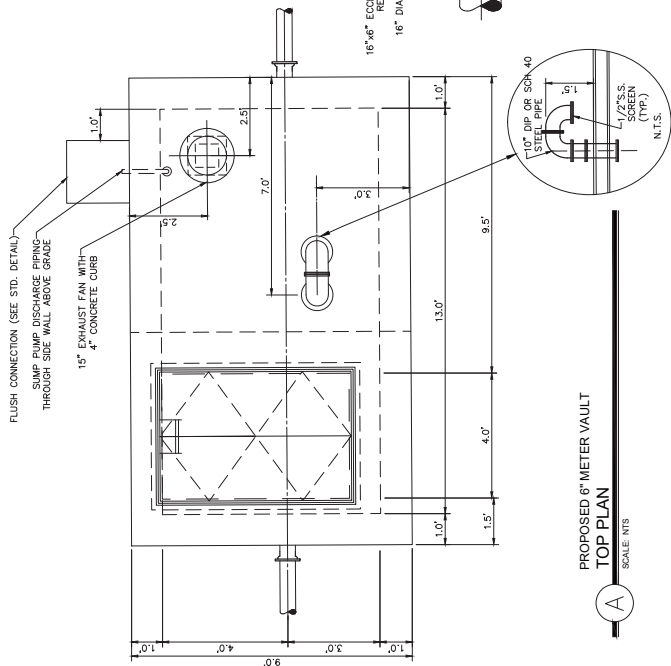


38
 SHEET
 DATE: MARCH 2023
 DESIGN: NDOCH
 CHECKED: JFA
 KMA NO.: 061024043

CSJ 087 - PROPOSED 8IN WL H & CSJ 074 - PROPOSED 12IN WL B

- NOTES:**
1. ALL BURIED FITTINGS SHOWN ON THIS SHEET SHALL BE RESTRAINED FLEXIBLE JOINT FITTINGS. ALL PIPE SHOWN SHALL BE DUCTILE IRON. CONTRACTOR SHALL ROUTE ACCESS HATCH DRAIN PIPE TO DISCHARGE OUTSIDE VAULT. REFER TO ACCESS HATCH MANUFACTURER FOR RECOMMENDATION OF HATCH DRAIN ROUTING.
 2. CONTRACTOR SHALL ROUTE THE SUMP PUMP DISCHARGE PIPING INSIDE THE VAULT. THE DISCHARGE PIPING SHALL BE SUPPORTED ALONG THE LENGTH OF THE VAULT. THE DISCHARGE PIPING LOCATION WITH THE OWNER'S REPRESENTATIVE PROVIDE 2'-0" SQUARE X 4" THICK CONCRETE SLAB FOR DISCHARGE.
 3. CONTRACTOR SHALL PROVIDE AND INSTALL FLANGES FROM THE PRESSURE REDUCING/SUSTAINING VALVE TO THE DRAIN SUMP. THE FLANGE DRAIN HOSE SHALL BE CLAMPED TO THE 10" PIPING AND BOUND TO THE SUMP. THE DRAIN HOSE SHALL BE INSTALLED SUCH THAT AN AIR GAP EXISTS BETWEEN THE DRAIN HOSE AND THE HIGH WATER LEVEL IN THE SUMP.
 4. A 24" SQUARE BLOCKOUT SHALL BE PROVIDED FOR 10" PIPELINE WALL PENETRATIONS.
 5. ALUMINUM VERTICAL LADDER SHOWN INSIDE METER VAULT SHALL BE MANUFACTURED BY WASHINGTON ALUMINUM CO. BALANCE, MARYLAND OR ALUMINUM VERTICAL LADDER SHOWN INSIDE METER VAULT SHALL BE MANUFACTURED BY WASHINGTON ALUMINUM CO. BALANCE, MARYLAND OR LADDER SHALL BE ALUMINUM ALLOY 6061-T6. ALL NECESSARY ANCHOR BOLTS WILL BE STAINLESS STEEL AND FURNISHED WITH LADDER.
 6. ALUMINUM SAFETY EXTENSIONS WILL ALSO BE MANUFACTURED BY WASHINGTON ALUMINUM CO. OR APPROVED EQUAL. THE EXTENSION POLES SHALL BE ALUMINUM ALLOY 6061-T6 AND CASTINGS SHALL BE ALUMINUM ALLOY 356-T6. ALL NECESSARY HARDWARE WILL BE STAINLESS STEEL. STANDARD MILL FINISH. THE PORTION OF THE LADDER IN CONTACT WITH CONCRETE SHALL HAVE A HEAVY SHOP COAT OF BITUMINOUS PAINT. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL DETAILS.
 7. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL DETAILS.
 8. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL DETAILS.
 9. PRESSURE GAUGE (0-200 PSIG LIQUID FILLED ASHROFT OR APPROVED EQUIVALENT) WITH ISOLATION VALVE.





PROPOSED 6\"/>

- NOTES:**
1. ALL CURBED FITTINGS SHOWN ON THIS SHEET SHALL BE RESTRAINED FLEXIBLE JOINT FITTINGS. ALL PIPE SHOWN SHALL BE DUCTILE IRON.
 2. CONTRACTOR SHALL ROUTE ACCESS HATCH DRAIN PIPE TO DISCHARGE OUTSIDE VAULT. REFER TO ACCESS HATCH MANUFACTURER FOR RECOMMENDATION OF HATCH DRAIN ROUTING.
 3. CONTRACTOR SHALL ROUTE THE SUMP PUMP DISCHARGE PIPING INSIDE THE VAULT. THE DISCHARGE PIPING SHALL BE SUPPORTED ALONG THE WALLS AND DISCHARGE THROUGH THE ACCESS RISER WALL. COORDINATE FINAL DISCHARGE PIPING LOCATION WITH THE OWNER'S REPRESENTATIVE PROVIDE 2'-0" SQUARE X 4" THICK CONCRETE SLAB FOR DISCHARGE.
 4. CONTRACTOR SHALL FURNISH AND INSTALL FLEXIBLE DRAIN HOSE FROM THE PRESSURE REDUCING/SUSTAINING VALVE TO THE DRAIN HOSE SHALL BE INSTALLED SUCH THAT AN AIR GAP EXISTS BETWEEN THE DRAIN HOSE AND THE HIGH WATER LEVEL IN THE SUMP.
 5. AN 18" SQUARE BLOCKOUT SHALL BE PROVIDED FOR 6" PIPELINE WALL PENETRATIONS.
 6. ALUMINUM VERTICAL LADDERS SHOWN INSIDE METER VAULT SHALL BE MANUFACTURED BY WASHINGTON ALUMINUM CO. BALTIMORE, MARYLAND OR APPROVED EQUAL. LADDERS SHALL HAVE 2 1/2" x 3/8" STRINGERS WITH 15/16" SQUARE ANCHOR BOLTS WILL BE STAINLESS STEEL AND FURNISHED WITH LADDER.
 7. ALUMINUM SAFETY EXTENSIONS WILL ALSO BE MANUFACTURED BY WASHINGTON ALUMINUM CO. OR APPROVED EQUAL. ALL NECESSARY HARDWARE WILL BE STAINLESS STEEL AND FURNISHED WITH THE SAFETY EXTENSIONS FOR MOUNTING TO LADDER. ALL LADDER AND SAFETY EXTENSION MATERIAL WILL HAVE A STANDARD MILL FINISH. THE PORTION OF THE LADDER IN CONTACT WITH CONCRETE SHALL HAVE A HEAVY SING COAT OF BRUSHINGS PAINT.
 8. LIFTING LUGS SHALL BE INSTALLED AS CLOSE TO CENTER AS POSSIBLE OVER THE METER AND CONTROL VALVE. LIFTING LUGS SHALL BE RATED FOR 1000 LBS. EACH.
 9. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL DETAILS.
 10. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL DETAILS.
 11. PRESSURE GAUGE (0-200 psig LIQUID FILLED ASHPROOF OR APPROVED EQUIVALENT) WITH ISOLATION VALVE. INCLUDE A BRANCH TEE FOR 4-20 MA PRESSURE TRANSMITTER. SEE ELECTRICAL SHEETS.

DATE:	MARCH 2023
DESIGN:	CPH
DRAWN:	NDOH
CHECKED:	JFA
KHA NO.:	061204043

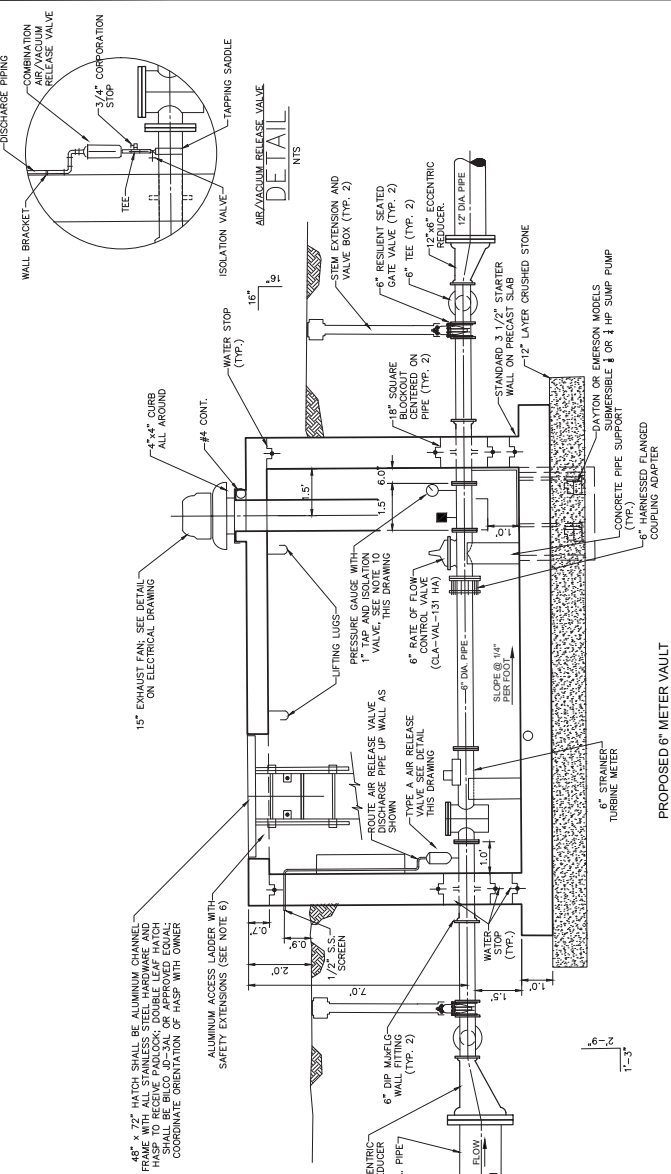


CITY OF DENTON
 (FROM US-380 TO MILAM)
 HI-36 UTILITY RELOCATIONS

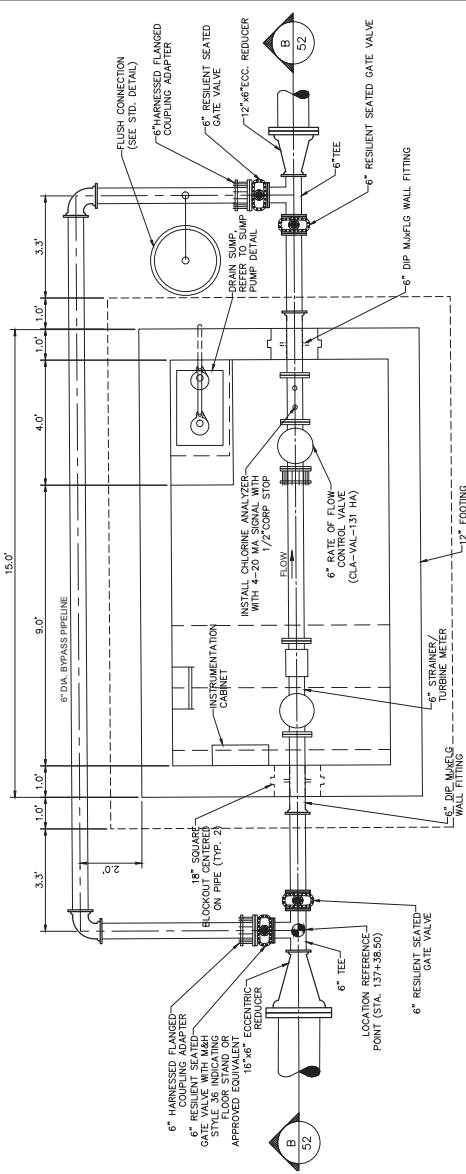
CSJ 074 - PROPOSED METER VAULT

DATE:	MARCH 2023
DESIGN:	CPH
DRAWN:	NDOH
CHECKED:	JFA
KHA NO.:	061204043

40
 SHEET



PROPOSED 6\"/>



PROPOSED 6\"/>

SEE ELECTRICAL DRAWINGS FOR ELECTRICAL DETAILS.

SEE STRUCTURAL DRAWINGS FOR STRUCTURAL DETAILS.

PRESSURE GAUGE (0-200 psig LIQUID FILLED ASHPROOF OR APPROVED EQUIVALENT) WITH ISOLATION VALVE. INCLUDE A BRANCH TEE FOR 4-20 MA PRESSURE TRANSMITTER. SEE ELECTRICAL SHEETS.

LIFTING LUGS SHALL BE INSTALLED AS CLOSE TO CENTER AS POSSIBLE OVER THE METER AND CONTROL VALVE. LIFTING LUGS SHALL BE RATED FOR 1000 LBS. EACH.

ALUMINUM SAFETY EXTENSIONS WILL ALSO BE MANUFACTURED BY WASHINGTON ALUMINUM CO. OR APPROVED EQUAL. ALL NECESSARY HARDWARE WILL BE STAINLESS STEEL AND FURNISHED WITH THE SAFETY EXTENSIONS FOR MOUNTING TO LADDER. ALL LADDER AND SAFETY EXTENSION MATERIAL WILL HAVE A STANDARD MILL FINISH. THE PORTION OF THE LADDER IN CONTACT WITH CONCRETE SHALL HAVE A HEAVY SING COAT OF BRUSHINGS PAINT.

ANCHOR BOLTS WILL BE STAINLESS STEEL AND FURNISHED WITH LADDER.

BALTIMORE, MARYLAND OR APPROVED EQUAL. LADDERS SHALL HAVE 2 1/2" x 3/8" STRINGERS WITH 15/16" SQUARE

WASHINGTON ALUMINUM CO. MANUFACTURED BY WASHINGTON ALUMINUM CO. OR APPROVED EQUAL.

CONTRACTOR SHALL FURNISH AND INSTALL FLEXIBLE DRAIN HOSE FROM THE PRESSURE REDUCING/SUSTAINING VALVE

TO THE DRAIN HOSE SHALL BE INSTALLED SUCH THAT AN AIR GAP EXISTS BETWEEN THE DRAIN HOSE AND THE HIGH

WATER LEVEL IN THE SUMP.

CONTRACTOR SHALL ROUTE THE SUMP PUMP DISCHARGE PIPING INSIDE THE VAULT. THE DISCHARGE PIPING SHALL BE

SUPPORTED ALONG THE WALLS AND DISCHARGE THROUGH THE ACCESS RISER WALL. COORDINATE FINAL DISCHARGE

PIPING LOCATION WITH THE OWNER'S REPRESENTATIVE PROVIDE 2'-0" SQUARE X 4" THICK CONCRETE SLAB FOR

DISCHARGE.

CONTRACTOR SHALL FURNISH AND INSTALL FLEXIBLE DRAIN HOSE FROM THE PRESSURE REDUCING/SUSTAINING VALVE

TO THE DRAIN HOSE SHALL BE INSTALLED SUCH THAT AN AIR GAP EXISTS BETWEEN THE DRAIN HOSE AND THE HIGH

WATER LEVEL IN THE SUMP.

CONTRACTOR SHALL ROUTE ACCESS HATCH DRAIN PIPE TO DISCHARGE OUTSIDE VAULT. REFER TO ACCESS HATCH

MANUFACTURER FOR RECOMMENDATION OF HATCH DRAIN ROUTING.

ALL CURBED FITTINGS SHOWN ON THIS SHEET SHALL BE RESTRAINED FLEXIBLE JOINT FITTINGS. ALL PIPE SHOWN

SHALL BE DUCTILE IRON.

CONTRACTOR SHALL FURNISH AND INSTALL FLEXIBLE DRAIN HOSE FROM THE PRESSURE REDUCING/SUSTAINING VALVE

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MANUFACTURER FOR RECOMMENDATION OF HATCH DRAIN ROUTING.

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CONTRACTOR SHALL FURNISH AND INSTALL FLEXIBLE DRAIN HOSE FROM THE PRESSURE REDUCING/SUSTAINING VALVE

TO THE DRAIN HOSE SHALL BE INSTALLED SUCH THAT AN AIR GAP EXISTS BETWEEN THE DRAIN HOSE AND THE HIGH

WATER LEVEL IN THE SUMP.

CONTRACTOR SHALL ROUTE THE SUMP PUMP DISCHARGE PIPING INSIDE THE VAULT. THE DISCHARGE PIPING SHALL BE



SUPPORTED ALONG THE WALLS AND DISCHARGE THROUGH THE ACCESS RISER WALL. COORDINATE FINAL DISCHARGE

PIPING LOCATION WITH THE OWNER'S REPRESENTATIVE PROVIDE 2'-0" SQUARE X 4" THICK CONCRETE SLAB FOR

DISCHARGE.

DATE:	FEBRUARY 2023
DESIGN:	V&A
ET:	
CS:	
CHECKED:	
KHA NO.:	06102443

CITY OF DENTON
 (FROM I-35E/W SPLIT TO MILAM)
 H-35 UTILITY RELOCATIONS

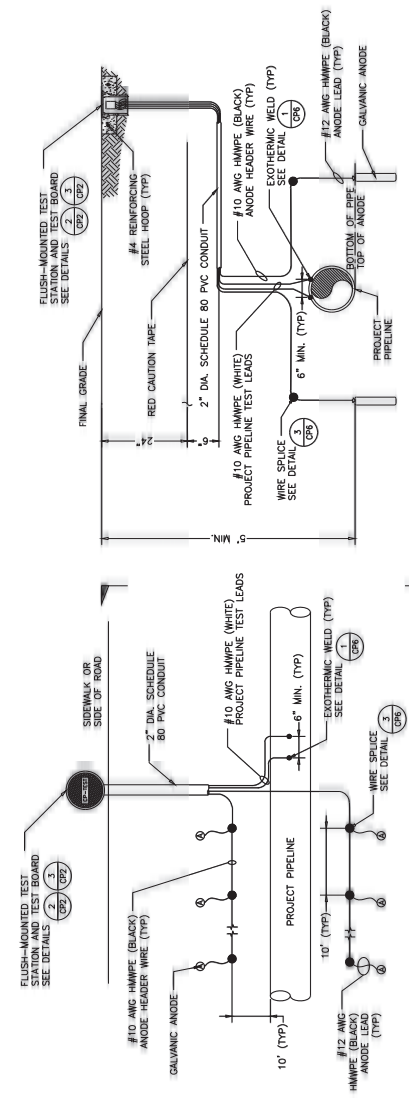
CATHODIC PROTECTION
 DETAILS

DATE:	FEBRUARY 2023
DESIGN:	V&A
ET:	
CS:	
CHECKED:	
KHA NO.:	06102443

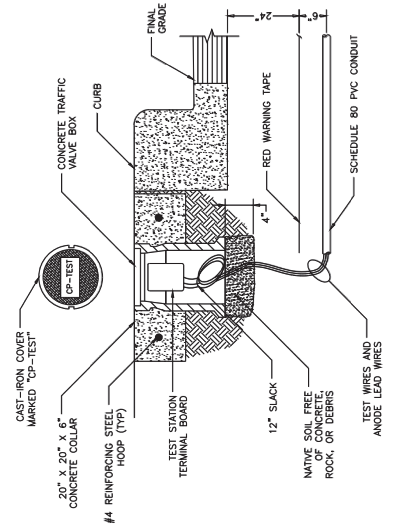
42
 SHEET



V&A
 VENTURA & ASSOCIATES, INC.
 1100 W. 14th Street, Suite 100
 Houston, TX 77004
 Tel: (713) 966-8888
 Fax: (713) 966-8888
 Project No. 202008

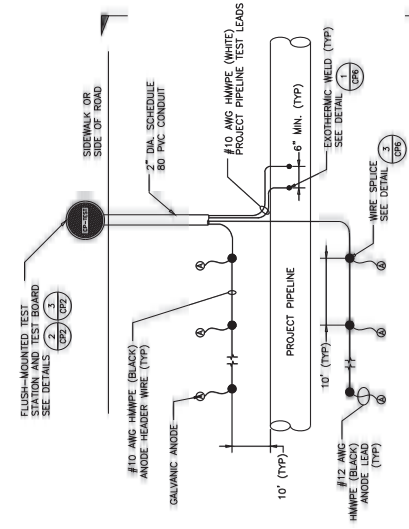


ANODE TEST STATION (ATS)
 SECTION VIEW
 NTS



ANODE TEST STATION (ATS)
 PLAN VIEW
 NTS

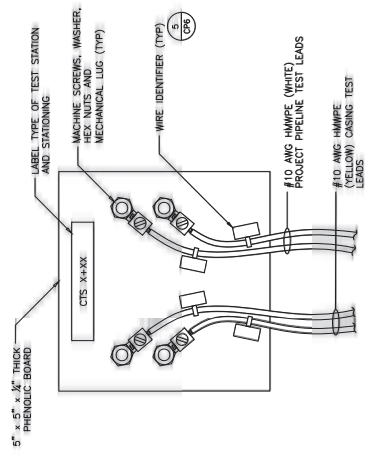
ANODE TEST STATION (ATS)
 TERMINAL BOARD DETAIL
 NTS



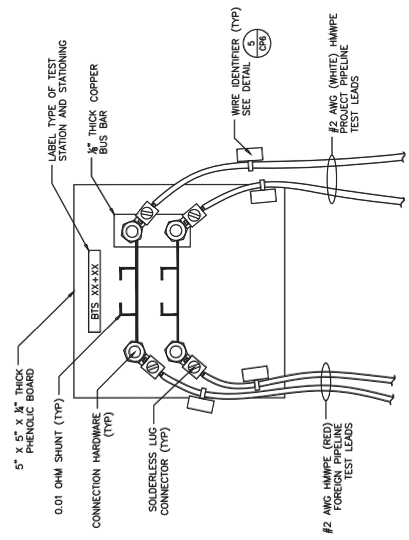
FLUSH-MOUNTED TEST STATION
 DETAIL
 NTS

NOTE:
 THE SIZE, TYPE, AND NUMBER OF ANODES PER ANODE BED SHALL BE AS SHOWN ON THE GALVANIC ANODE BED SCHEDULE (GPI).

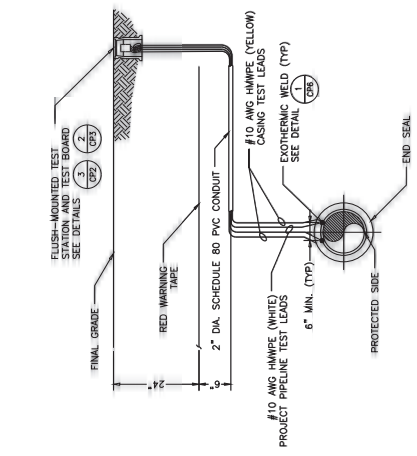




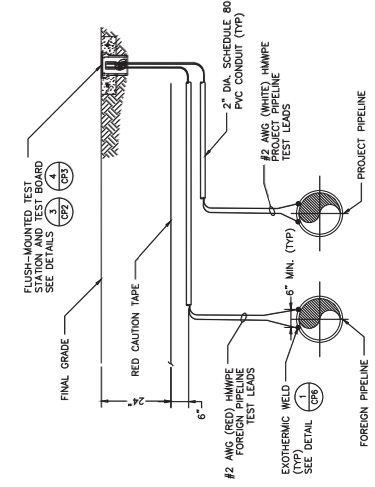
CASING TEST STATION (CTS) TERMINAL BOARD DETAIL
 NTS 2 CP3



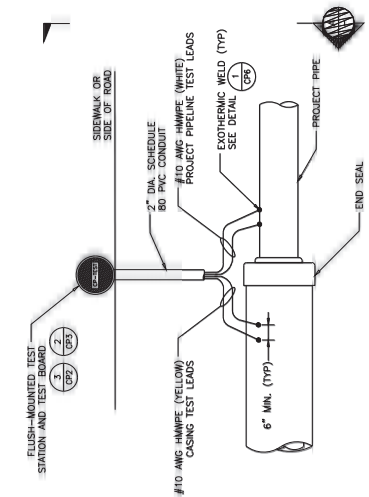
FOREIGN PIPELINE BONDING TEST STATION (FPBTS) TERMINAL BOARD DETAIL
 NTS 4 CP3



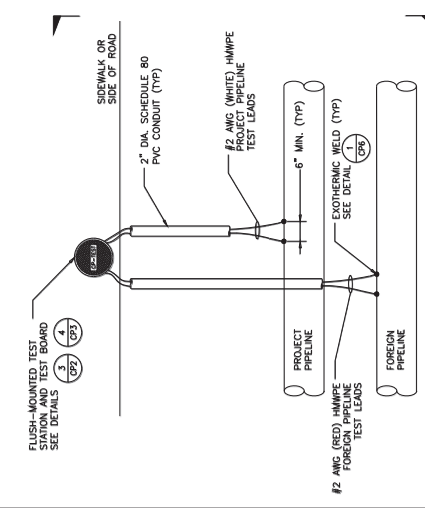
CASING TEST STATION (CTS) SECTION
 NTS A



FOREIGN PIPELINE BONDING TEST STATION (FPBTS) SECTION
 NTS A



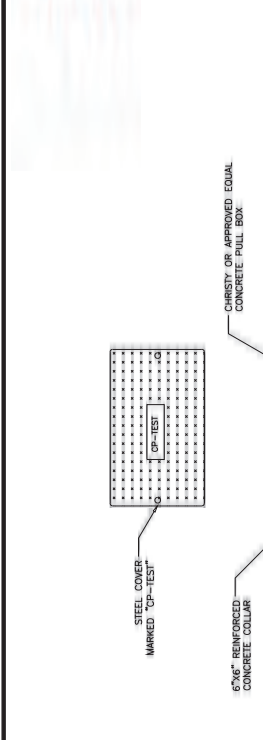
CASING TEST STATION (CTS)
 NTS 1 CP3



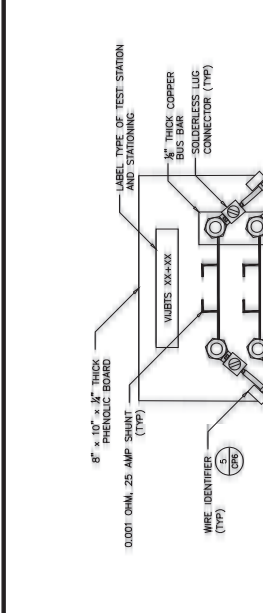
FOREIGN PIPELINE BONDING TEST STATION (FPBTS)
 NTS 3 CP3

NOTE:
 DO NOT BOND AT TEST STATION UNLESS FOREIGN PIPELINE CP SYSTEM SIGNIFICANTLY AFFECTS THE PROJECT PIPELINE CP SYSTEM.

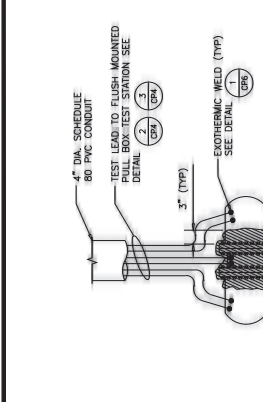
NOTE:
 CONNECTIONS TO FOREIGN PIPELINES SHALL BE MADE BY THE OWNER'S REPRESENTATIVE.



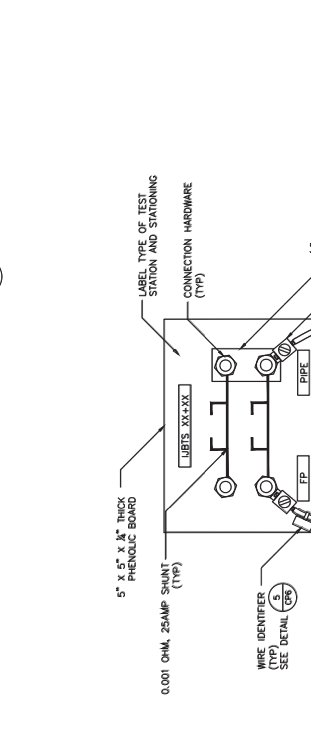
FLUSH-MOUNTED PULL BOX TEST STATION DETAIL
 NTS
 3 CP4



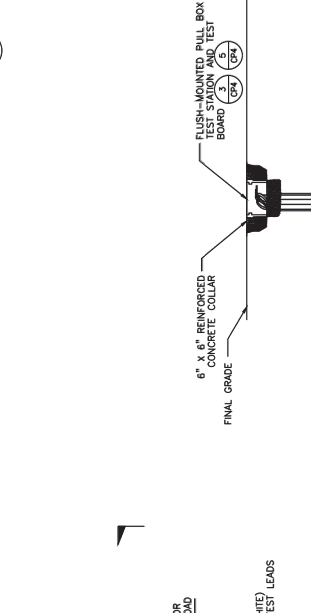
VALVE INSULATING JOINT/BONDING TEST STATION (VALBTS) TERMINAL BOARD DETAIL
 NTS
 2 CP4



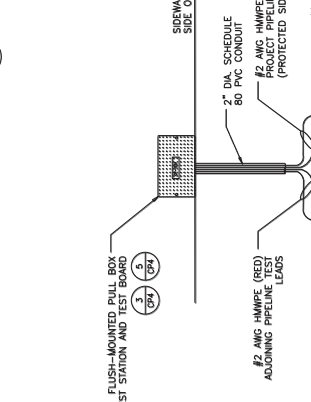
VALVE INSULATING JOINT/BONDING TEST STATION (VALBTS)
 NTS
 1 CP4



FLUSH-MOUNTED PULL BOX TEST STATION DETAIL
 NTS
 3 CP4



VALVE INSULATING JOINT/BONDING TEST STATION (VALBTS) SECTION VIEW
 NTS
 2 CP4

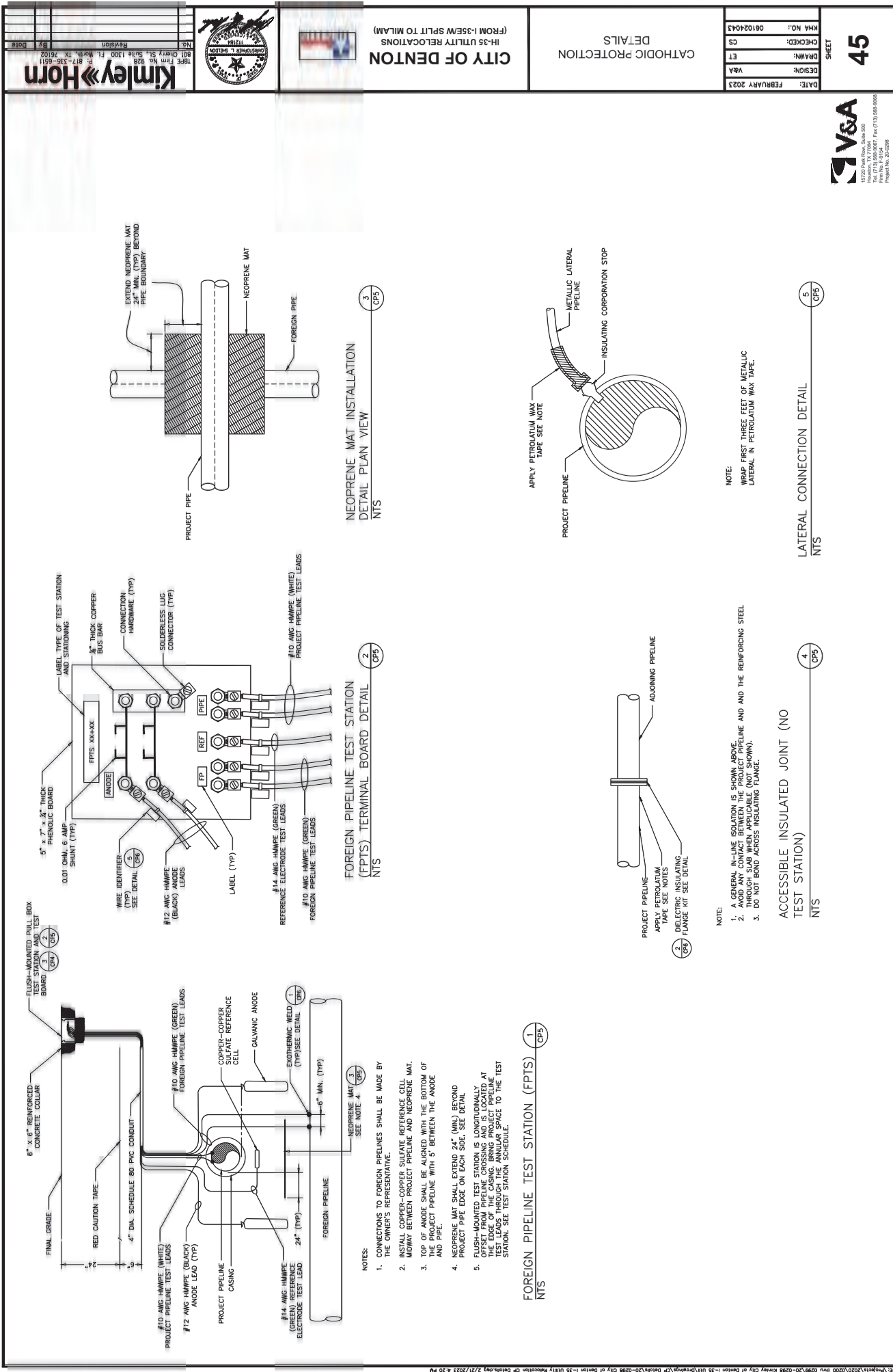


VALVE INSULATING JOINT/BONDING TEST STATION (VALBTS) PLAN VIEW
 NTS
 1 CP4

NOTES:
 1. DO NOT APPLY PETROLATUM WAX TAPE IF VALVE IS IN MANUAL.
 2. DO NOT BOND ABOVE VALVE WITH BONDING WIRES. ELECTRICAL CONTINUITY TO BE PROVIDED AT TEST STATION ABOVE GRADE WHEN SPECIFIED.

NOTES:
 1. DO NOT APPLY PETROLATUM TAPE IF COUPLING IS LOCATED ABOVE
 2. WRAP FITTING IN PETROLATUM WAX TAPE AND OVERLAP PIPE BY 12".

NOTES:
 1. PROVIDE ELECTRICAL CONTINUITY THROUGH THE SHUNTS ONLY. F
 2. PROVIDE ELECTRICAL CONTINUITY BETWEEN PROJECT PIPELINE AND ADDING PIPELINE IF
 WANTED.



Kimley-Horn
 1895 Farm to Market Road, Suite 1000
 Fort Worth, TX 76102
 Phone: 817-335-6511
 Fax: 817-335-6511
 Email: khorner@kimley-horn.com



CITY OF DENTON
 HI-35 UTILITY RELOCATIONS
 (FROM I-35/EMW SPLIT TO MILAM)

CATHODIC PROTECTION
 DETAILS

DATE:	FEBRUARY 2023
DESIGN:	V&A
CF:	CS
CHECKED:	CS
PROJECT NO.:	081024043

SHEET
45



NEOPRENE MAT INSTALLATION
 DETAIL PLAN VIEW
 NTS

FOREIGN PIPELINE TEST STATION
 (FPTS) TERMINAL BOARD DETAIL
 NTS

FOREIGN PIPELINE TEST STATION (FPTS)
 NTS

- NOTES:
- CONNECTIONS TO FOREIGN PIPELINES SHALL BE MADE BY THE OWNER'S REPRESENTATIVE.
 - INSTALL COPPER-COPPER SULFATE REFERENCE CELL MIDWAY BETWEEN PROJECT PIPELINE AND NEOPRENE MAT.
 - TOP OF ANODE SHALL BE ALIGNED WITH THE BOTTOM OF AND PIPE.
 - NEOPRENE MAT SHALL EXTEND 24" (MIN.) BEYOND PROJECT PIPE EDGE ON EACH SIDE. SEE DETAIL.
 - FLUSH-MOUNTED TEST STATION IS LONGITUDINALLY OFFSET FROM PIPELINE CROSSING AND IS LOCATED AT THE POINT OF CROSSING. THE ANODE LEADS TO THE TEST STATION. SEE TEST STATION SCHEDULE.

NOTE:
 W&AS FIRST THREE FEET OF METALLIC LATERAL IN PETROLIUM WAX TAPE.

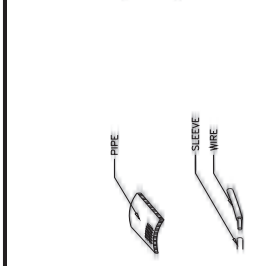
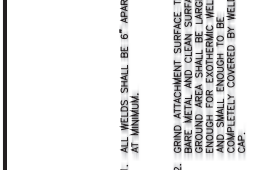
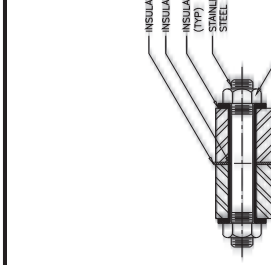
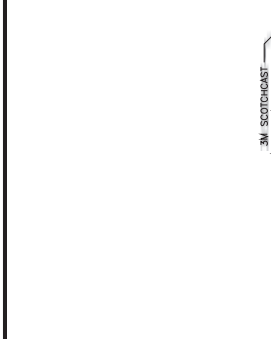
NOTE:
 1. GENERAL IN LINE SECTION IS SHOWN ABOVE.
 2. GENERAL IN LINE SECTION SHOWS THE PROJECT PIPELINE AND THE REINFORCING STEEL THROUGH SLAB WHEN APPLICABLE (NOT SHOWN).
 3. DO NOT BOND ACROSS INSULATING FLANGE.

NOTE:
 1. A GENERAL IN LINE SECTION IS SHOWN ABOVE.
 2. GENERAL IN LINE SECTION SHOWS THE PROJECT PIPELINE AND THE REINFORCING STEEL THROUGH SLAB WHEN APPLICABLE (NOT SHOWN).
 3. DO NOT BOND ACROSS INSULATING FLANGE.

ACCESSIBLE INSULATED JOINT (NO TEST STATION)
 NTS

ACCESSIBLE INSULATED JOINT (NO TEST STATION)
 NTS

ACCESSIBLE INSULATED JOINT (NO TEST STATION)
 NTS



1. ALL WELDS SHALL BE 6" APART AT MINIMUM.
2. GRIND STRIKING SURFACE TO BARE METAL AND CLEAN SURFACE. GROUND AREA SHALL BE LARGE ENOUGH FOR EXOTHERMIC WELD ENDINGS TO BE COMPLETELY COVERED BY WELD CAP.
3. STRIP INSULATION FROM WIRE AND ATTACH SLEEVE.
4. HOLD MOLD FIRMLY WITH GRIPPING HAND FROM OPERATOR. FILL WITH FLINT GUN. REMOVE SLAG AND CONNECTION WITH CHIPPING HAMMER. TEST WELD WITH ZIG ZAG HAMMER.
5. COVER CONNECTION WITH WELD CAP WITH INTEGRATED PRIMER. REMOVE EXCESS PRIMER AND LINING IN ACCORDANCE WITH COATING AND LINING MFG RECOMMENDATIONS.

EXOTHERMIC WELD DETAIL FOR DUCTILE IRON PIPE
 NTS

DIELECTRIC INSULATING FLANGE KIT DETAIL WITH SECTION VIEW
 NTS

WIRE WIRE SPLICE DETAIL
 NTS

PIPE JOINT BONDING DETAILS FOR DUCTILE IRON NON-INSULATED JOINTS
 NTS

PIPE JOINT BONDING DETAILS FOR DUCTILE IRON NON-INSULATED JOINTS
 NTS

WIRE IDENTIFIER DETAIL
 NTS

WIRE IDENTIFIER SCHEDULE	
PIPELINE FOREIGN PIPE	
VALVE CASING	
ANODE DECOUPLER	

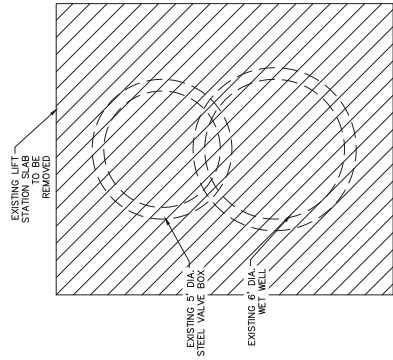
WIRE IDENTIFIER DETAIL
 NTS

WIRE IDENTIFIER DETAIL
 NTS

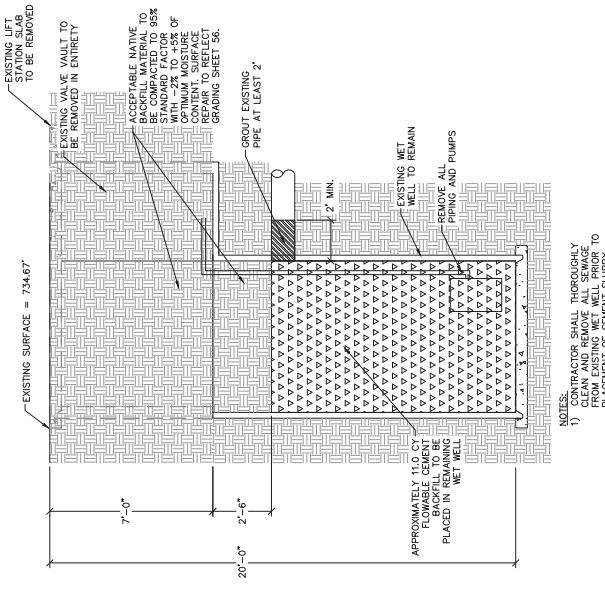
WIRE IDENTIFIER DETAIL
 NTS

WIRE IDENTIFIER DETAIL
 NTS

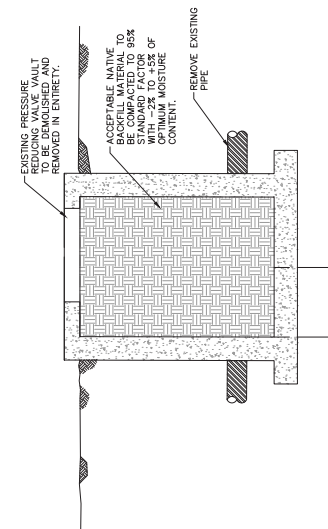
WIRE IDENTIFIER DETAIL
 NTS



1
56
INTERIOR PLAN VIEW
EXISTING WETWELL REMOVAL
SCALE: 3/8" = 1"

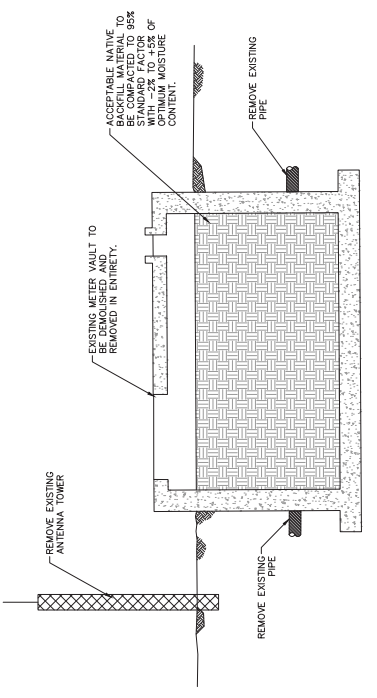


2
56
SECTION VIEW
EXISTING WETWELL REMOVAL
SCALE: 3/8" = 1"



1
56
NOTES:
1) THIS STRUCTURE IS 8'x6'x6''
2) CONTRACTOR SHALL CONTACT CHRIS CARROLL (940-344-7190) PRIOR TO SALVAGE ANY USEABLE APURTENANCES.

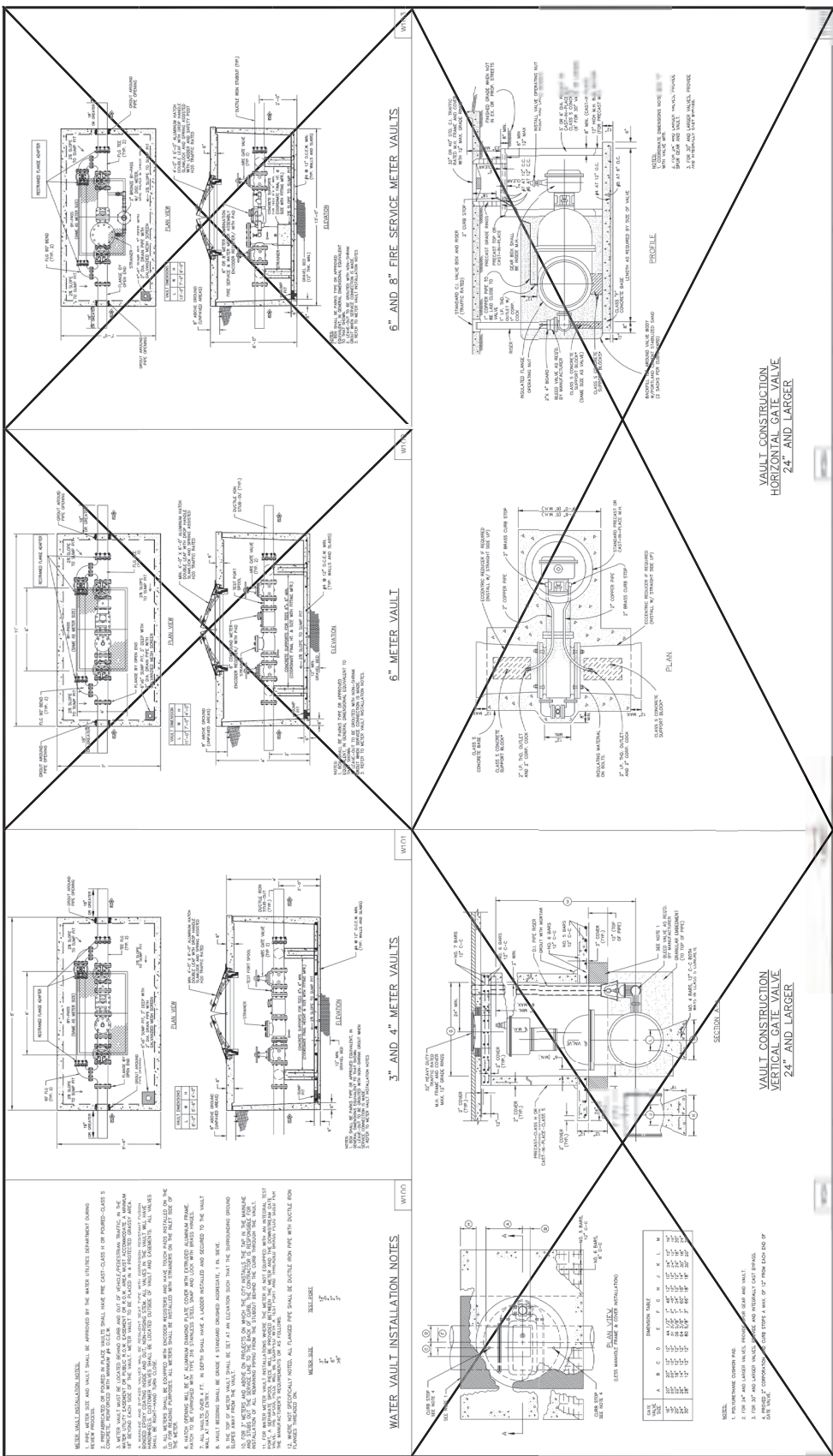
SECTION VIEW
EXISTING PRESSURE REDUCING VALVE VAULT
SCALE: 3/8" = 1"



2
56
NOTES:
1) THIS STRUCTURE IS 8'x15'x9'9''
2) CONTRACTOR SHALL CONTACT CHRIS CARROLL (940-344-7190) 48 HOURS PRIOR TO SALVAGE ANY USEABLE APURTENANCES.

SECTION VIEW
EXISTING METER VAULT REMOVAL
SCALE: 3/8" = 1"





STANDARD DETAILS
 WATERWORKS

**VAULT CONSTRUCTION HORIZONTAL GATE VALVE 24\"/>
 SCALE: 1/8\"/>
 SHEET NO. 1 OF 26**

**VAULT CONSTRUCTION VERTICAL GATE VALVE 24\"/>
 SCALE: 1/8\"/>
 SHEET NO. 1 OF 26**

**VAULT CONSTRUCTION HORIZONTAL GATE VALVE 24\"/>
 SCALE: 1/8\"/>
 SHEET NO. 1 OF 26**

**VAULT CONSTRUCTION VERTICAL GATE VALVE 24\"/>
 SCALE: 1/8\"/>
 SHEET NO. 1 OF 26**

WATER VAULT INSTALLATION NOTES

1. ALL METERS SHALL BE COUPLED WITH ANCHOR HANGERS AND HANG TROCK ANCHS INSTALLED ON THE TOP OF THE VAULT.

2. ALL METERS SHALL BE COUPLED WITH ANCHOR HANGERS AND HANG TROCK ANCHS INSTALLED ON THE TOP OF THE VAULT.

3. ALL METERS SHALL BE COUPLED WITH ANCHOR HANGERS AND HANG TROCK ANCHS INSTALLED ON THE TOP OF THE VAULT.

4. ALL METERS SHALL BE COUPLED WITH ANCHOR HANGERS AND HANG TROCK ANCHS INSTALLED ON THE TOP OF THE VAULT.

5. ALL METERS SHALL BE COUPLED WITH ANCHOR HANGERS AND HANG TROCK ANCHS INSTALLED ON THE TOP OF THE VAULT.

6. ALL METERS SHALL BE COUPLED WITH ANCHOR HANGERS AND HANG TROCK ANCHS INSTALLED ON THE TOP OF THE VAULT.

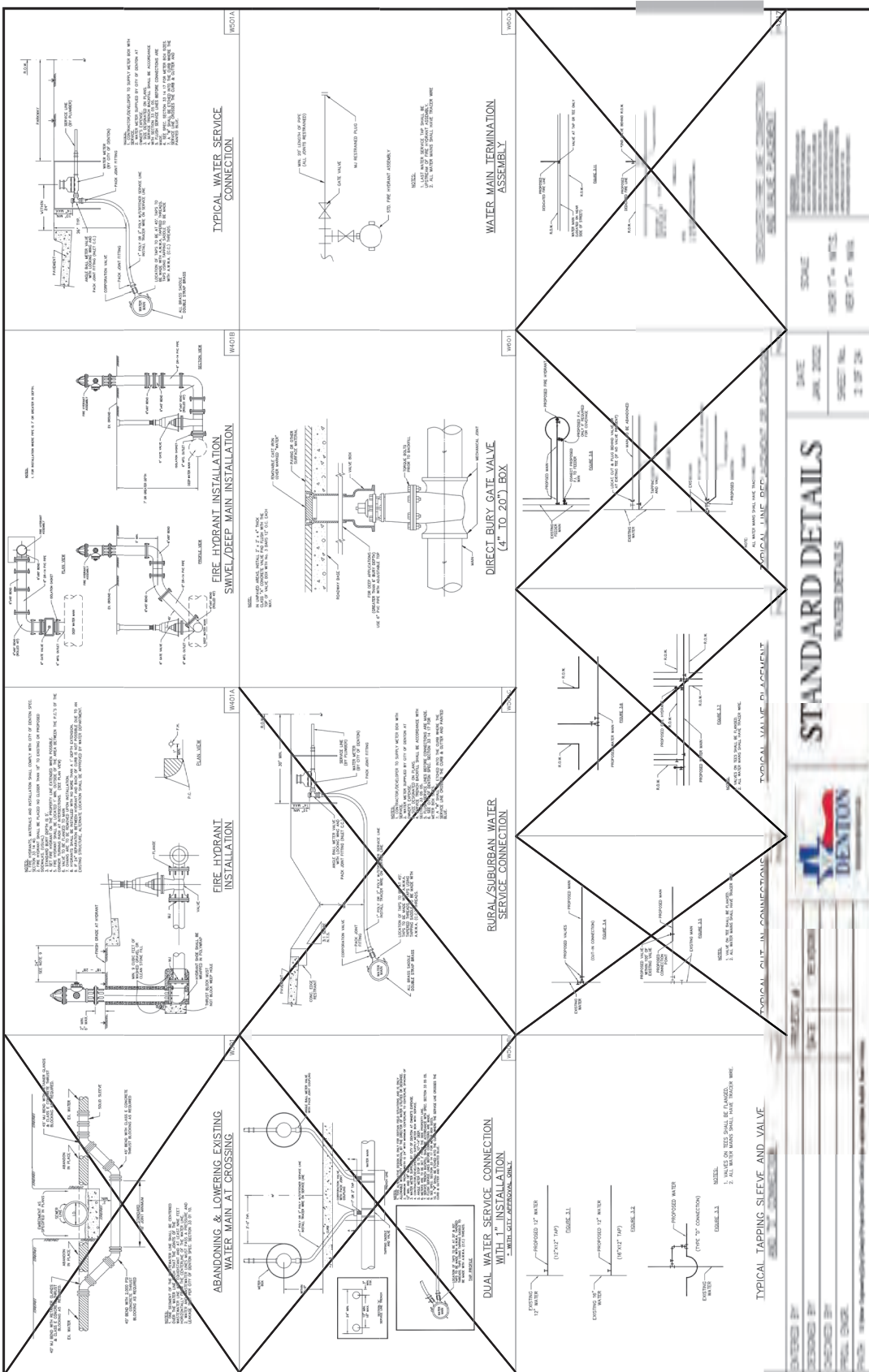
7. ALL METERS SHALL BE COUPLED WITH ANCHOR HANGERS AND HANG TROCK ANCHS INSTALLED ON THE TOP OF THE VAULT.

8. ALL METERS SHALL BE COUPLED WITH ANCHOR HANGERS AND HANG TROCK ANCHS INSTALLED ON THE TOP OF THE VAULT.

9. ALL METERS SHALL BE COUPLED WITH ANCHOR HANGERS AND HANG TROCK ANCHS INSTALLED ON THE TOP OF THE VAULT.

10. ALL METERS SHALL BE COUPLED WITH ANCHOR HANGERS AND HANG TROCK ANCHS INSTALLED ON THE TOP OF THE VAULT.

ITEM NO.	DESCRIPTION	QUANTITY	UNIT
1	1 POLYMER CONCRETE PAVEMENT		
2	1 POLYMER CONCRETE PAVEMENT		
3	1 POLYMER CONCRETE PAVEMENT		
4	1 POLYMER CONCRETE PAVEMENT		
5	1 POLYMER CONCRETE PAVEMENT		
6	1 POLYMER CONCRETE PAVEMENT		
7	1 POLYMER CONCRETE PAVEMENT		
8	1 POLYMER CONCRETE PAVEMENT		
9	1 POLYMER CONCRETE PAVEMENT		
10	1 POLYMER CONCRETE PAVEMENT		




STANDARD DETAILS
 WATER DETAILS

SCALE: 1/8\"/>
 DATE: JAN. 2022
 SHEET NO.: 2 OF 24


CITY OF DENTON

DESIGNED BY: [Redacted]
 CHECKED BY: [Redacted]
 DRAWN BY: [Redacted]
 DATE: [Redacted]




CITY OF DENTON
 (FROM US-380 TO MILAM)

DATE: MARCH 2023
 DESIGN: CFI
 DRAWN: NDCH
 CHECKED: JRA
 KMA NO.: 061024043



03/08/2023
 PROFESSIONAL ENGINEER
 CIVIL
 STATE OF TEXAS
 NO. 25762



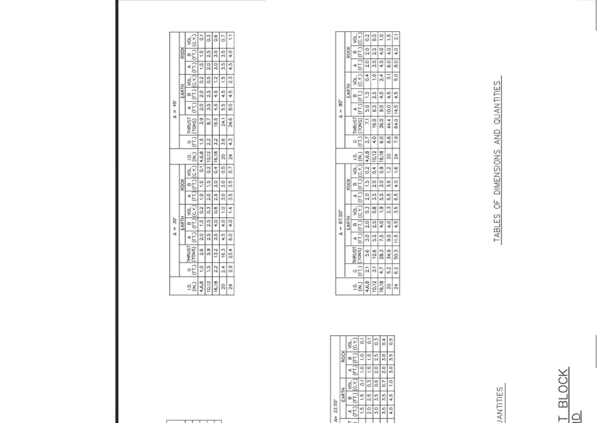
THE Kimley-Horn Group, Inc.
 1701 Prairie View Drive
 P.O. Box 210888
 Dallas, TX 75221-0888

By: DTE

59
 SHEET

CITY STANDARD DTLS 3

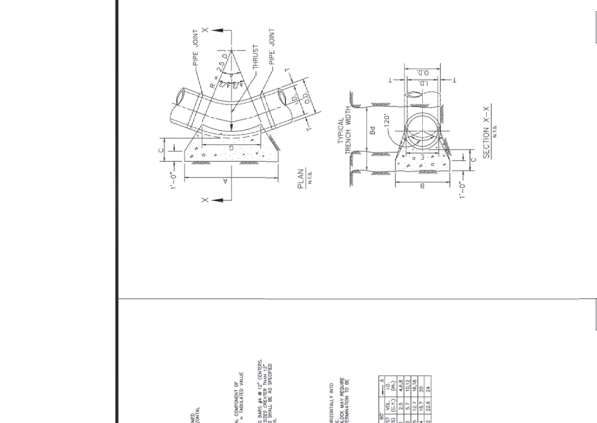
HORIZONTAL THRUST BLOCK AT PIPE BEND



TABLES OF DIMENSIONS AND QUANTITIES

D	12" DIA.		18" DIA.		24" DIA.		30" DIA.		36" DIA.		42" DIA.		48" DIA.	
	W	H	W	H	W	H	W	H	W	H	W	H	W	H
12	24	24	30	30	36	36	42	42	48	48	54	54	60	60
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VERTICAL THRUST BLOCK AT PIPE BEND



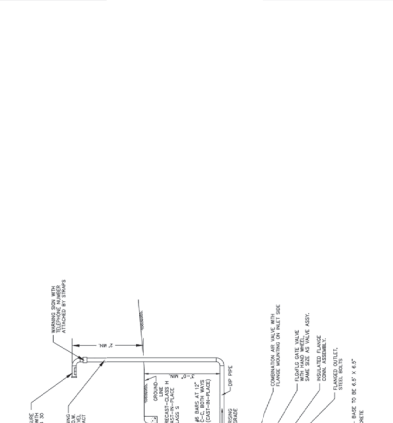
TABLES OF DIMENSIONS AND QUANTITIES

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	W	H	W	H	W	H	W	H	W	H	W	H	W	H
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THRUST BLOCK GENERAL NOTES

- GENERAL NOTES FOR ALL THRUST BLOCKS.
- RETAINED JOINTS SHALL BE REQUIRED FOR ALL WATER MAINS 18" AND LARGER AND SHALL BE INSTALLED AT ALL PIPE BENDS, TEE'S, CROSSINGS AND AT ALL OTHER POINTS OF STRESS OR CHANGE IN DIRECTION OF PIPE.
- ALL CALCULATIONS ARE BASED ON INTERNAL PRESSURE OF 200 PSF FOR 150 PSI PIPE AND 100 PSF FOR 120 PSI PIPE.
- ALL CALCULATIONS ARE BASED ON A JOINT EFFICIENCY OF 100% FOR 150 PSI PIPE AND 100% FOR 120 PSI PIPE.
- ALL JOINTS SHALL BE INSTALLED WITH PROPER JOINT COMPOUND.
- ALL JOINTS SHALL BE INSTALLED WITH PROPER JOINT PROTECTION.
- ALL JOINTS SHALL BE INSTALLED WITH PROPER JOINT SEALANT.
- ALL JOINTS SHALL BE INSTALLED WITH PROPER JOINT GASKET.
- ALL JOINTS SHALL BE INSTALLED WITH PROPER JOINT BRUSH.
- ALL JOINTS SHALL BE INSTALLED WITH PROPER JOINT CLEANER.
- ALL JOINTS SHALL BE INSTALLED WITH PROPER JOINT INSULATION.
- ALL JOINTS SHALL BE INSTALLED WITH PROPER JOINT TIGHTENING.
- ALL JOINTS SHALL BE INSTALLED WITH PROPER JOINT RECORDING.
- ALL JOINTS SHALL BE INSTALLED WITH PROPER JOINT REPORTING.
- ALL JOINTS SHALL BE INSTALLED WITH PROPER JOINT REVIEWING.
- ALL JOINTS SHALL BE INSTALLED WITH PROPER JOINT APPROVAL.

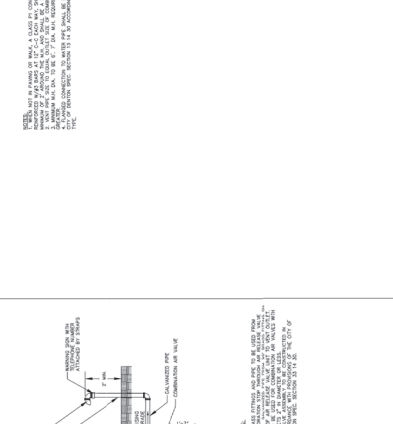
HORIZONTAL THRUST BLOCK



TABLES OF DIMENSIONS AND QUANTITIES

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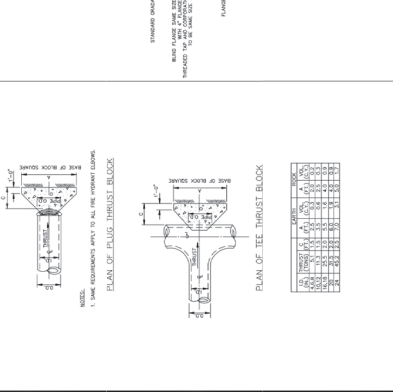
VERTICAL THRUST BLOCK



TABLES OF DIMENSIONS AND QUANTITIES

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HORIZONTAL THRUST BLOCK



TABLES OF DIMENSIONS AND QUANTITIES

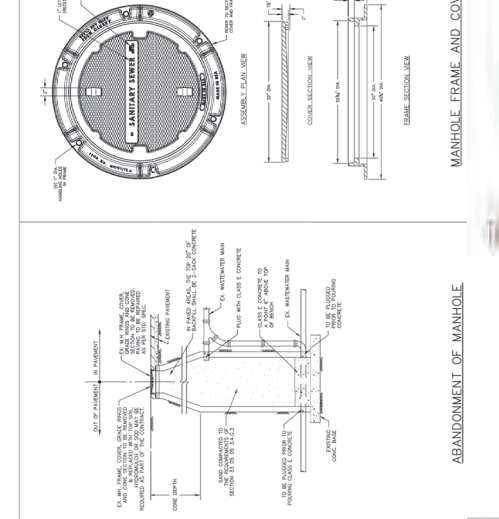
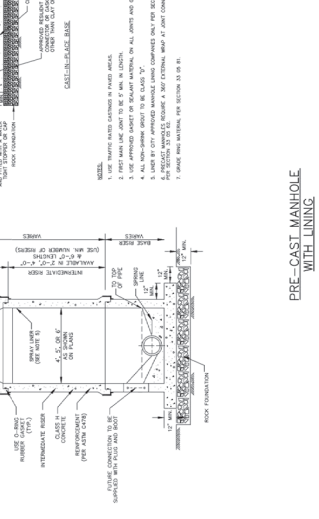
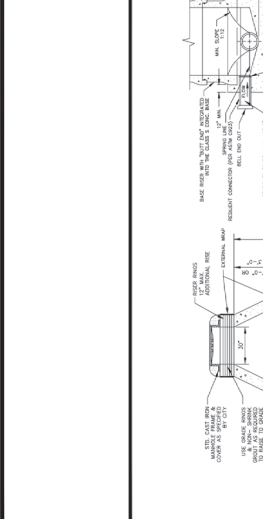
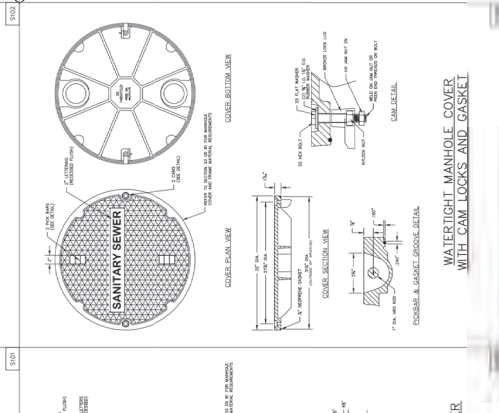
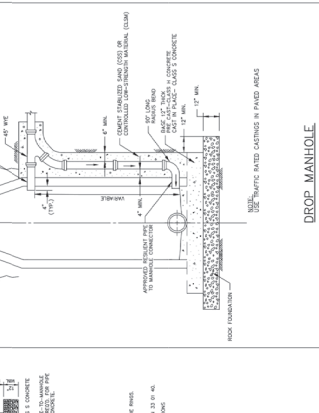
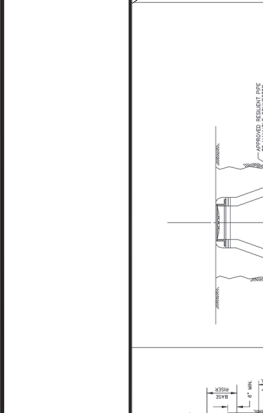
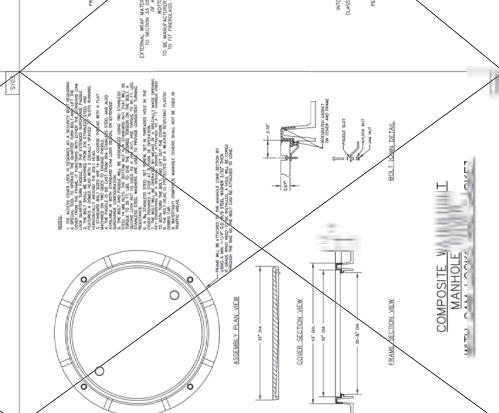
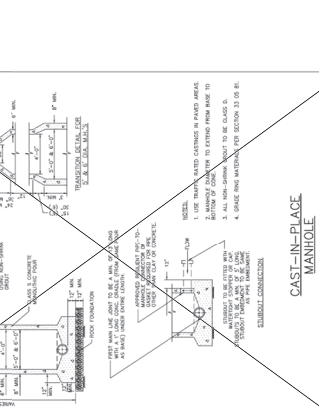
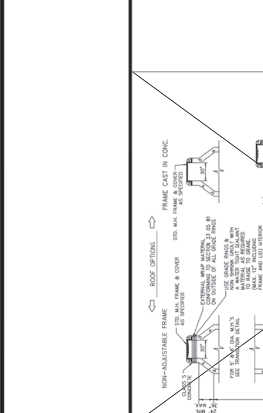
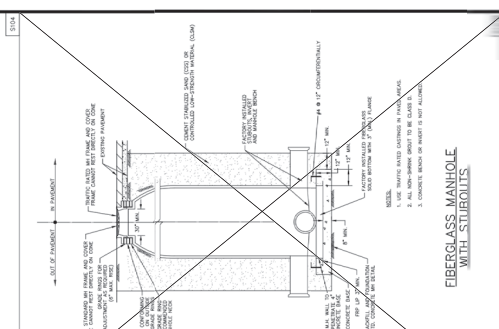
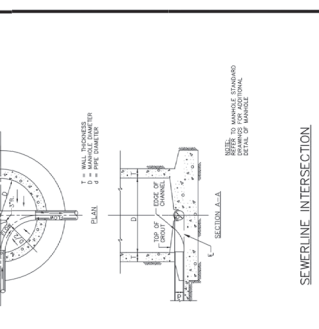
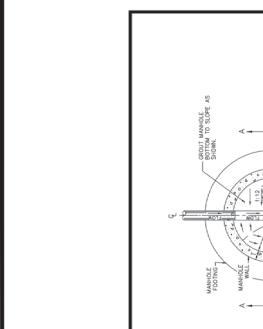
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HORIZONTAL THRUST BLOCK AT PIPE BEND



TABLES OF DIMENSIONS AND QUANTITIES

D	12" DIA.		18" DIA.		24" DIA.		30" DIA.		36" DIA.		42" DIA.		48" DIA.	
	W	H	W	H	W	H</								



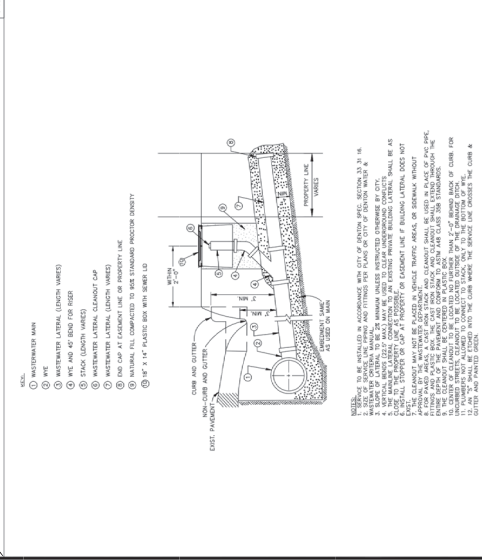
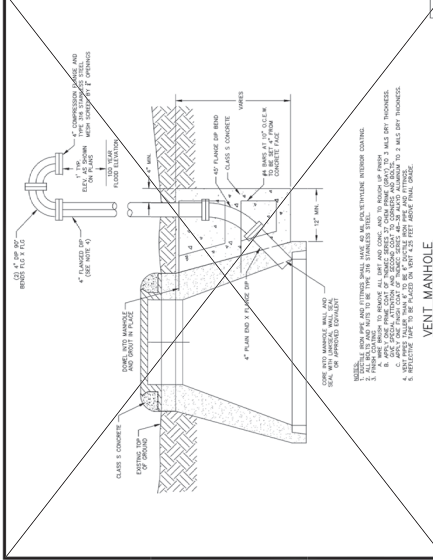
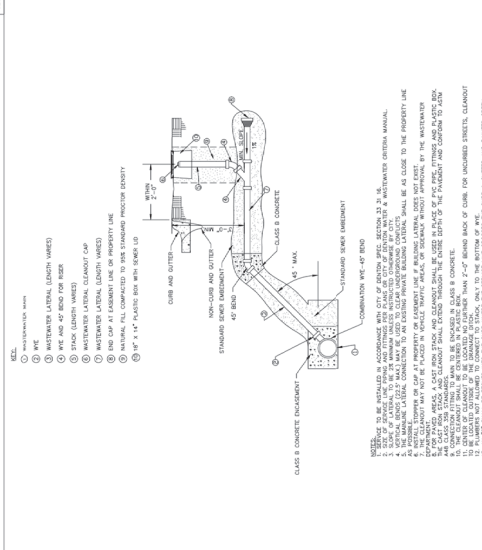
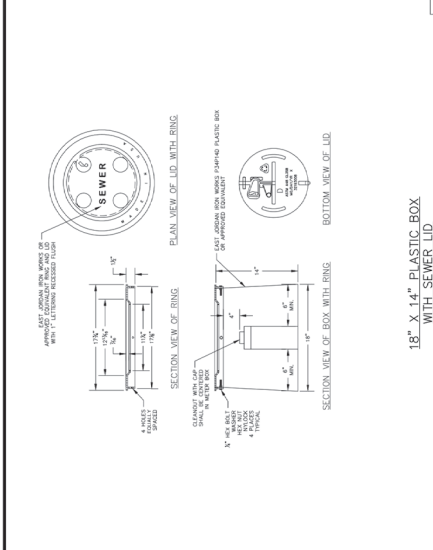
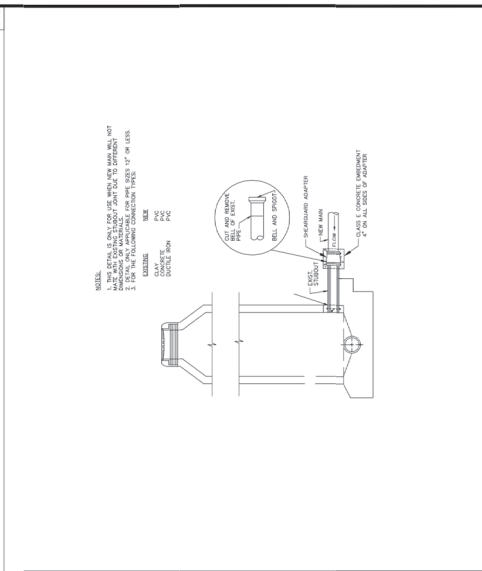
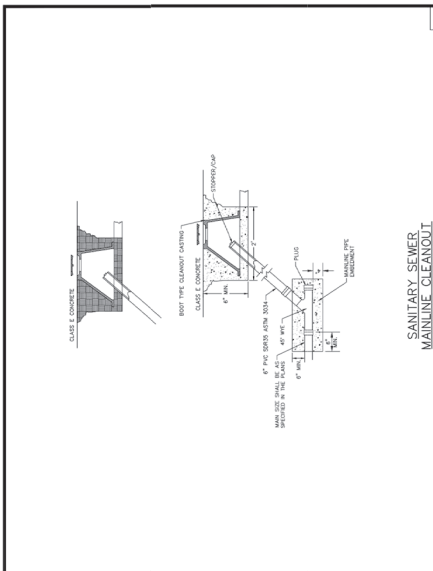
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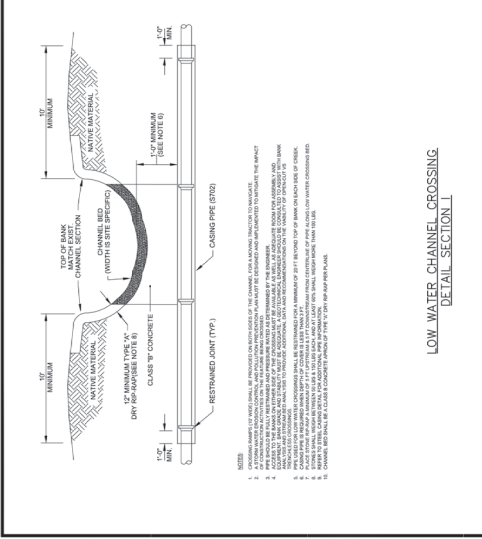
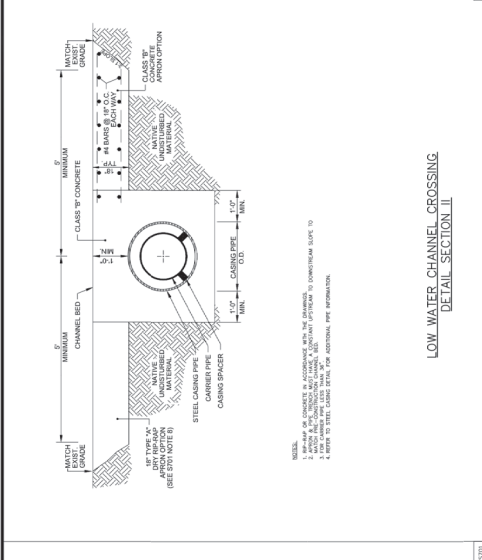
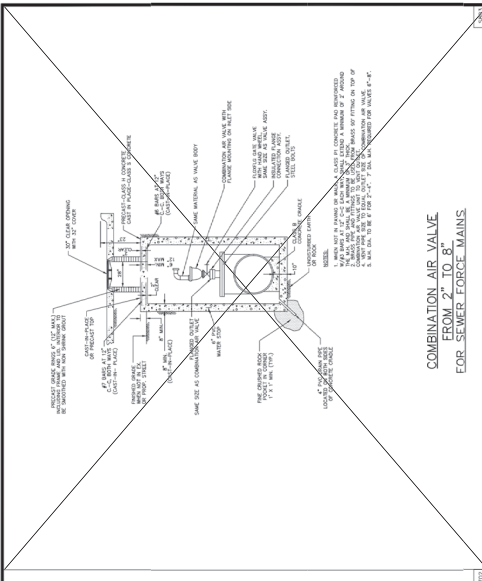
STANDARD DETAILS
MANHOLE DETAILS

STANDARD DETAILS
MANHOLE DETAILS

STANDARD DETAILS
MANHOLE DETAILS

STANDARD DETAILS
MANHOLE DETAILS





STANDARD DETAILS
 WATER/SEWER DETAILS

REVISION	DATE	BY	REASON

PROJECT # _____
 SHEET NO. _____ OF _____
 DATE: _____

Kimley-Horn
 THE FIRM HAS OFFICE
 501 Cherry St., Suite 3000 Ft. Worth, TX 76102
 817-335-4555
 Revision: _____
 No. _____
 By: DTL



CITY OF DENTON
 (FROM US-380 TO MILAM)
 HI-36 UTILITY RELOCATIONS

CITY STANDARD DTLs 7

DATE:	MARCH 2023
DESIGN:	CRJ
DRAWN:	NDCH
CHECKED:	JFA
KHA NO.:	061024043

63
 SHEET

<p>TYPICAL UTILITY PLACEMENTS</p>	<p>TYPICAL SAW-CUT</p>	<p>PROPOSED PAVEMENT TRENCH</p>	<p>UNPAVED TRENCH</p>
<p>TYPICAL UTILITY PLACEMENTS</p>	<p>TYPICAL SAW-CUT</p>	<p>PROPOSED PAVEMENT TRENCH</p>	<p>UNPAVED TRENCH</p>
<p>TYPICAL UTILITY PLACEMENTS</p>	<p>TYPICAL SAW-CUT</p>	<p>PROPOSED PAVEMENT TRENCH</p>	<p>UNPAVED TRENCH</p>
<p>TYPICAL UTILITY PLACEMENTS</p>	<p>TYPICAL SAW-CUT</p>	<p>PROPOSED PAVEMENT TRENCH</p>	<p>UNPAVED TRENCH</p>

STANDARD DETAILS
 WATER-RELATED REPAIR DETAILS

DATE:	JUL 2022
SHEET NO.:	7 OF 26
SCALE:	AS SHOWN

CITY OF DENTON

DESIGNED BY:	CRJ
CHECKED BY:	NDCH
DRAWN BY:	JFA
DATE:	MARCH 2023

CONCRETE ENCASUREMENT FOR UTILITY LINES

EXISTING PAVEMENT TRENCH AND REPAIR CONCRETE

- FOR WATER LINES 16-INCH AND LARGER EMBEDMENT SHALL BE CRUSHED ROCK PER SECTION 33 05 05
- MODIFIED

EXISTING PAVEMENT TRENCH AND REPAIR ASPHALT

- MODIFIED

FOR WATER LINES 16-INCH AND LARGER EMBEDMENT SHALL BE CRUSHED ROCK PER SECTION 33 05 05

FOR WATER LINES 16-INCH AND LARGER EMBEDMENT SHALL BE CRUSHED ROCK PER SECTION 33 05 05

Kimley-Horn
 TYPE: Plan No. 583
 DATE: 03/09/2023
 PROJECT: 19-0000 P. 0000 P. 0000 P. 0000 P. 0000
 REVISION: _____ BY: _____ DATE: _____

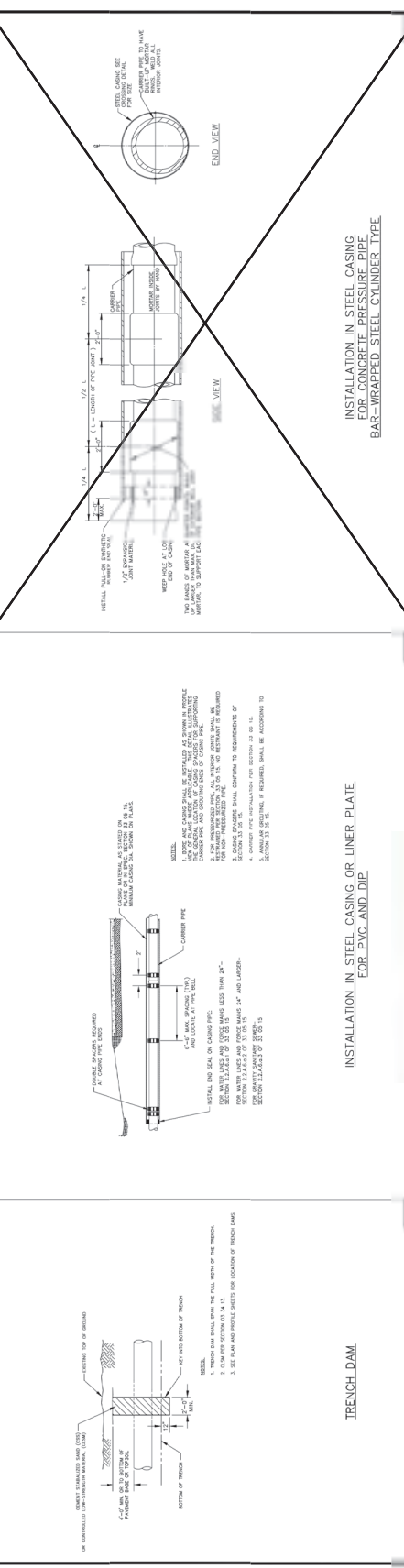
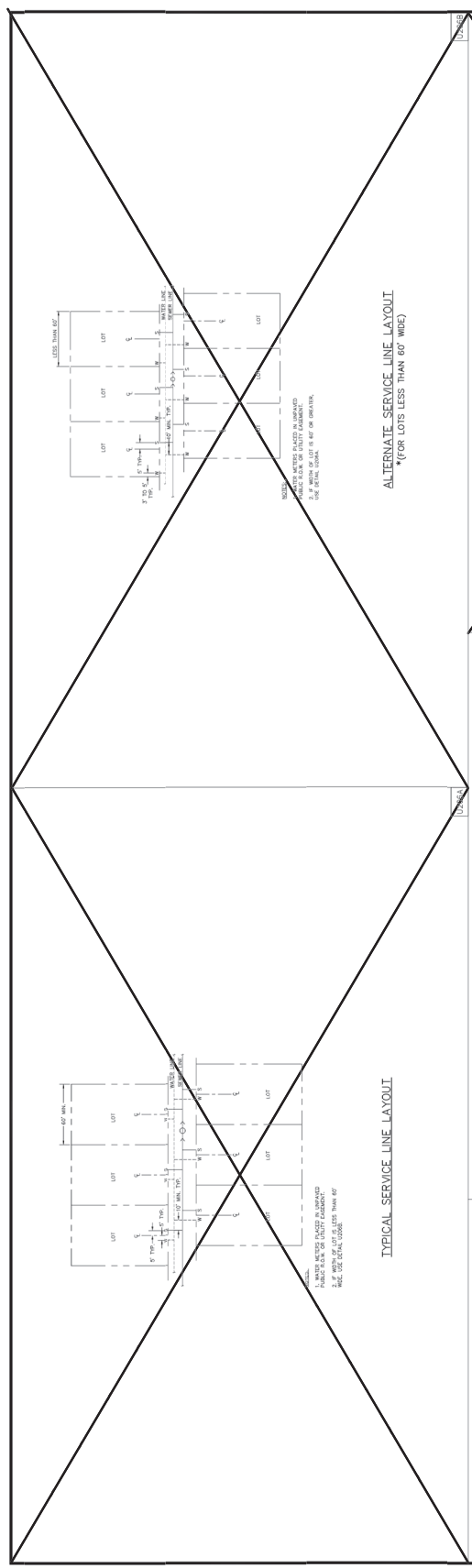


CITY OF DENTON
 (FROM US-380 TO MILAM)
 HI-38 UTILITY RELOCATIONS

CITY STANDARD DTLS 8

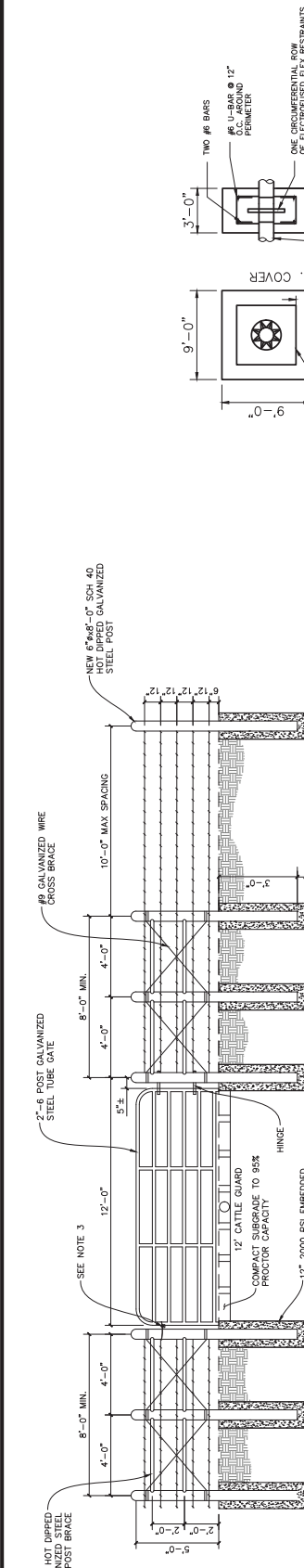
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CHECKED:	JFA
KHA NO.:	061024043

SHEET
64



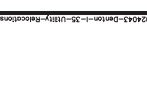
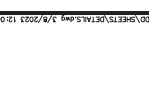
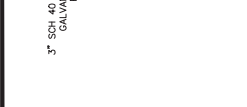
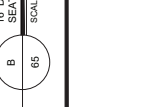
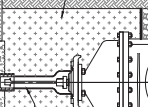
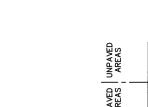
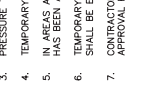
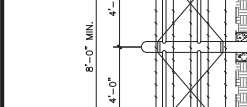
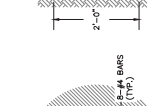
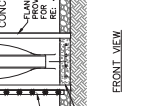
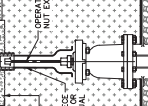
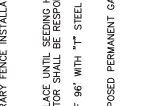
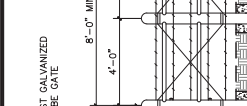
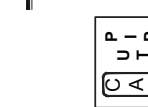
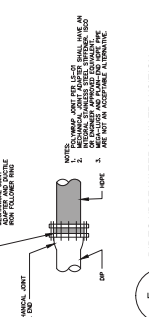
STANDARD DETAILS		
DATE	DATE	DATE
JAN 2022	JUL 2022	AUG 2022
SHEET NO.	SHEET NO.	SHEET NO.
8 OF 28	12 OF 28	13 OF 28

WATER RESISTANT SEWER DETAILS



UTILIZE DETAIL IF HDPE IS THE SELECTED PIPE MATERIAL. INSTALL AT ALL CONNECTION POINTS BACK TO EXISTING PIPES.

NOTES:
 1. THE DETAIL ABOVE IS FOR TEMPORARY OR PERMANENT FENCING.
 2. PERMANENT GATE SHALL BE 2", 16GA., 12"x50" TUBE GATE MANUFACTURED BY TRACTOR SUPPLY CO. SKU #360316 OR APPROVED EQUAL. CONTRACTOR SHALL SUBMIT GATE SPECS AS RECORD DATA.
 3. PRESSURE TREATED WOOD POSTS (4" DIAMETER) ARE ALLOWED FOR TEMPORARY FENCE INSTALLATION.
 4. TEMPORARY GATE SHALL BE 12' SWING, GALVANIZED STEEL TUBE GATE.
 5. IN AREAS ADJACENT TO LIVESTOCK, TEMPORARY FENCE SHALL REMAIN IN PLACE UNTIL SEEDING HAS DEVELOPED INTO A UNIFORM STAND OF GRASS AND HAS BEEN ACCEPTED BY THE ENGINEER. FOLLOWING ACCEPTANCE, CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING TEMPORARY FENCE.
 6. TEMPORARY FENCING POSTS SHALL BE SPACED AT A MAXIMUM DISTANCE OF 86" WITH "T" STEEL POSTS AT A MAXIMUM OF 12' SPACING. "T" POSTS SHALL BE EMBEDDED A MINIMUM OF 2'-3" INTO GROUND.
 7. CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILING CONNECTION OF PROPOSED PERMANENT GATE TO EXISTING FENCE TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.



DATE:	MARCH 2023
DESIGN:	CPH
DRAWN:	NDCH
CHECKED:	JRA
KHA NO.:	061024043

SHEET
66

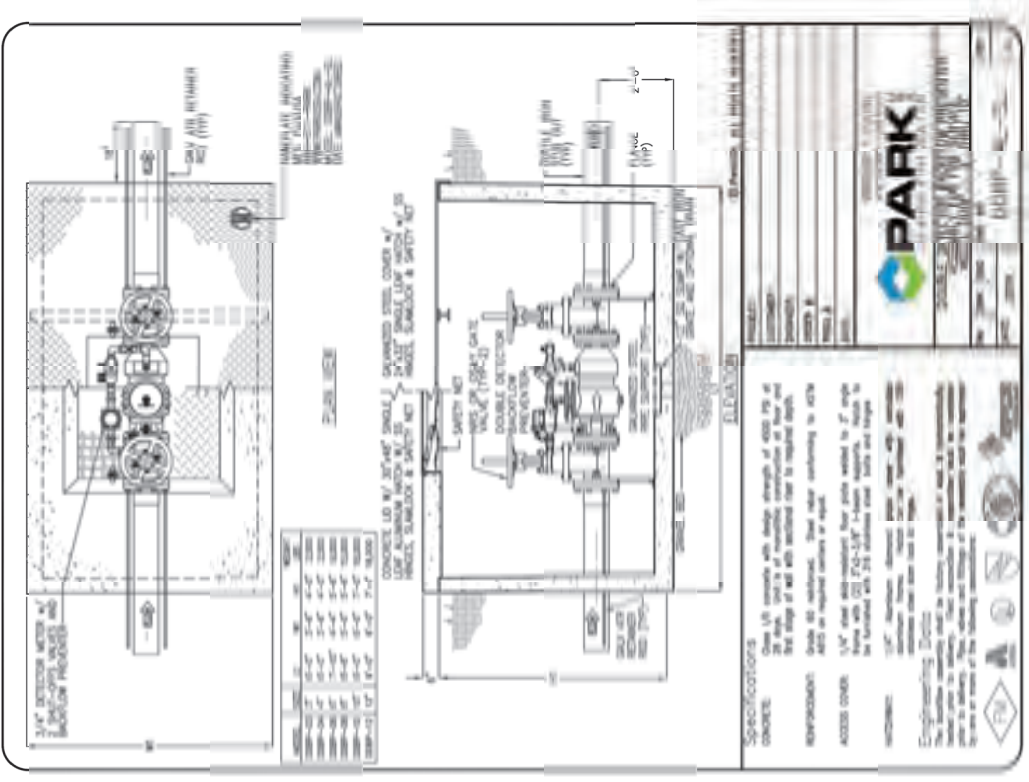
CONSTRUCTION DETAILS 2

CITY OF DENTON
(FROM US-380 TO MILAM)
IH-38 UTILITY RELOCATIONS



No.	Revision	By	Date

THESE PRINTS ARE THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. 801 Cherry St., Suite 1000 Ft. Worth, TX 76102
 P: 817-522-0555
Kimley-Horn



A 8" DOUBLE CHECK DETECTOR VAULT
SCALE: NOT TO SCALE

SPECIFICATIONS
 CONCRETE: 3000 psi
 REINFORCEMENT: #4 @ 12" O.C.
 ACCESS COVER: 24" x 24" x 4" heavy duty cast iron
 VALVE: 8" double check detector valve with 2" NPT outlet
 BACKFLOW PREVENTER: 8" double check detector valve with 2" NPT outlet
 ELECTRICAL: 120V AC, 15A, 1" conduit, 12' length
 FINISH: 1/2" concrete, 1" sand, 1" gravel, 1" aggregate



SEE U00011547 CITY OF DENTON AGREEMENT- RCSJ 0195-02-091



GRAPHIC SCALE IN FEET
FOR 11'X17' 1"=300'

LEGEND

SF

SILT FENCE
REF. A/70

SO

STONE OVERFLOW STRUCTURE
REF. B/70

IP

INLET PROTECTION
REF. C/70



FLOW ARROW

DATE: MARCH 2023
DESIGN: CFI
DRAWN: NDCH
CHECKED: JFA
KHA NO.: 061024043

67 SHEET

Kimley-Horn

7001 Cherry St., Suite 5000 Ft. Worth, TX 76105
Tel: 817.332.5555

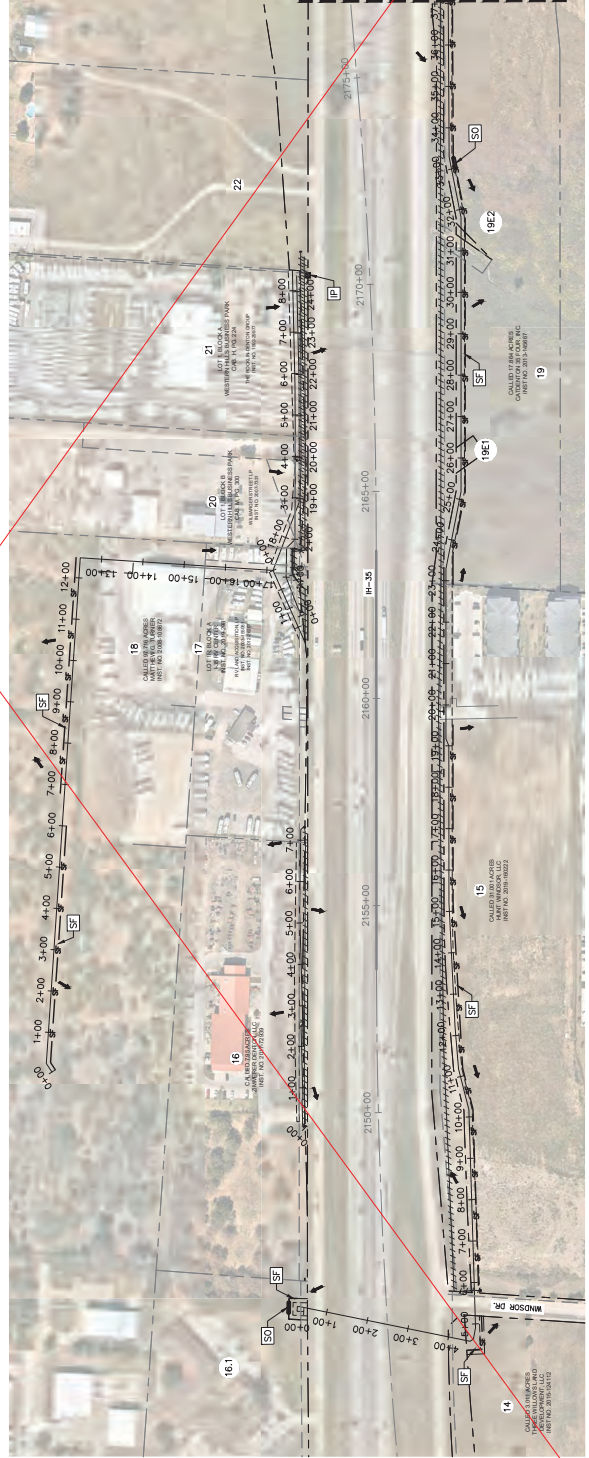


CITY OF DENTON
IH-36 UTILITY RELOCATIONS
(FROM US-380 TO MILAM)

EROSION CONTROL PLAN
(SHEET 1 OF 3)



GRAPHIC SCALE IN FEET
FOR 11'X17' 1"=300'



MATCHLINE 2
THIS SHEET

No.	Revision	By	Date

Kimley-Horn
 1400 West 10th Street, Suite 200
 Fort Worth, TX 76102-4488
 Phone: 817.332.4488

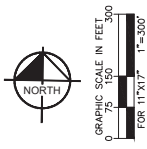


CITY OF DENTON
 (FROM US-380 TO MILAM)
 IH-38 UTILITY RELOCATIONS

EROSION CONTROL PLAN
 (SHEET 2 OF 3)

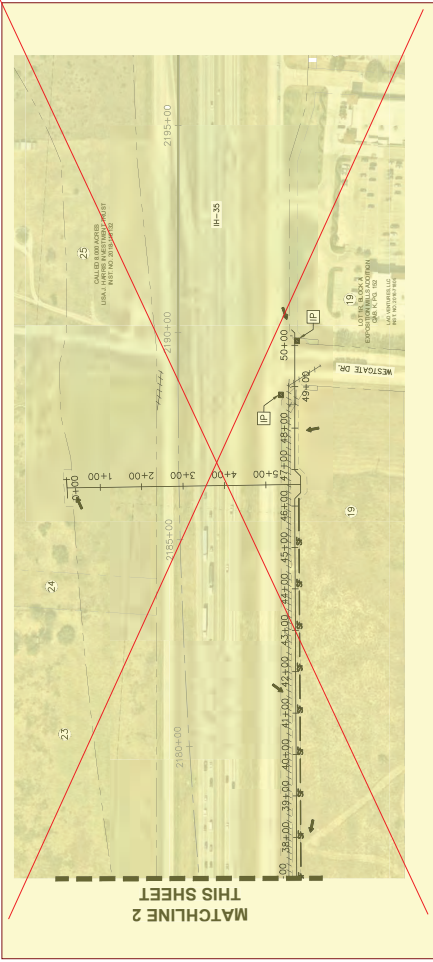
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DESIGN:	CRH
DRAWN:	NDOH
CHECKED:	JFA
KHA NO.:	061024043

88
 SHEET

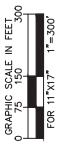
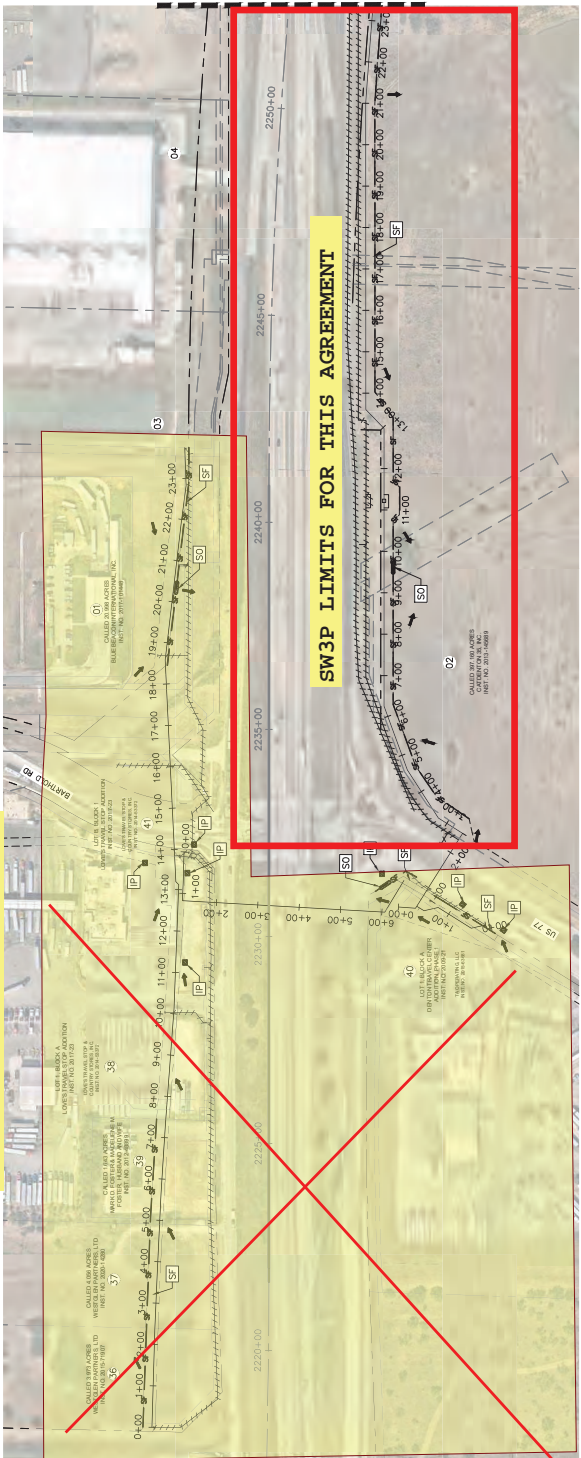


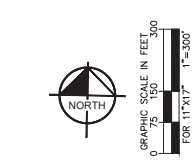
LEGEND

- SF — SF — SILT FENCE
REF. A/70
- SO — SO — STONE OVERFLOW STRUCTURE
REF. B/70
- IP — IP — INLET PROTECTION
REF. C/70
- ↑ FLOW ARROW



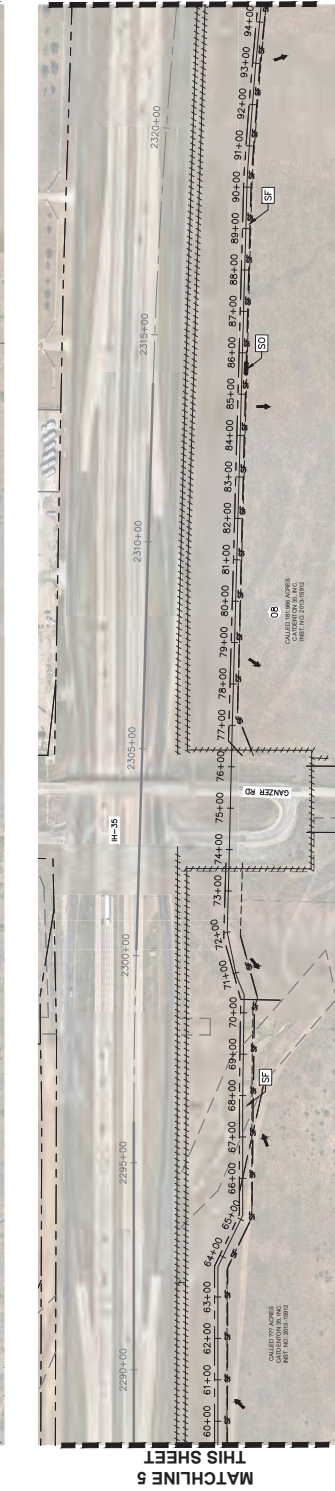
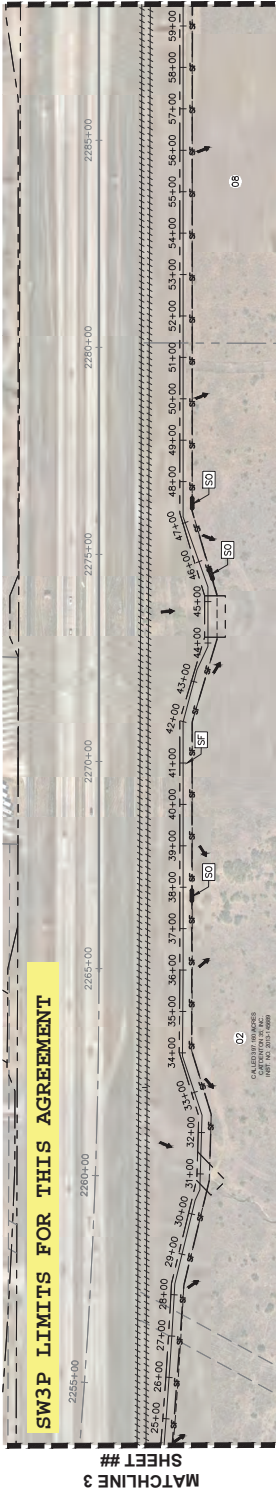
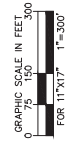
SEE U00011547 CITY OF DENTON AGREEMENT - RCSJ 0195-02-091





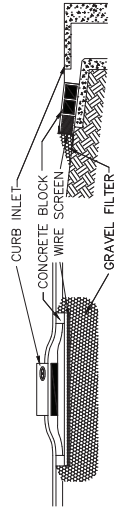
LEGEND

- SF — SIFT FENCE REF A/7/0
- SO — STONE OVERFLOW STRUCTURE REF B/7/0
- IP — INLET PROTECTION REF C/7/0
- ↑ FLOW ARROW

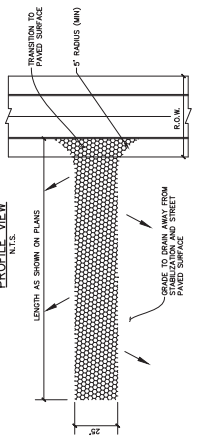
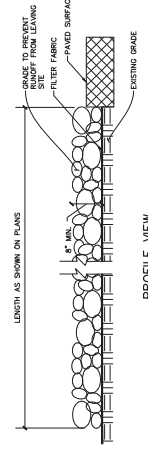
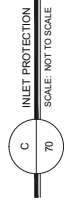




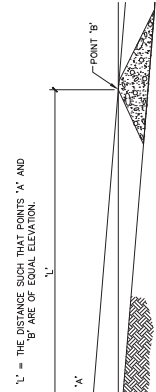
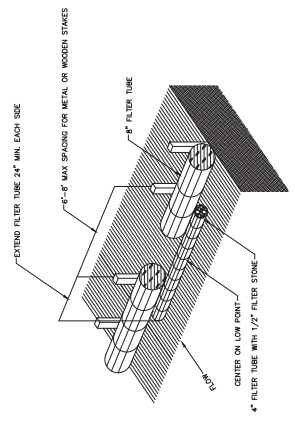
DATE:	MARCH 2023
DESIGN:	CFM
DRAWN:	NDCH
CHECKED:	JFA
KHA NO.:	061024043



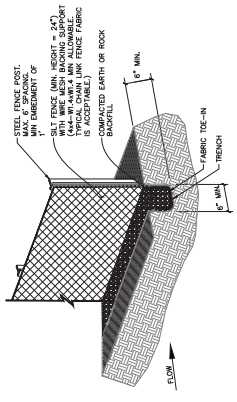
1. PLACE CONCRETE BLOCKS IN A SINGLE ROW IN FRONT OF INLET ON THEIR SIDES, WITH ENDS OF ADJACENT BLOCKS ABUTTING.
2. HEIGHT OF BARRIER VARIES. USE STACKS OF 4-INCH, 8-INCH, OR 12" BLOCKS. MIN. HEIGHT OF BARRIER 12" AND MAX. HEIGHT OF 24".
3. PLACE HARDWARE CLOTH/WIRE MESH W/ MAX. 1/2" OPENINGS OVER THE ENTIRE SURFACE OF CONCRETE BLOCKS.
4. THE AGGREGATE SHALL BE ANY NON-FRIBBLE MATERIAL SUCH AS LOOSE SAND OR GRAVEL. THE AGGREGATE SHALL BE PLACED TO ALLOW IT TO FILTER THROUGH AND OVER THE MATERIAL BEFORE ENTERING THE INLET.



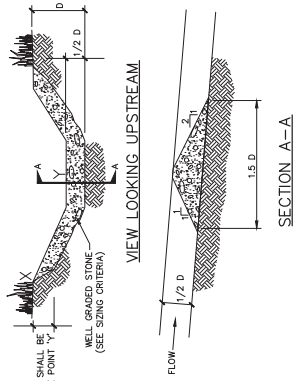
- STABILIZED CONSTRUCTION ACCESS GENERAL NOTES:**
1. STONE SHALL BE 3 TO 6 INCH DIAMETER CRUSHED ROCK OR ACCEPTABLE EQUIVALENT.
 2. LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 50 FEET. MIN. WIDTH SHALL BE 5 FEET. MIN. HEIGHT SHALL BE 5 FEET.
 3. THE THICKNESS SHALL NOT BE LESS THAN 8 INCHES.
 4. INCLUSIONS ARE PROHIBITED.
 5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT FROM TIRES AND UNDERCARRIAGES. THIS SHALL BE DONE ON AN AREA STABILIZED WITH GRASS OR OTHER VEGETATION. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
 6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE ENTRANCE FROM BEING OBSCURED BY SEDIMENT. THIS MAY REQUIRE PERIODIC TOP PRESSING WITH ADDITIONAL STONE AS REQUIRED TO MAINTAIN THE ENTRANCE. PERIODIC TOP PRESSING OR TRACKING ONTO PAVED SURFACES MUST BE PREVENTED IMMEDIATELY.
 7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

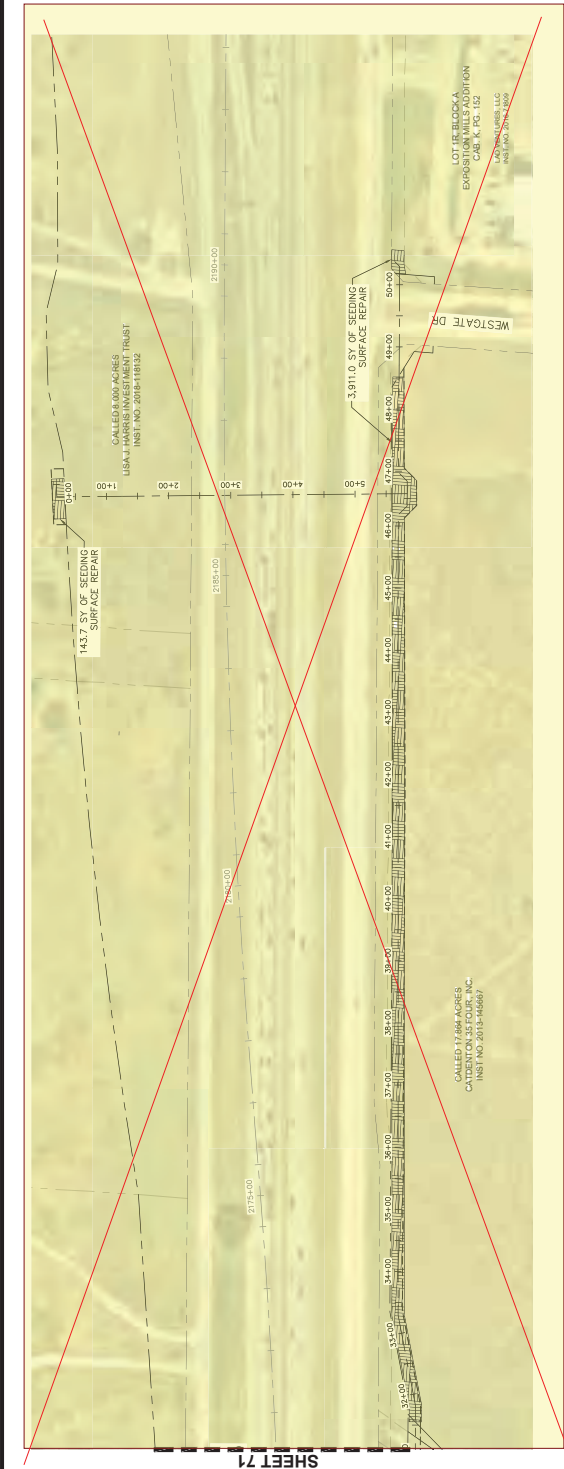


- ROCK CHECK DAM GENERAL NOTES:**
1. STONE SHALL BE WELL GRADED WITH SIZE RANGE FROM 1-1/2 TO 3-1/2 INCHES IN DIAMETER DEPENDING ON EXPECTED FLOWS.
 2. THE CHECK DAM SHALL BE SECURED WITH A WOVEN WIRE SHEATHING HAVING A MAXIMUM OPENING OF 1 INCH AND A MINIMUM WIRE SIZE OF 20 GAUGE.
 3. THE CHECK DAM SHALL BE INSPECTED AS SPECIFIED IN THE SWPPP AND SHALL BE REPLACED WHEN THE STRUCTURE SHOWS SIGNIFICANT WEAR OR DAMAGE. CONSTRUCTION TRAFFIC DAMAGE, ETC.
 4. WHEN SILT REACHES A DEPTH EQUAL TO ONE-THIRD OF THE HEIGHT OF THE CHECK DAM ON ONE FOOT, WHICHEVER IS LESS, THE SILT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
 5. WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED, THE CHECK DAM AND ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.



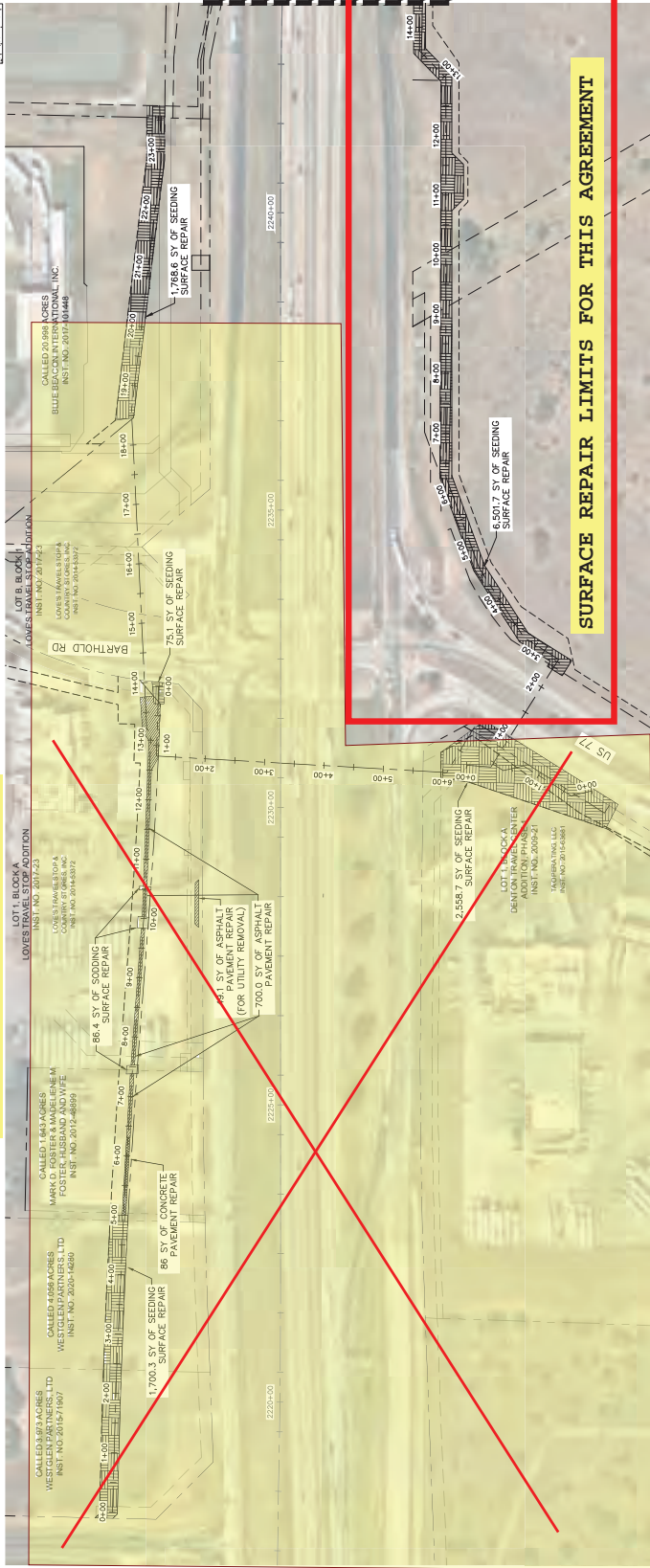
- NOTES:**
1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POSTS MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
 2. THE TRENCH SHALL BE 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE FABRIC TO BE TIED TO THE TRENCH. THE TRENCH SHALL BE 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE FABRIC TO BE TIED TO THE TRENCH. THE TRENCH SHALL BE 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE FABRIC TO BE TIED TO THE TRENCH.
 3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE FABRIC TO BE TIED TO THE TRENCH. THE TRENCH SHALL BE 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE FABRIC TO BE TIED TO THE TRENCH.
 4. THE TRENCH SHALL BE 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE FABRIC TO BE TIED TO THE TRENCH. THE TRENCH SHALL BE 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE FABRIC TO BE TIED TO THE TRENCH.
 5. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
 6. THE FENCE SHALL BE REMOVED AS SOON AS PRACTICABLE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL EROSION.
 7. THE FENCE SHALL BE REMOVED AS SOON AS PRACTICABLE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL EROSION.
 8. BOTH ARE REQUIRED.
 9. CONTRACTOR SHALL PREPARE STORM WATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE SPECIFICATIONS.





SHEET 71

SEE U00011547 CITY OF DENTON AGREEMENT- RCSJ 0195-02-091



SURFACE REPAIR LIMITS FOR THIS AGREEMENT



GRAPHIC SCALE IN FEET
0 50 100 200
FOR 11"X17" 1"=100'

- SHEET NOTES:**
1. CONTRACTOR TO REPAIR ANY DAMAGE TO AND RESTORE PRIVATE IRRIGATION SYSTEMS TO LANDSCAPED AREAS TO EXISTING CONDITION.
 2. CONTRACTORS SHALL PERFORM NEAT SAW CUTS, AND REPLACE DAMAGED PAVEMENT BACK TO BETTER OR SIMILAR CONDITION, GENERALLY AT 6-FEET WIDE FOR PIPE LARGER THAN 12" AND 8-FEET WIDE FOR ALL OTHER PIPES. ALL CUTS SHALL BE CLEAN, AND SHALL BE ASSUMED TO BE SAW CUT, AND NOT REQUIRED TO REPLACE FULL PANEL.
 3. CURB AND OUTER RESTORATION SHALL BE REPAIRED TO MATCH EXISTING CURB INSTALLATION AND THE PAVING REPAIR BID ITEM QUANTITY.

- LEGEND**
- ASPHALT PAVEMENT REPAIR (RE: A/85)
 - CONCRETE PAVEMENT REPAIR (RE: B/85)
 - SEEDING SURFACE REPAIR
 - SODDING SURFACE REPAIR



GRAPHIC SCALE IN FEET
0 50 100 200
FOR 11"X17" 1"=100'

THE CITY OF DENTON
315 W. MAIN ST. SUITE 2000 FT. WORTH, TX 76108
714.788.8888

REVISION
BY DATE

NO. 03/29/2023

Kimley-Horn



CITY OF DENTON
HI-35-UTILITY RELOCATIONS
(FROM US-380 TO MILAM)

PROPOSED SURFACE REPAIR
(SHEET 2 OF 5)

DATE:	MARCH 2023
CFR:	
NDCH:	
DRM:	
CHECKED:	JRA
KMA NO.:	061024043



DATE:	MARCH 2023
DESIGN:	CPJ
DRAWN:	NDCH
CHECKED:	JRA
KHA NO.:	061024043



GRAPHIC SCALE IN FEET
 0 50 100 200
 FOR 11"x17" 1"=100'

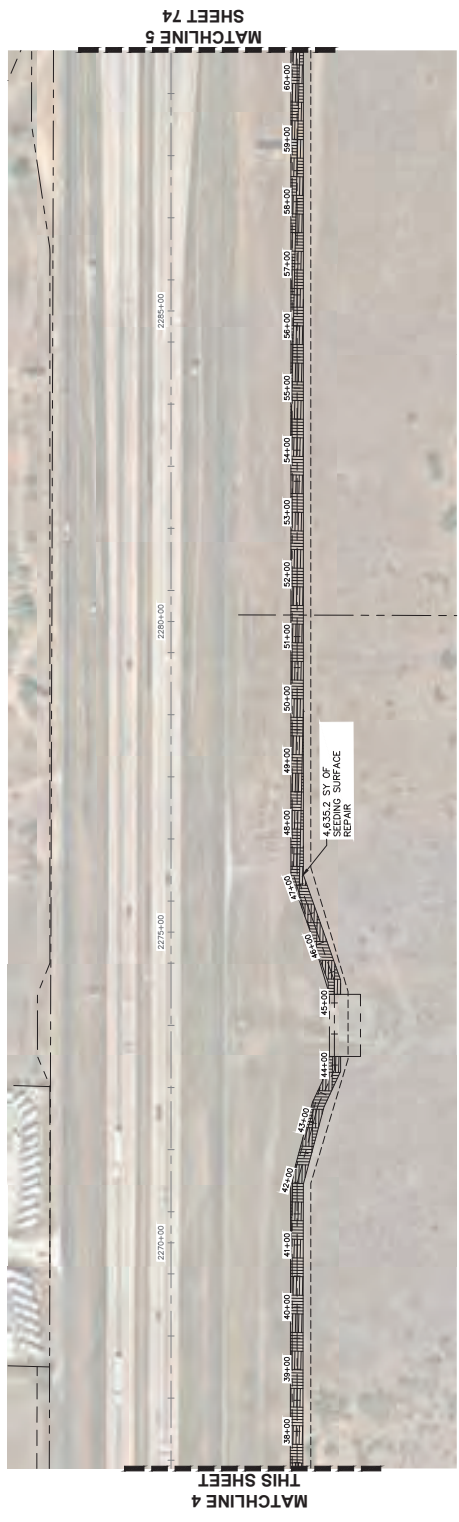
- SHEET NOTES:**
- CONTRACTOR TO REPAIR ANY DAMAGE TO AND RESTORE PRIVATE IRRIGATION SYSTEMS.
 - CONTRACTOR IS RESPONSIBLE FOR RESTORING LANDSCAPED AREAS TO EXISTING CONDITION.
 - CONTRACTORS SHALL PERFORM NEAT SAW CUTS, AND REPLACE DAMAGED PAVEMENT. GENERALLY, PAVING REPAIR WIDTHS HAVE BEEN ASSUMED AT 6-FEET WIDE FOR PIPE AND ALL OTHER PIPES. CONCRETE PAVING ON PRIVATE PROPERTY ARE ASSUMED TO BE TO REPLACE FULL PANELS, NOT REQUIRED TO REPLACE AND GUTTER RESTORATION SHALL BE CONSIDERED SUBSIDIARY TO THE PIPE REPAIR. CONTRACTOR SHALL ADVISE THE PAVING REPAIR BID ITEM QUANTITY.

LEGEND

- ASPHALT PAVEMENT REPAIR (RE: A / 65)
- CONCRETE PAVEMENT REPAIR (RE: B / 65)
- SEEDING SURFACE REPAIR
- SODDING SURFACE REPAIR



GRAPHIC SCALE IN FEET
 0 50 100 200
 FOR 11"x17" 1"=100'



Kimley-Horn
 1000 Peachtree Street, N.E.
 Atlanta, Georgia 30309
 Phone: 404.525.8800
 Fax: 404.525.8801
 Email: info@kimley-horn.com



CITY OF DENTON
 (FROM US-380 TO MILAM)
 HI-36 UTILITY RELOCATIONS

PROPOSED SURFACE REPAIR
 (SHEET 4 OF 5)

DATE:	MARCH 2023
DESIGN:	CPH
DRAWN:	NDOH
CHECKED:	JFA
KHA NO.:	061024043

74
 SHEET



GRAPHIC SCALE IN FEET
 0 75 150 300
 FOR 11"X17" 1"=100'

SHEET NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE TO EXISTING UTILITIES AND RESTORE PRIVATE IRRIGATION SYSTEMS.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING LANDSCAPED AREAS TO EXISTING CONDITION.
- CONTRACTORS SHALL PERFORM NEAT SAW CUTS, AND REPLACE DAMAGED PAVEMENT WITH MATCHING PAVEMENT. PAVING REPAIR WIDTHS HAVE BEEN ASSUMED AT 6-FEET WIDE FOR PIPE AND 8-FEET WIDE FOR ALL OTHER PIPES. CONCRETE PAVING ON PRIVATE PROPERTY ARE ASSUMED TO BE UNPAVED AND SHALL NOT BE REQUIRED TO REPLACE FULL PANEL.
- CURB AND GUTTER RESTORATION SHALL BE CONSIDERED SUBSIDIARY TO THE PIPE RESTORATION AND THE PAVING REPAIR BID ITEM QUANTITY.

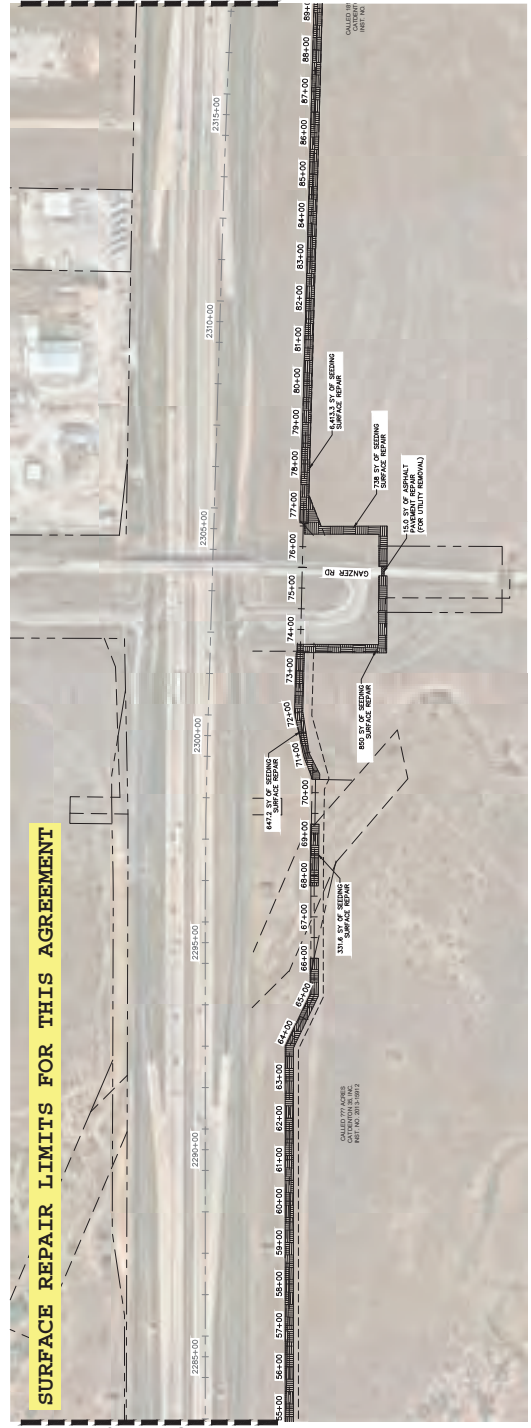
LEGEND

- ASPHALT PAVEMENT REPAIR (RE. A/65)
- CONCRETE PAVEMENT REPAIR (RE. 6/65)
- SEEDING SURFACE REPAIR
- SODDING SURFACE REPAIR



GRAPHIC SCALE IN FEET
 0 75 150 300
 FOR 11"X17" 1"=100'

MATCHLINE 6
 THIS SHEET



SURFACE REPAIR LIMITS FOR THIS AGREEMENT

MATCHLINE 5
 SHEET 73

MATCHLINE 7
 THIS SHEET



MATCHLINE 6
 THIS SHEET



GRAPHIC SCALE IN FEET
 0 50 100 200
 FOR 11"x17" 1"=100'

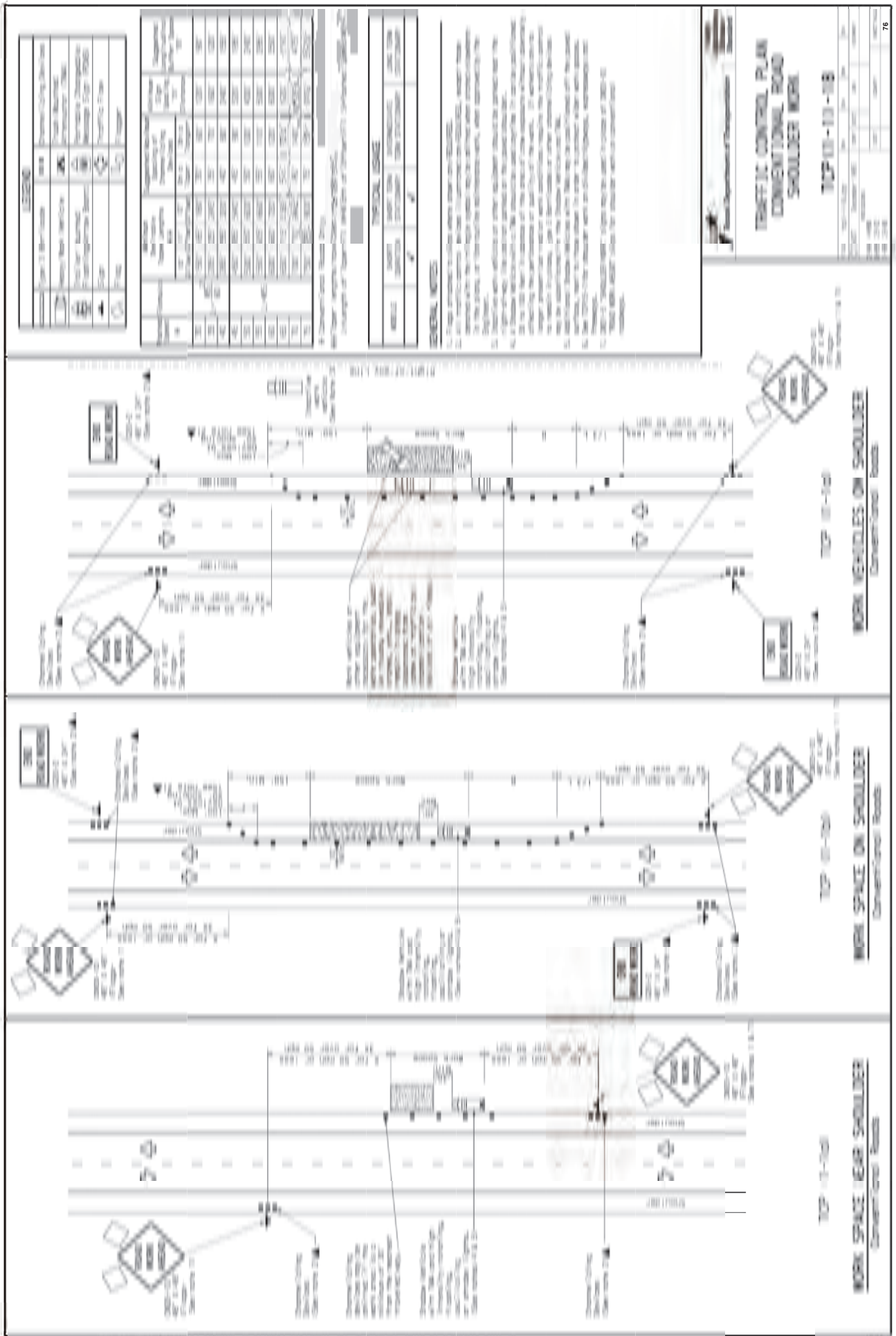
- SHEET NOTES:**
- CONTRACTOR TO REPAIR ANY DAMAGE TO AND RESTORE PRIVATE IRRIGATION SYSTEMS
 - CONTRACTOR IS RESPONSIBLE FOR RESTORING LANDSCAPED AREAS TO EXISTING CONDITION

- LEGEND**
- ASPHALT PAVEMENT REPAIR (RE: A/65)
 - CONCRETE PAVEMENT REPAIR (RE: B/65)
 - SEEDING SURFACE REPAIR
 - SODDING SURFACE REPAIR



SURFACE REPAIR LIMITS FOR THIS AGREEMENT

MATCHLINE 7
SHEET 74



Legend

Symbol	Description
(Symbol)	(Description)
(Symbol)	(Description)
(Symbol)	(Description)
(Symbol)	(Description)

Notes

Item	Description
1	(Note)
2	(Note)
3	(Note)
4	(Note)
5	(Note)
6	(Note)
7	(Note)
8	(Note)
9	(Note)
10	(Note)
11	(Note)
12	(Note)
13	(Note)
14	(Note)
15	(Note)
16	(Note)
17	(Note)
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21	(Note)
22	(Note)
23	(Note)
24	(Note)
25	(Note)
26	(Note)
27	(Note)
28	(Note)
29	(Note)
30	(Note)

Notes

Item	Description
1	(Note)
2	(Note)
3	(Note)
4	(Note)
5	(Note)
6	(Note)
7	(Note)
8	(Note)
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22	(Note)
23	(Note)
24	(Note)
25	(Note)
26	(Note)
27	(Note)
28	(Note)
29	(Note)
30	(Note)

Notes

1. The work area shall be 100 feet long.

2. The work area shall be located in the right shoulder.

3. The work area shall be located between station 100+00 and 100+100.

4. The work area shall be located between station 100+100 and 100+200.

5. The work area shall be located between station 100+200 and 100+300.

6. The work area shall be located between station 100+300 and 100+400.

7. The work area shall be located between station 100+400 and 100+500.

8. The work area shall be located between station 100+500 and 100+600.

9. The work area shall be located between station 100+600 and 100+700.

10. The work area shall be located between station 100+700 and 100+800.

11. The work area shall be located between station 100+800 and 100+900.

12. The work area shall be located between station 100+900 and 100+1000.

13. The work area shall be located between station 100+1000 and 100+1100.

14. The work area shall be located between station 100+1100 and 100+1200.

15. The work area shall be located between station 100+1200 and 100+1300.

16. The work area shall be located between station 100+1300 and 100+1400.

17. The work area shall be located between station 100+1400 and 100+1500.

18. The work area shall be located between station 100+1500 and 100+1600.

19. The work area shall be located between station 100+1600 and 100+1700.

20. The work area shall be located between station 100+1700 and 100+1800.

21. The work area shall be located between station 100+1800 and 100+1900.

22. The work area shall be located between station 100+1900 and 100+2000.

23. The work area shall be located between station 100+2000 and 100+2100.

24. The work area shall be located between station 100+2100 and 100+2200.

25. The work area shall be located between station 100+2200 and 100+2300.

26. The work area shall be located between station 100+2300 and 100+2400.

27. The work area shall be located between station 100+2400 and 100+2500.

28. The work area shall be located between station 100+2500 and 100+2600.

29. The work area shall be located between station 100+2600 and 100+2700.

30. The work area shall be located between station 100+2700 and 100+2800.

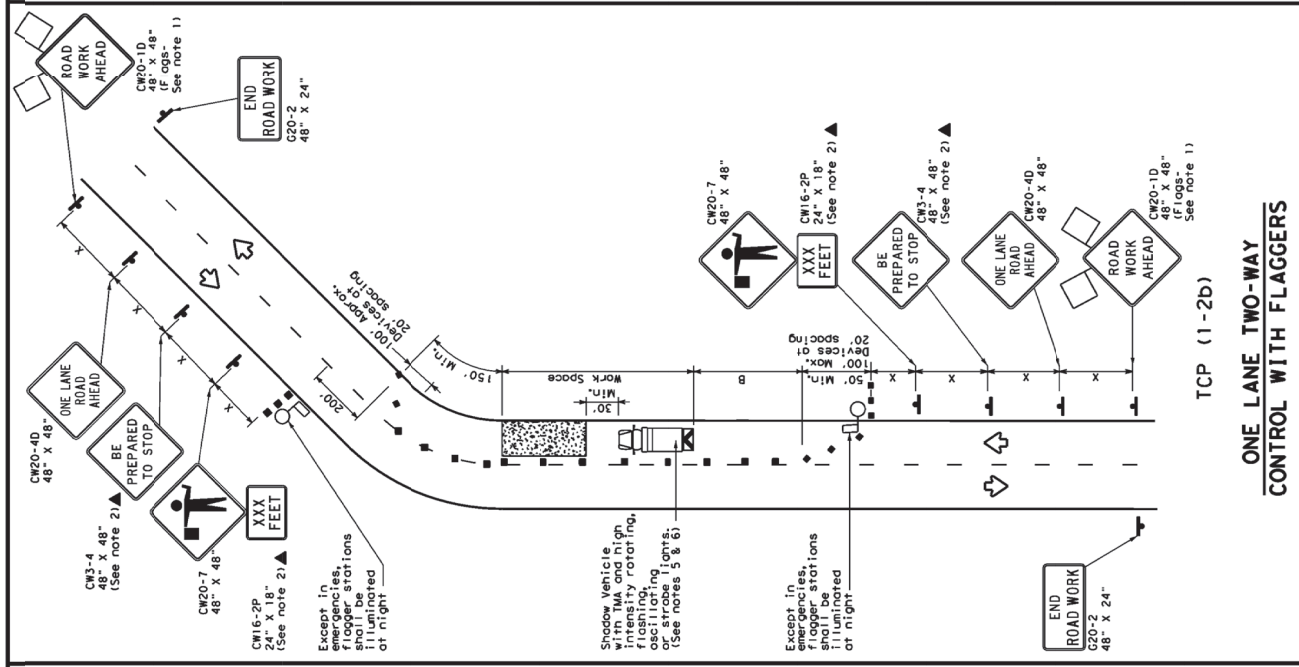
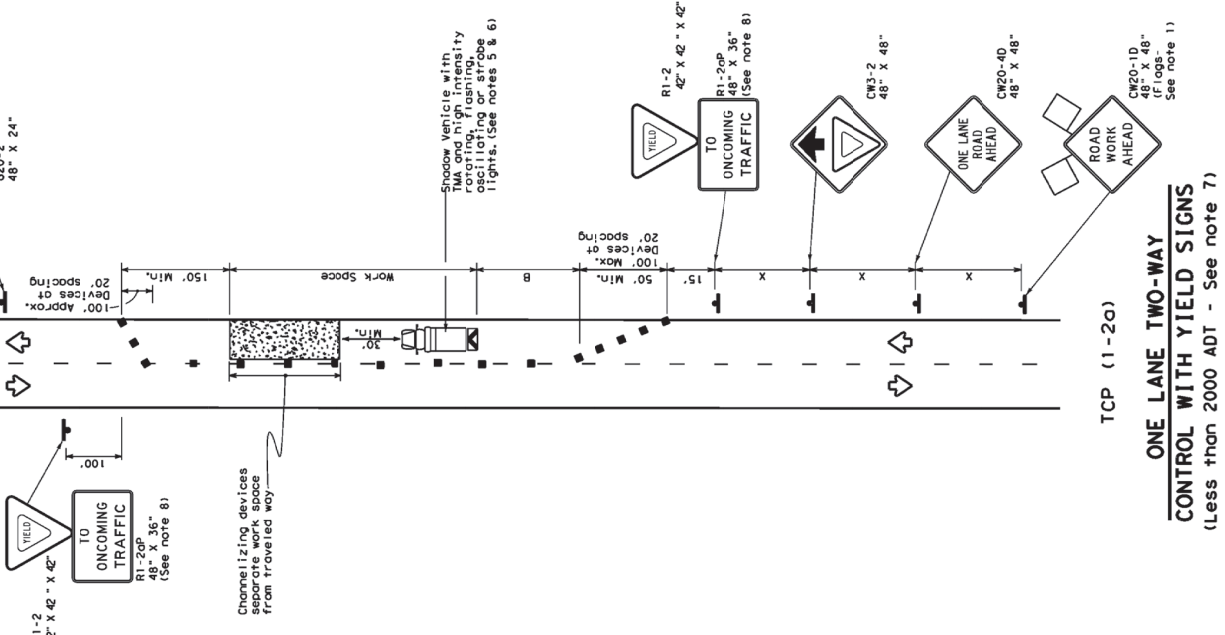
Traffic Department / Transportation

**TRAFFIC CONTROL PLAN
CONVENTIONAL ROAD
SHOULDER WORK**

TCP 10-11-18

Project No.	10-11-18
Sheet No.	10-11-18
Date	10-11-18
Scale	1" = 100'
Author	(Name)
Checker	(Name)
Appr.	(Name)

Warning Sign Sequences in Opposite Direction Same as Below



LEGEND

Channelizing Devices	Type 3 Barricade	Truck Mounted Attenuator (TMA)
Heavy Work Vehicle	Trailer Mounted Flashing Arrow Board	Portable Changeable Message Sign (PCMS)
Sign	Flagger	Traffic Flow
Flagger	Flagger	Flagger

Posted Speed * (MPH)	Minimum Taper Lengths (ft)	Suggested Maximum Spacing of Channelizing Devices (ft)	Minimum Spacing (ft)	Suggested Spacing (ft)	Stopping Sight Distance (ft)
30	100'	111'	12'	120'	200'
35	150'	165'	180'	30'	250'
40	205'	225'	245'	35'	305'
45	265'	295'	320'	40'	360'
50	330'	375'	405'	45'	420'
55	405'	465'	505'	50'	485'
60	495'	565'	605'	55'	550'
65	595'	675'	715'	60'	620'
70	705'	795'	835'	65'	700'
75	825'	930'	985'	70'	785'
80	960'	1080'	1155'	75'	875'
85	1110'	1245'	1335'	80'	975'
90	1275'	1425'	1530'	85'	1085'
100	1575'	1815'	1950'	90'	1305'
110	1905'	2235'	2415'	95'	1545'
120	2265'	2695'	2915'	100'	1805'
130	2655'	3195'	3435'	105'	2085'
140	3075'	3735'	4005'	110'	2385'
150	3525'	4315'	4615'	115'	2705'
160	4005'	4935'	5275'	120'	3045'
170	4515'	5595'	6005'	125'	3405'
180	5055'	6295'	6805'	130'	3785'
190	5625'	7035'	7675'	135'	4185'
200	6225'	7815'	8625'	140'	4605'
210	6855'	8635'	9655'	145'	5045'
220	7515'	9495'	10765'	150'	5505'
230	8205'	10395'	11955'	155'	5985'
240	8925'	11335'	13225'	160'	6485'
250	9675'	12315'	14575'	165'	7005'
260	10455'	13335'	16005'	170'	7545'
270	11265'	14395'	17515'	175'	8105'
280	12105'	15495'	19105'	180'	8685'
290	12975'	16635'	20775'	185'	9285'
300	13875'	17815'	22525'	190'	9905'

* Conventional Roads Only
** Taper lengths have been rounded off.
L = Length of Taper (ft); W = Width of Offset (ft); S = Posted Speed (MPH)

TYPICAL USAGE

MOBILE	SHORT TERM STATIONARY	INTERMEDIATE TERM STATIONARY	LONG TERM STATIONARY
✓	✓	✓	✓

GENERAL NOTES

- Flagger attached to signs where shown are REQUIRED.
- Flagger (laborer) may be used where required, except those denoted with the maintenance work, when approved by the Engineer.
- The CW3-4 "BE PREPARED TO STOP" sign may be installed after the CW20-4D "ONE LANE ROAD AHEAD" sign, but proper sign spacing shall be maintained.
- Sign spacing may be increased or an additional CW20-1D "ROAD WORK AHEAD" sign may be used in advance of the area of crew exposure without adversely affecting the performance or quality of the work. If workers are no longer present but road or work conditions require the traffic control to remain in place, Type 3 Barricades or other channelizing devices may be substituted for the Shadow Vehicle and TMA.
- Additional Shadow Vehicles with TMA may be positioned off the paved surface, next to those shown in order to protect high work spaces.

TCP (1-20)

R1-2 "YIELD" sign traffic control may be used on projects with approaches that have adequate sight distance. For projects in urban areas, work spaces should be no longer than 400 feet. R1-2 "YIELD" sign with R1-20P "TO ONCOMING TRAFFIC" plaque shall be placed on a support at a 7 foot minimum mounting height.

TCP (1-2b)

Flagger should use two-way radios or other methods of communication to control traffic. Length of work space should be based on the ability of flaggers to communicate. If the work space is located near a horizontal or vertical curve, the buffer distances should be increased in order to maintain adequate stopping sight distance to the flagger and a queue of stopped vehicles (see table above).

Channelizing devices on the center-line may be omitted when a pilot car is leading.

Flagger should use 24" STOP/SLOW paddles to control traffic. Paddles should be limited to emergency situations.

Texas Department of Transportation
Operations Division
Standard

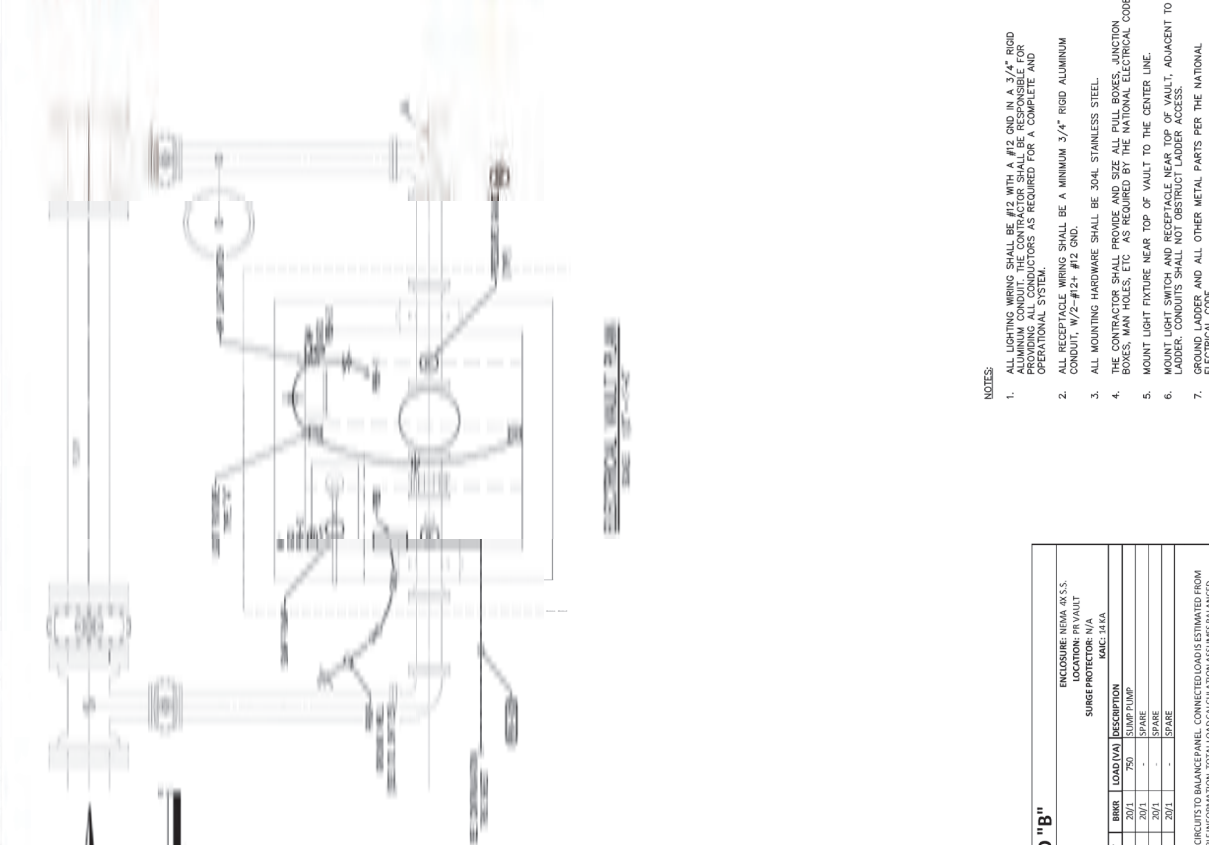
TRAFFIC CONTROL PLAN
ONE-LANE TWO-WAY
TRAFFIC CONTROL

TCP (1-2) - 18

FILE: TCP-1-18-09n
REV: December 1985
4-90 4-98 REVISIONS
2-94 2-12
1-97 2-18

DATE: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

SHEET NO. 77



PANELBOARD "B"

DESCRIPTION	LOAD (VA)		CIRCUIT		CIRCUIT		CIRCUIT	CIRCUIT	CIRCUIT	CIRCUIT
	BRKR	CIR	A	B	A	B				
VAULT LIGHTS	500	20/1	3	4	20/1	20/1	750	20/1	20/1	20/1
SPARE	-	20/1	5	6	20/1	20/1	-	20/1	20/1	20/1
SPARE	-	20/1	7	8	20/1	20/1	-	20/1	20/1	20/1

(L-L) VOLT: 240 V	BUSSE: 50A	ENCLOSURE: NEMA 4X S.S.
(L-N) VOLT: 120V	MCR: 40A	LOCATION: PV VAULT
PHASE: 1 Ø	MID: N/A	SURGE PROTECTOR: N/A
PHASE: 3 Ø		REL: 24/4

NOTE: CIRCUITS TO BALANCE PANEL. CONNECTED LOADS ESTIMATED FROM AVAILABLE INFORMATION. TOTAL LOAD CALCULATION ASSUMES BALANCED


CONDUCTOR LOAD: PHASE A: 1,250 VA 10.4A PHASE B: 500 VA 4.2A TOTAL LOAD: 1,750 VA 7.3A



ONE-LINE DIAGRAM
NOT TO SCALE

NOTES:

- ALL LIGHTING WIRING SHALL BE #12 WITH A #12 GND IN A 3/4" RIGID CONDUIT. PROVIDE ALL CONDUCTORS AS REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
- ALL RECEPTACLE WIRING SHALL BE A MINIMUM 3/4" RIGID ALUMINUM CONDUIT, W/2-#12+ #12 GND.
- ALL MOUNTING HARDWARE SHALL BE 304L STAINLESS STEEL.
- THE CONTRACTOR SHALL PROVIDE AND SIZE ALL PULL BOXES, JUNCTION BOXES, MAN HOLES, ETC. AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.
- MOUNT LIGHT FIXTURE NEAR TOP OF VAULT TO THE CENTER LINE.
- MOUNT LIGHT SWITCH AND RECEPTACLE NEAR TOP OF VAULT. ADJACENT TO LADDER. CONDUITS SHALL NOT OBSTRUCT LADDER ACCESS.
- GROUND LADDER AND ALL OTHER METAL PARTS PER THE NATIONAL ELECTRICAL CODE.

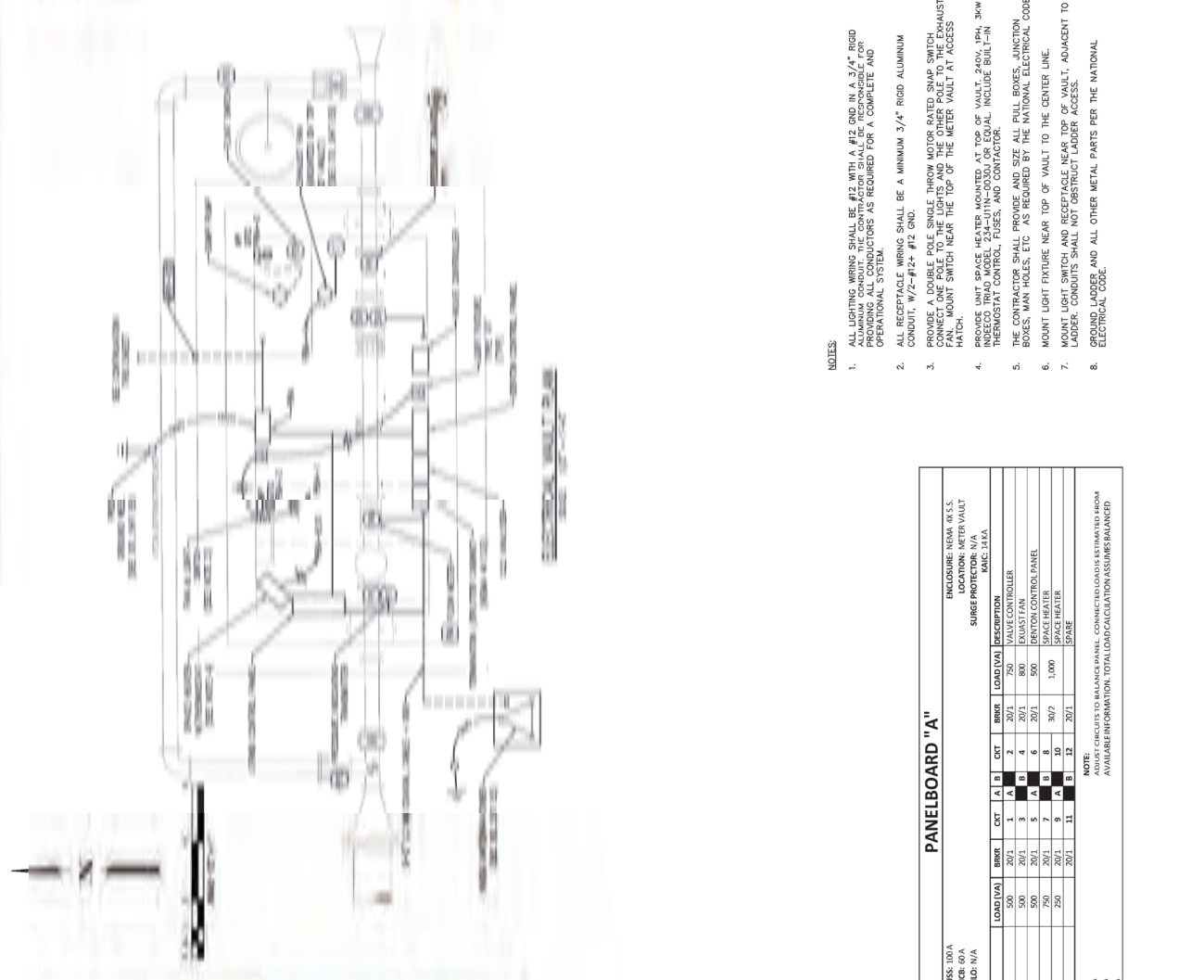


CITY OF DENTON
1H-35 UTIL ELEC ENGINEERING

ELECTRICAL METER VAULT PLAN

DATE: FEBRUARY 2023
DESIGN: JAD
EXAMN: TAD
CHECKED: JAD
HWA NO.: 061024043

83
SHEET



PANELBOARD "A"

DESCRIPTION	LOAD (VA)	BKR	CCT			BKR	LOAD (VA)	DESCRIPTION
			A	B	C			
VAULT LIGHTS	500	20/1	1	A	2	20/1	750	VALVE CONTROLLER
UTTRIND CONTROL PANEL	500	20/1	5	A	6	20/1	500	DENTON CONTROL PANEL
SWAMP PUMP	750	20/1	7	B	8	30/2	1,000	SPACE HEATER
CLANALYZER	250	20/1	9	A	10	20/1	1,000	SPACE HEATER
SPARE								SPARE

ENCLOSURE: NEMA 4X S.S.
SURGE PROTECTOR: N/A
MISC: I.A.A.

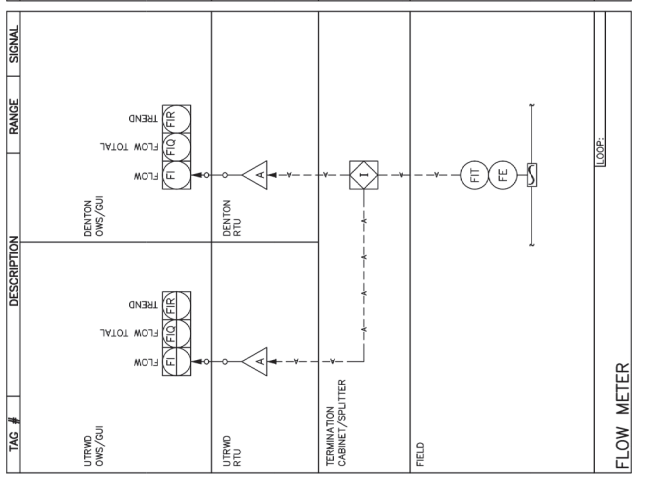
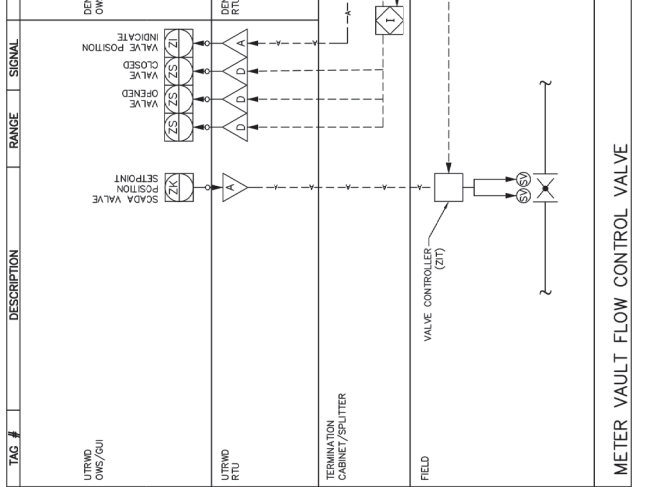
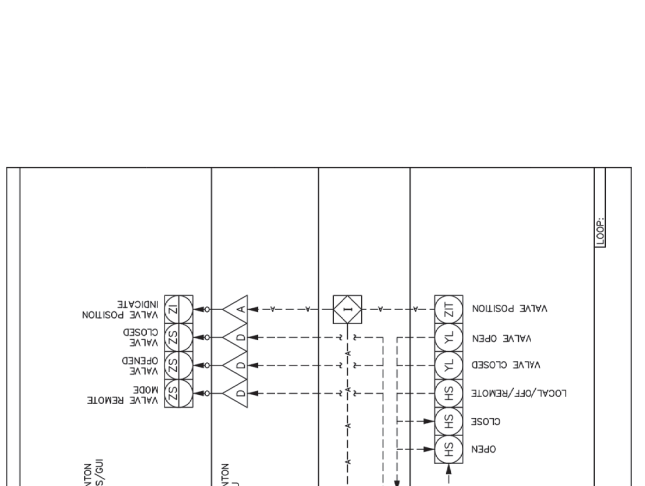
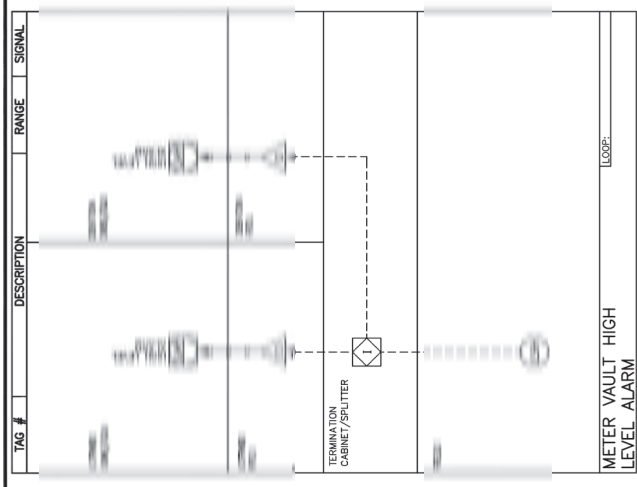
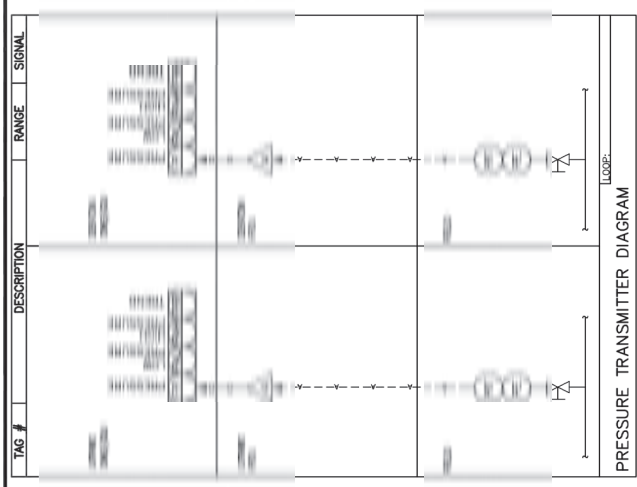
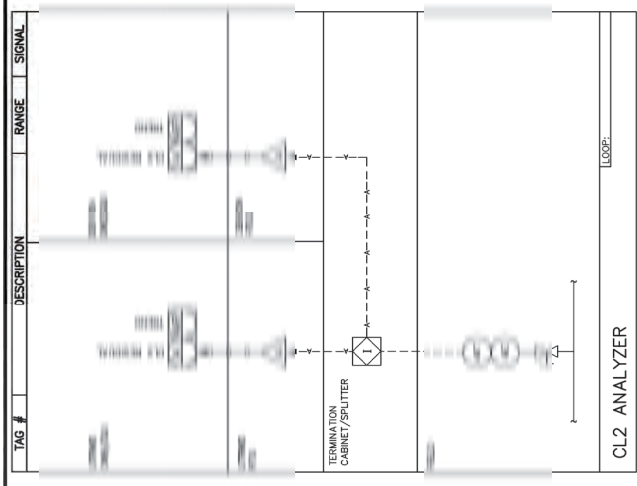
BUSSES: 100A
PHASE 1: 20/1
PHASE 2: 20/1
PHASE 3: 20/1
WIRE: 3-W

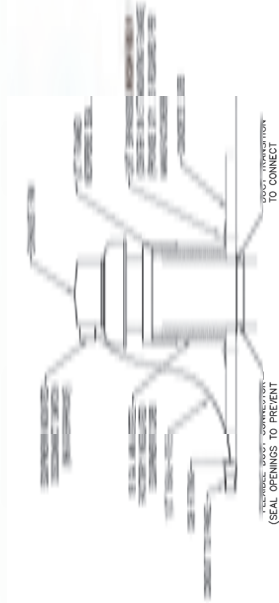
NOTE: SUBJECT TO BALANCE PANEL CONDUCTOR CALCULATION ASSUMES AROUND AVAILABLE INFORMATION. TOTAL LOAD CALCULATION ASSUMES BALANCED.

TOTAL LOAD: 5,550 VA 23.1 A
PHASE A: 2,250 VA 18.8 A
PHASE B: 3,300 VA 27.5 A
PHASE C: 0 VA 0 A

ONE-LINE DIAGRAM
NOT TO SCALE

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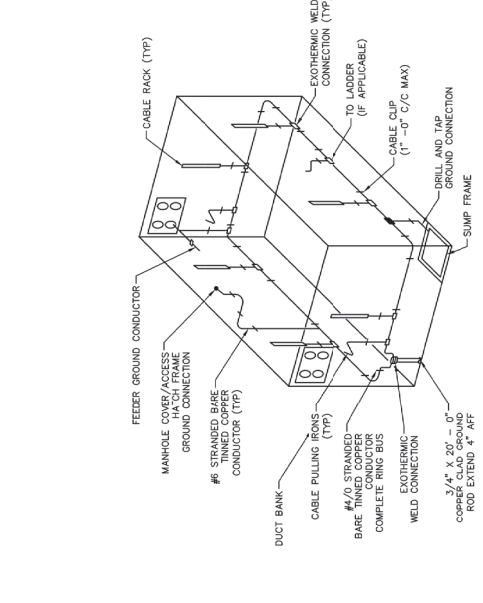




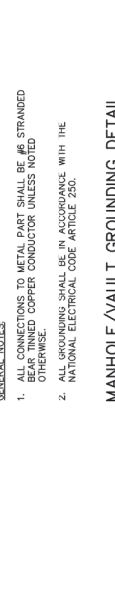
FAN SCHEDULE							
MARK	MANUFACTURER & MODEL NUMBER	CFM	VOLTAGE	HP	RPM	MAX. SONES	REMARKS
GF-1	C-090-V0	400	120	0.25	1725	5.9	SEE NOTES



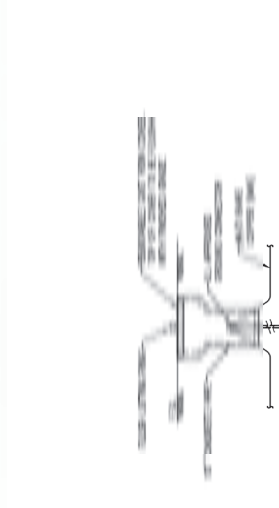
EXHAUST FAN DETAIL
 NOT TO SCALE



TYPICAL DUCT BANK CONSTRUCTION
 NOT TO SCALE



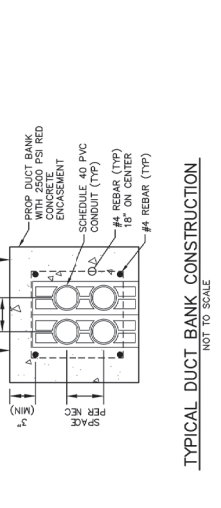
STRUCTURES ABOVE OR BELOW GRADE
 WATERTIGHT CONDUIT PENETRATION
 NOT TO SCALE



GROUND WELL DETAIL
 NOT TO SCALE



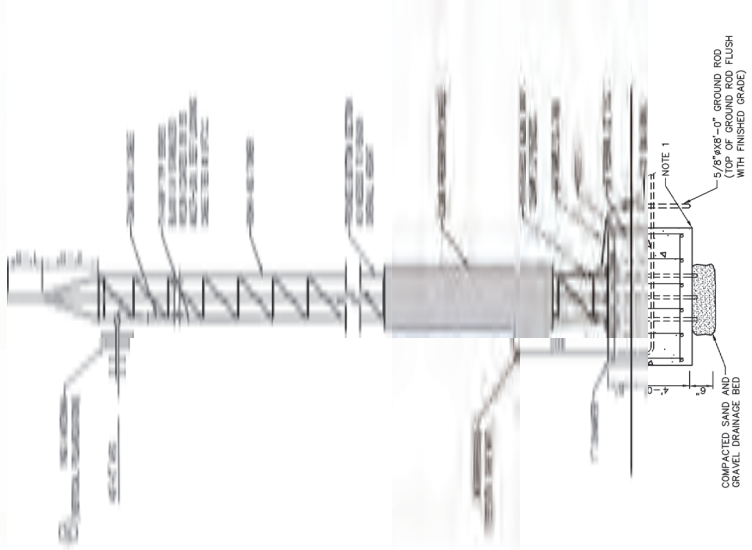
SERVICE POLE DETAIL
 NOT TO SCALE



ADDRESS TAG DETAIL
 NOT TO SCALE

- GENERAL NOTES:
- ALL CONNECTIONS TO METAL PART SHALL BE #6 STRANDED BARE TINNED COPPER CONDUCTOR UNLESS NOTED OTHERWISE.
 - ALL GROUNDING SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE ARTICLE 250.

MANHOLE/VAULT GROUNDING DETAIL
 NOT TO SCALE



TOWER HEIGHT	MAIN MODEL	CONCRETE BASE
50'	456'	9'-3" 50'

- NOTES:**
1. ANTENNA BASE SHALL BE CLASS A, 4,000PSI CONCRETE AND CONSTRUCTED AS SHOWN. SEE TABLE FOR DIMENSION.
 2. GROUND ANTENNA AND ENCLOSURE.
 3. ALL ANTENNA CABLE CONDUIT SHALL HAVE 36" LONG RADIUS BENDS.
 4. PROVIDE LIGHTNING ROD TO THE TOP OF THE TOWER, AND GROUND CONDUCTORS DOWN THE TOWER TO A GROUND GRID.
 5. TOWERS SHALL BE RATED AT 90 MPH WINDS AND TOWER TYPE SHALL DEPEND ON THE HEIGHTS BY MANUFACTURER RECOMMENDATIONS AND SHALL INCLUDE LOADS IMPOSED BY 1/2" ICE. TOWER MANUFACTURER SHALL BE ROHN OR APPROVED EQUAL.
 6. ALL TOWER ASSEMBLY BOLTS ARE TO BE INSERTED OUT AND/OR UP (IE. WITH NUTS AND PAL NUTS ON OUTSIDE OF TOWER FACE AND/OR ON TOP OF FLANGE PLATES) UNLESS PROHIBITED BY LACK OF CL. PARALLEL.
 7. ALL ASSEMBLY AND ANCHOR BOLTS ARE TO BE TIGHTENED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THE BOLTS ARE TO BE USED FOR BEARING-TYPE CONNECTIONS, AS A MINIMUM. THE BOLTS SHALL BE TIGHTENED TO A "SNUG TIGHT" CONDITION. THIS SHALL BE IN ACCORDANCE WITH THE 1989, AISC, "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS".
 8. FLAT WASHERS ARE TO BE INSTALLED WITH BOLTS OVER SLOTTED HOLES.
 9. CAUTION: DO NOT OVER-TORQUE! GALVANIZING ON BOLTS, NUTS AND STEEL PARTS MAY BE REMOVED. THIS OVER-TIGHTENING MAY OCCUR AND MAY CAUSE BOLTS TO CRACK OR SNAP OFF.

ANTENNA TOWER DETAIL
NOT TO SCALE



- NOTES:**
1. ALL ANTENNA CABLE CONDUIT SHALL HAVE 36" LONG RADIUS BENDS
 2. TYPICAL FOR BOTH SOURCE AND DESTINATION ENDS OF CONDUIT.
 3. DO NOT GLUE WEATHERHEAD TO PVC CONDUIT.

ANTENNA CABLE WEATHERHEAD
NOT TO SCALE

GENERAL NOTES

- 1. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE FOLLOWING CODES AND STANDARDS:
 - A. AIAA 1000-2000
 - B. AIAA 1000-2000
 - C. AIAA 1000-2000
 - D. AIAA 1000-2000
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENTON AND THE STATE OF TEXAS.
- 3. ALL MATERIALS SHALL BE APPROVED BY THE CITY OF DENTON AND THE STATE OF TEXAS BEFORE INSTALLATION.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENTON AND THE STATE OF TEXAS.

- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DENTON AND THE STATE OF TEXAS.
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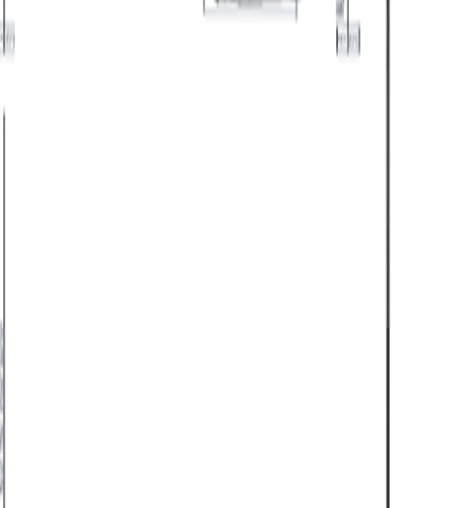
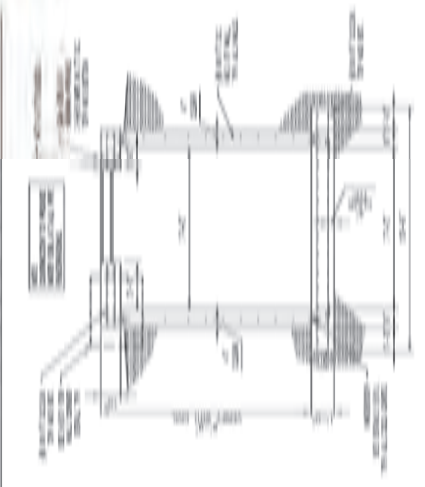
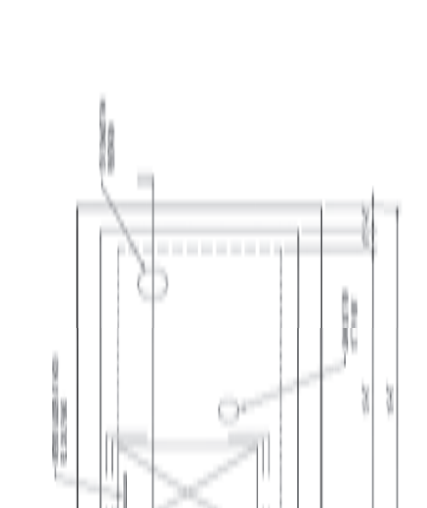
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Utility Adjustment for TxDOT Project

TXDOT STANDARD
SUA ESTIMATE
7/2020

City of Denton

IH 35

RCSJ 0195-02-079, CCSJ 0195-02-074

Utility ID#: U00017637

UNUMBER: N/A

The cost estimate items must be sufficiently detailed to provide TxDOT with a reasonable basis for analysis. Items should include appropriate units and unit price for each (See Utility Manual, Chapter 6 Section 2). Applies to All "EA" items

Line Item / Item Description	Unit	Quantity	\$/Unit	Total
------------------------------	------	----------	---------	-------

* Indicated items are being tracked for **BUY AMERICA COMPLIANCE** and will be documented using **Form 1818** and all supporting documentation prior to installation.

Line Item / Item Description	Unit	Quantity	\$/Unit	Total
------------------------------	------	----------	---------	-------

External Labor Costs - documented with Invoices and / or checks				
---	--	--	--	--

Lowest Bidder for Construction Contract (Mountain Cascade)		1	\$6,656,628.00	\$ 6,656,628.00
--	--	---	----------------	-----------------

			SUBTOTAL	\$ 6,656,628.00
--	--	--	----------	-----------------

			LABOR SUBTOTAL	\$ 6,656,628.00
--	--	--	----------------	-----------------

Line Item / Item Description	Unit	Quantity	\$/Unit	Total
------------------------------	------	----------	---------	-------

INTERNAL ENGINEERING - Costs Documented with Certified Ledger at payment.				
---	--	--	--	--

Staff Time (additional hourly backup provided)		1	\$284,862.86	\$ 284,862.86
--	--	---	--------------	---------------

		0	\$0.00	\$ -
--	--	---	--------	------

			SUBTOTAL	\$ 284,862.86
--	--	--	----------	---------------

			INTERNAL COSTS SUBTOTAL	\$ 284,863
--	--	--	-------------------------	------------

EXTERNAL ENGINEERING - Cost documented with INVOICES and / or CHECKS				
--	--	--	--	--

Kimley-Horn and Associates (Contracts provided)		1	\$529,558.11	\$ 529,558.11
---	--	---	--------------	---------------

		0	\$0.00	\$ -
--	--	---	--------	------

		0	\$0.00	\$ -
--	--	---	--------	------

			SUBTOTAL	\$ 529,558.11
--	--	--	----------	---------------

			Engineering / Administration / Inspection SUBTOTAL	\$ 529,558.11
--	--	--	--	---------------

REPLACEMENT EASEMENT COMPENSATION - following Quit Claim / Eligibility % Applied				
--	--	--	--	--

See Summary Table		1	\$600,613.50	\$ 600,613.50
-------------------	--	---	--------------	---------------

		0	\$0.00	\$ -
--	--	---	--------	------

			SUBTOTAL	\$ 600,613.50
--	--	--	----------	---------------

			EASEMENT COMPENSATION SUBTOTAL	\$ 600,613.50
--	--	--	--------------------------------	---------------

SUMMARY:

GROSS REIMBURSABLE TO UTILITY	\$ 8,071,662.47
-------------------------------	-----------------

SALVAGE and or Depreciation CREDIT	\$ -
------------------------------------	------

ELIGIBILITY RATIO	100.00%	Ratio Deduction	\$ -
-------------------	---------	-----------------	------

BETTERMENT RATIO	0.00%	Ratio Deduction	\$ -
------------------	-------	-----------------	------

NET REIMBURSEMENT TO UTILITY	\$ 8,071,662.47
------------------------------	-----------------

SECTION 00 42 43 - UNIT PRICE BID FORM



PROJ.: **IH-35 Utility Relocations (from US380 to Milam Road)**
 IFB: **7968-003**

City of Denton Capital Projects
 901-B Texas Street
 Denton, TX 76209
 Attn: Cori Power/Purchasing Dept.

From: Mountain Cascade of Texas, LLC
 5340 East US Highway 67
 Alvarado, TX 76009
 Andrew L. McCulloch
 817-783-3094
[Contact Email](mailto:amcculloch@mountaincascade.com)

BIDDERS APPLICATION - UNIT PRICE BID

Item No.	COD SPEC	Description of work	BID QTY	UOM	Unit Price	Extended Price
CSJ 087 WATER IMPROVEMENTS -UNIT I						
1	01 70 00	0170.001 - Mobilization	1	EA	\$ 1,000,000.00	\$ 1,000,000.00
2	02 41 14	0241.011 - Grout Fill 8" Utility Line	227	LF	\$ 20.00	\$ 4,540.00
3	02 41 14					19,236.00
4	02 41 14					3,564.00
5	02 41 14	0241.028 - Remove 4" Utility Line	29	LF	\$ 45.00	\$ 1,125.00
6	02 41 14	0241.029 - Remove 6" Utility Line	150	LF	\$ 35.00	\$ 5,250.00
7	02 41 14	0241.030 - Remove 8" Utility Line	1,605	LF	\$ 37.00	\$ 59,385.00
8	02 41 14	0241.032 - Remove 12" Utility Line	5,558	LF	\$ 35.00	\$ 194,530.00
9	02 41 14	0241.035 - Remove 16" Utility Line	2,466	LF	\$ 37.00	\$ 91,242.00
10	02 41 14	0241.056 - Remove 6" Water Valve	17	EA	\$ 700.00	\$ 11,900.00
11	02 41 14	0241.057 - Remove 8" Water Valve	3	EA	\$ 750.00	\$ 2,250.00
12	02 41 14	0241.059 - Remove 12" Water Valve	11	EA	\$ 800.00	\$ 8,800.00
13	02 41 14	0241.060 - Remove 16" Water Valve	2	EA	\$ 850.00	\$ 1,700.00
14	02 41 14	0241.094 - Salvage Fire Hydrant	15	EA	\$ 850.00	\$ 12,750.00
15	02 41 14	0241.095 - Salvage Water Meter	2	EA	\$ 850.00	\$ 1,700.00
16	02 41 14	0241.096 - Remove Concrete Water Vault	2	EA	\$ 900.00	\$ 1,800.00
17	31 01 17	3201.007 - Flexible Paving Repair for Utility Trench	1,356	SY	\$ 140.00	\$ 189,840.00
18	32 01 29	3201.013 - Concrete Paving Repair for Utility Trench*	905	SY	\$ 220.00	\$ 199,100.00
19	32 01 29	3216.005 - 4" Concrete Sidewalk	17	SY	\$ 250.00	\$ 4,250.00
20	32 93 00	3293.015 - Topsoil	581	CY	\$ 10.00	\$ 5,810.00
21	32 93 00	3293.016 Seeding	12,863	SY	\$ 2.00	\$ 25,726.00
22	32 93 00	3293.017 Sodding	2,861	SY	\$ 7.00	\$ 20,027.00
23	33 05 05	3305.021 - Trench Safety	9,404	LF	\$ 1.00	\$ 9,404.00
24	32 05 07	3305.028 - 18" Casing by Other Than Open Cut*	217	LF	\$ 500.00	\$ 108,500.00
25	33 05 07	3305.029 - 24" Casing by Other Than Open Cut*	1,144	LF	\$ 570.00	\$ 652,080.00
26	33 05 07	3305.023 - 24" Casing by Open Cut*	379	LF	\$ 430.00	\$ 162,970.00
27	33 05 07	3305.030 - 30" Casing by Other Than Open Cut*	468	LF	\$ 700.00	\$ 327,600.00
28	33 05 15, 33 14 10	3305.098 - 8" DIP Water Carrier Pipe*	217	LF	\$ 110.00	\$ 23,870.00
29	33 05 15, 33 14 10	3305.099 - 12" DIP Water Carrier Pipe*	1,523	LF	\$ 150.00	\$ 228,450.00
30	SEE ALTERNATE 1 BELOW - provide bid for only ONE (30 OR 30a)		468	LF	\$	\$ -
31	SEE ALTERNATE 2 BELOW - provide bid for only ONE (31 OR 31a)		1,941	LF	\$	\$ -
32	33 14 10	3314.141 - 6" PVC Water Pressure Pipe	40	LF	\$ 220.00	\$ 8,800.00
33	33 14 11	3314.142 - 8" PVC Water Pressure Pipe	911	LF	\$ 340.00	\$ 309,740.00
34	33 14 11	3314.146 - 12" PVC Water Pressure Pipe	6,133	LF	\$ 236.00	\$ 1,447,388.00
35	33 14 17	3314.310 - 1" Water Service*	2	EA	\$ 3,500.00	\$ 7,000.00
36	33 14 17	3314.314 - 1-1/2" Water Service*	1	EA	\$ 4,000.00	\$ 4,000.00
37	33 14 17	3314.318 - 2" Water Service*	5	EA	\$ 4,500.00	\$ 22,500.00
38	33 14 18	3314.323 - 4" Water Meter, Vault and Appurtenances*	1	EA	\$ 55,000.00	\$ 55,000.00
39	33 14 18	3314.3xx - 8" Detector Check, Vault and Appurtenances*	1	EA	\$ 65,000.00	\$ 65,000.00
40	33 14 20	3314.327 - 6" Gate Valve*	2	EA	\$ 4,000.00	\$ 8,000.00
41	33 14 20	3314.328 - 8" Gate Valve*	11	EA	\$ 5,500.00	\$ 60,500.00
42	33 14 20	3314.329 - 12" Gate Valve*	26	EA	\$ 7,500.00	\$ 195,000.00
43	33 14 20	3314.330 - 16" Gate Valve*	6	EA	\$ 19,000.00	\$ 114,000.00
44	33 14 25	3314.345 - 8" x 8" Tapping Sleeve and Valve (City Performed)*	1	EA	\$ 7,800.00	\$ 7,800.00
45	33 14 25	3314.391 - 6" Water Main Connection with Shutdown	2	EA	\$ 9,000.00	\$ 18,000.00
46	33 14 25	3314.392 - 8" Water Main Connection with Shutdown	12	EA	\$ 9,500.00	\$ 114,000.00
47	33 14 25	3314.393 - 12" Water Main Connection with Shutdown	5	EA	\$ 12,000.00	\$ 60,000.00
48	33 14 25	3314.394 - 16" Water Main Connection with Shutdown	3	EA	\$ 19,000.00	\$ 57,000.00
49	33 14 30	3314.402 - 2" Air Release Valve and Vault*	3	EA	\$ 25,000.00	\$ 75,000.00
50	33 14 40	3314.407 - Fire Hydrant Assembly*	17	EA	\$ 8,500.00	\$ 144,500.00
51	34 71 13	3471.001 - Traffic Control	1	MO	\$ 15,000.00	\$ 15,000.00
ALTERNATE 1 - PROVIDE PRICING FOR ONLY ONE						
30	33 05 07	3305.100 - 16" DIP Water Carrier Pipe*	468	LF	\$	\$ -
30a	33 05 15,	3305.110 - 20" HDPE Water Carrier Pipe	468	LF	\$ 150.00	\$ 70,200.00
ALTERNATE 2 - PROVIDE PRICING FOR ONLY ONE						
31	33 05 07	3314.014 - 16" DIP Water Pipe*	1,941	LF	\$	\$ -
31a	33 05 15, 33 14 14	3314.222 - 20" HDPE Pressure Pipe, Water	1,941	LF	\$ 250.00	\$ 485,250.00
TOTAL BID AMOUNT (Unit I):						\$ 6,721,077.00
CJS 087 WASTEWATER IMPROVEMENTS - UNIT II						
52	02 41 14	0241.010 - Grout Fill 6" Utility Line	1,604	LF	\$ 12.00	\$ 19,248.00
53	02 41 14	0241.011 - Grout Fill 8" Utility Line	271	LF	\$ 20.00	\$ 5,420.00
54	02 41 14	0241.029 - Remove 6" Utility Line	1,626	LF	\$ 35.00	\$ 56,910.00
55	02 41 14	0241.030 - Remove 8" Utility Line	1,307	LF	\$ 37.00	\$ 48,359.00
56	02 41 14	0241.050 - Remove 4' Utility Manhole	14	EA	\$ 3,000.00	\$ 42,000.00
57	02 41 14	0241.054 - Remove Utility Junction Structure (Lift Station)	1	EA	\$ 25,000.00	\$ 25,000.00
58	32 01 17	3201.007 - Flexible Paving Repair for Utility Trench	564	SY	\$ 140.00	\$ 78,960.00
59	32 01 29	3201.013 - Concrete Paving Repair for Utility Trench*	993	SY	\$ 220.00	\$ 218,460.00

SEE U00011547 CITY OF DENTON AGREEMENT- RCSJ 0195-02-091

Item No.	COD SPEC	Description of work	BID QTY	UOM	Unit Price	Extended Price
60	32 01 29	3211.002 - 6" Flexible Base. Type A. GR-1	560	SY	\$ 45.00	\$ 25,200.00
61	32 93 00					2,648.00
62	32 93 00					9,204.00
63	32 93 00	3293.017 - Soaking	951	SY	\$ 7.00	\$ 6,657.00
64	33 05 05	3305.021 - Trench Safety	4,263	LF	\$ 1.00	\$ 4,263.00
65	33 05 07	3305.022 - 18" Casing by Open Cut*	51	LF	\$ 400.00	\$ 20,400.00
66	33 05 07	3305.023 - 24" Casing by Open Cut*	326	LF	\$ 410.00	\$ 133,660.00
67	33 05 07	3305.028 - 18" Casing by Other Than Open Cut*	150	LF	\$ 575.00	\$ 86,250.00
68	33 05 07	3305.029 - 24" Casing by Other Than Open Cut*	1,001	LF	\$ 630.00	\$ 630,630.00
69	33 05 15, 33 14 11, 33 31 14	3305.048 - 8" PVC Sanitary Sewer Carrier Pipe	201	LF	\$ 60.00	\$ 12,060.00
70	33 05 15, 33 31 14	3305.049 - 12" PVC Sanitary Sewer Carrier Pipe	252	LF	\$ 80.00	\$ 20,160.00
71	33 05 15, 33 14 11, 33 31 14	3305.088 - 6" HDPE Force Main Carrier Pipe	476	LF	\$ 60.00	\$ 28,560.00
72	33 05 15, 33 31 14	3305.091 - 12" HDPE Force Main Carrier Pipe	599	LF	\$ 80.00	\$ 47,920.00
73	33 05 61, 33 05 62	3305.126 - 4' Concrete Manhole*	17	EA	\$ 14,000.00	\$ 238,000.00
74	33 05 61, 33 05 62	3305.127 - 4' Drop Concrete Manhole*	2	EA	\$ 20,000.00	\$ 40,000.00
75	33 05 61, 33 05 62	3305.128 - 5' Concrete Manhole*	3	EA	\$ 15,000.00	\$ 45,000.00
76	33 05 61, 33 05 62	3305.132 - 4' Extra Depth Concrete Manhole*	40	VF	\$ 500.00	\$ 20,000.00
77	33 05 61, 33 05 62	3305.133 - 5' Extra Depth Concrete Manhole*	29	VF	\$ 700.00	\$ 20,300.00
78	33 31 14	3314.250 - 6" HDPE Pressure Pipe, Force Main	221	LF	\$ 280.00	\$ 61,880.00
79	33 31 14	3314.254 - 8" HDPE Pressure Pipe, Force Main	85	LF	\$ 240.00	\$ 20,400.00
80	33 31 14	3314.262 - 12" HDPE Pressure Pipe, Force Main	144	LF	\$ 220.00	\$ 31,680.00
81	33 31 14	3331.045 - 8" PVC Gravity Sewer Pipe	1,310	LF	\$ 280.00	\$ 366,800.00
82	33 31 14	3331.053 - 12" PVC Gravity Sewer Pipe	2,211	LF	\$ 240.00	\$ 530,640.00
83	33 31 14	3331.089 - 6" Sewer Service	8	EA	\$ 2,500.00	\$ 20,000.00

SEE U00011547 CITY OF DENTON AGREEMENT- RCSJ 0195-02-091

TOTAL BID AMOUNT (Unit II): \$ 2,916,801.00

CJS 074 WATER IMPROVEMENTS - UNIT III

84	02 41 14	0241.016 - Grout Fill 16" Utility Line	221	LF	\$ 40.00	\$ 8,840.00
85	02 41 14	0241.029 - Remove 6" Utility Line	50	LF	\$ 44.00	\$ 2,200.00
86	02 41 14	0241.030 - Remove 8" Utility Line	188	LF	\$ 25.00	\$ 4,700.00
87	02 41 14	0241.032 - Remove 12" Utility Line	919	LF	\$ 27.00	\$ 24,813.00
88	02 41 14	0241.035 - Remove 16" Utility Line	14,092	LF	\$ 28.00	\$ 394,576.00
89	02 41 14	0241.056 - Remove 6" Water Valve	2	EA	\$ 700.00	\$ 1,400.00
90	02 41 14	0241.057 - Remove 8" Water Valve	1	EA	\$ 700.00	\$ 700.00
91	02 41 14	0241.059 - Remove 12" Water Valve	1	EA	\$ 700.00	\$ 700.00
92	02 41 14	0241.060 - Remove 16" Water Valve	5	EA	\$ 700.00	\$ 3,500.00
93	02 41 14	0241.0xx - Remove Water ARV	5	EA	\$ 750.00	\$ 3,750.00
94	02 41 14	0241.094 - Salvage Fire Hydrant	5	EA	\$ 1,200.00	\$ 6,000.00
95	02 41 14	0241.096 - Remove Concrete Water Vault	3	EA	\$ 1,500.00	\$ 4,500.00
96	31 01 17	3201.007 - Flexible Paving Repair for Utility Trench	15	SY	\$ 200.00	\$ 3,000.00
97	32 93 00	3293.015 - Topsoil	798	CY	\$ 10.00	\$ 7,980.00
98	32 93 00	3293.016 - Seeding	22,839	SY	\$ 2.00	\$ 45,678.00
99	33 01 12	3301.00x - Cathodic Protection System*	1	EA	\$ 1.00	\$ 1.00
100	33 05 05	3305.021 - Trench Safety	12,922	LF	\$ 1.00	\$ 12,922.00
101	33 05 07	3305.030 - 30" Casing by by Other Than Open Cut*	1,142	LF	\$ 700.00	\$ 799,400.00
102	33 05 15, 33 14 10	3305.100 - 16" DIP Water Carrier Pipe*	1,142	LF	\$	\$
103	33 14 10	3314.014 - 16" DIP Water Pipe*	12,433	LF	\$	\$
104	33 14 11	3314.017 - 16" DIP Water Pipe, CLSM Backfill*	210	LF	\$	\$
105	33 14 11	3314.146 - 12" PVC Water Pressure Pipe	279	LF	\$ 250.00	\$ 69,750.00
106	33 14 20	3314.329 - 12" Gate Valve*	7	EA	\$ 7,500.00	\$ 52,500.00
107	33 14 20	3314.330 - 16" Gate Valve*	20	EA	\$ 18,000.00	\$ 360,000.00
108	33 14 25	3314.393 - 12" Water Main Connection with Shutdown	1	EA	\$ 12,000.00	\$ 12,000.00
109	33 14 25	3314.394 - 16" Water Main Connection with Shutdown	2	EA	\$ 17,500.00	\$ 35,000.00
110	33 14 30	3314.402 - 2" Water Air Release Valve and Vault*	7	EA	\$ 20,000.00	\$ 140,000.00
111	34 71 13	3471.001 - Fire Hydrant Assembly*	5	EA	\$ 9,700.00	\$ 48,500.00
112	40 05 67	9999.999 - Meter Vault and Appurtenances (to UTRWD)*	1	EA	\$ 500,000.00	\$ 500,000.00
113	33 14 18	9999.999 - PRV Vault and Appurtenances*	1	EA	\$ 220,000.00	\$ 220,000.00

ALTERNATE 1 - PROVIDE PRICING FOR ONLY ONE IN-KIND REPLACEMENT

102	33 05 07	3305.100 - 16" DIP Water Carrier Pipe*	1,142	LF	\$	\$ -
102a	33 05 15, 33 14 14	3305.110 - 20" HDPE Water Carrier Pipe	1,142	LF	\$ 150.00	\$ 171,300.00

ALTERNATE 2 - PROVIDE PRICING FOR ONLY ONE IN-KIND REPLACEMENT

103	33 05 07	3314.014 - 16" DIP Water Pipe*	12,433	LF	\$	\$ -
103a	33 05 15, 33 14 14	3314.222 - 20" HDPE Pressure Pipe, Water	12,433	LF	\$ 266.00	\$ 3,307,178.00

ALTERNATE 3 - PROVIDE PRICING FOR ONLY ONE IN-KIND REPLACEMENT

104	33 05 07	3314.017 - 16" DIP Water Pipe, CLSM Backfill*	210	LF	\$	\$ -
104a	33 05 15, 33 14 14	3314.225 - 20" HDPE Pressure Pipe, Water, CLSM Backfill*	210	LF	\$ 500.00	\$ 105,000.00

TOTAL BID AMOUNT (Unit III): \$ 6,345,888.00

CJS 074 WASTEWATER IMPROVEMENTS - UNIT IV

114	01 70 00	0241.009 - Grout Fill 4" Utility Line	361	LF	\$ 15.00	\$ 5,415.00
115	02 41 14	0241.0xx - Remove Sewer ARV Appurtenance	5	EA	\$ 1,800.00	\$ 9,000.00
116	33 14 18	0241.028 - Remove 4" Utility Line	11,853	LF	\$ 25.00	\$ 296,325.00

TOTAL BID AMOUNT (Unit IV): \$ 310,740.00

Fix pg # overlap

TOTAL PROJECT BID AMOUNT (Unit I, II, III, & IV): \$ 11,004,366.00

*All materials shall use domestically manufactured products that are composed predominately of steel and/or iron to incorporate into the permanent installation of the utility facility – in compliance with the Buy America provisions of 49 CFR 635.410 as amended.

Attachment "B" Accounting Method

Actual Cost Method of Accounting

The utility accumulates cost under a work order accounting procedure prescribed by the Federal or State regulatory body and proposes to request reimbursement for actual direct and related indirect costs.

Lump Sum Method of Accounting

Utility proposed to request reimbursement based on an agreed lump sum amount supported by a detailed cost analysis.

^{DS}
DP 7/31/2023
Initial Date
TxDOT

^{DS}
SH 7/31/2023
Initial Date
Utility

Attachment "C" Schedule of Work

Estimated Start Date: 9/11/2023, (subject to physical work restrictions prior to the issuance of environmental clearance as required by the provisions of this agreement)

Estimated Duration (days): 200

Estimated Completion Date: 03/29/2024

^{DS}
DP 7/31/2023
Initial Date
TxDOT

^{DS}
SH 7/31/2023
Initial Date
Utility

Attachment "D" Statement Covering Contract Work

(ROW-U-48)
(ROW-U-48-1, if applicable)

Construction Contract:

- Utility performing with their own forces (timesheets will be required at the time of billing).
- Utility will use outside forces to perform the adjustment, complete attached ROW-U-48 or ROW-U-48-1 (joint bid).

Engineering Contract:

- Utility performing with their own forces (timesheets will be required at the time of billing).
- Utility will use consultant contract (continuing contract rate sheets or fee schedule will be required).
- TxDOT will procure utility consultant.

^{DS}
DP 7/31/2023

Initial Date
TxDOT

^{DS}
SH 7/31/2023

Initial Date
Utility



STATEMENT COVERING UTILITY CONSTRUCTION CONTRACT WORK (AS APPEARING IN ESTIMATE)

U-Number: U00017637

ROW CSJ Number: 0195-02-079 District: Dallas
County: Denton Highway No.: I-35
Federal Project No.: NH2020 (576)

I, Sara Hensley, a duly authorized and qualified representative of Denton, hereinafter referred to as Owner, am fully cognizant of the facts and make the following statements in respect to work which will or may be done on a contract basis as it appears in the estimate to which this statement is attached.

It is more economical and/or expedient for Owner to contract this adjustment, or Owner is not adequately staffed or equipped to perform the necessary work on this project with its own forces to the extent as indicate on the estimate.

Procedure to be Used in Contracting Work

- A. Solicitation for bids is to be accomplished through open advertising and contract is to be awarded to the lowest qualified bidder who submits a proposal in conformity with the requirements and specifications for the work to be performed. Associated bid tabulations will be provided to the State.
B. Solicitation for bids is to be accomplished by circulating to a list of pre-qualified contractors or known qualified contractors and such contract is to be awarded to the lowest qualified bidder who submits a proposal in conformity with the requirements and specifications for the work to be performed. Associated bid tabulations will be provided to the State. Such presently known contractors are listed below:
1. Mountian Cascade
2. SJ Louis
3. Oscar Renda
4.
5.
C. The work is to be performed under an existing continuing contract under which certain work is regularly performed for Owner and under which the lowest available costs are developed. The existing continuing contract will be made available to the State for review at a location mutually acceptable to the Owner and the State. If only part of the contract work is to be done under an existing contract, give detailed information by attachment hereto.
D. The utility proposes to contract outside the foregoing requirements and therefore evidence in support of its proposal is attached to the estimate in order to obtain the concurrence of the State, and the Federal Highway Administration Division Engineer where applicable, prior to taking action thereon (approval of the agreement shall be considered as approval of such proposal).
E. The utility plans and specifications, with the consent of the State, will be included in the construction contract awarded by the State. In the best interest of both the State and the Owner, the Owner requests the State to include the plans and specifications for this work in the general contract for construction of Highway in this area, so that the work can be coordinated with the other construction operations; and the construction contract is to be awarded by the State to the lowest qualified bidder who submits a proposal in conformity with the requirements and specifications for the work to be performed. If this option is chosen, attach form ROW-U-48-1, the terms of which are incorporated herein by reference.



DocuSigned by: Sara Hensley
5236DB296270423...
Signature
City Manager
Title

7/31/2023
Date

Contact/Help

U00017637
CITY OF DENTON
BID TABS FOR
ROW CSJ 0195-03-079

SECTION 00 42 43 - UNIT PRICE BID FORM



PROJ.: **IH-35 Utility Relocations (from US380 to Milam Road)**
 IFB: **7968-003**

City of Denton Capital Projects
 901-B Texas Street
 Denton, TX 76209
 Attn: Cori Power/Purchasing Dept.

From: Mountain Cascade of Texas, LLC
 5340 East US Highway 67
 Alvarado, TX 76009
 Andrew L. McCulloch
 817-783-3094
 Contact Email: amcculloch@mountaincascade.com

BIDDERS APPLICATION - UNIT PRICE BID

Item No.	COD SPEC	Description of work	BID QTY	UOM	Unit Price	Extended Price
CSJ 087 WATER IMPROVEMENTS -UNIT I						
1	01 70 00	0170.001 - Mobilization	1	EA	\$ 1,000,000.00	\$ 1,000,000.00
2	02 41 14					4,540.00
3	02 41 14					19,236.00
4	02 41 14					3,564.00
5	02 41 14	0241.028 - Remove 4" Utility Line	25	LF	\$ 45.00	\$ 1,125.00
6	02 41 14	0241.029 - Remove 6" Utility Line	150	LF	\$ 35.00	\$ 5,250.00
7	02 41 14	0241.030 - Remove 8" Utility Line	1,605	LF	\$ 37.00	\$ 59,385.00
8	02 41 14	0241.032 - Remove 12" Utility Line	5,558	LF	\$ 35.00	\$ 194,530.00
9	02 41 14	0241.035 - Remove 16" Utility Line	2,466	LF	\$ 37.00	\$ 91,242.00
10	02 41 14	0241.056 - Remove 6" Water Valve	17	EA	\$ 700.00	\$ 11,900.00
11	02 41 14	0241.057 - Remove 8" Water Valve	3	EA	\$ 750.00	\$ 2,250.00
12	02 41 14	0241.059 - Remove 12" Water Valve	11	EA	\$ 800.00	\$ 8,800.00
13	02 41 14	0241.060 - Remove 16" Water Valve	2	EA	\$ 850.00	\$ 1,700.00
14	02 41 14	0241.094 - Salvage Fire Hydrant	15	EA	\$ 850.00	\$ 12,750.00
15	02 41 14	0241.095 - Salvage Water Meter	2	EA	\$ 850.00	\$ 1,700.00
16	02 41 14	0241.096 - Remove Concrete Water Vault	2	EA	\$ 900.00	\$ 1,800.00
17	31 01 17	3201.007 - Flexible Paving Repair for Utility Trench	1,356	SY	\$ 140.00	\$ 189,840.00
18	32 01 29	3201.013 - Concrete Paving Repair for Utility Trench*	905	SY	\$ 220.00	\$ 199,100.00
19	32 01 29	3216.005 - 4" Concrete Sidewalk	17	SY	\$ 250.00	\$ 4,250.00
20	32 93 00	3293.015 - Topsoil	581	CY	\$ 10.00	\$ 5,810.00
21	32 93 00	3293.016 - Seeding	12,863	SY	\$ 2.00	\$ 25,726.00
22	32 93 00	3293.017 - Sodding	2,867	SY	\$ 7.00	\$ 20,027.00
23	33 05 05	3305.021 - Trench Safety	9,404	LF	\$ 1.00	\$ 9,404.00
24	33 05 07	3305.028 - 18" Casing by Other Than Open Cut*	217	LF	\$ 500.00	\$ 108,500.00
25	33 05 07	3305.029 - 24" Casing by Other Than Open Cut*	1,144	LF	\$ 570.00	\$ 652,080.00
26	33 05 07	3305.023 - 24" Casing by Open Cut*	379	LF	\$ 430.00	\$ 162,970.00
27	33 05 07	3305.030 - 30" Casing by Other Than Open Cut*	468	LF	\$ 700.00	\$ 327,600.00
28	33 05 15, 33 14 10	3305.098 - 8" DIP Water Carrier Pipe*	217	LF	\$ 110.00	\$ 23,870.00
29	33 05 15, 33 14 10	3305.099 - 12" DIP Water Carrier Pipe*	1,523	LF	\$ 150.00	\$ 228,450.00
30	SEE ALTERNATE 1 BELOW - provide bid for only ONE (30 OR 30a)		468	LF	\$	\$ -
31	SEE ALTERNATE 2 BELOW - provide bid for only ONE (31 OR 31a)		1,941	LF	\$	\$ -
32	33 14 10	3314.141 - 6" PVC Water Pressure Pipe	40	LF	\$ 220.00	\$ 8,800.00
33	33 14 11	3314.142 - 8" PVC Water Pressure Pipe	911	LF	\$ 340.00	\$ 309,740.00
34	33 14 11	3314.146 - 12" PVC Water Pressure Pipe	6,133	LF	\$ 236.00	\$ 1,447,388.00
35	33 14 17	3314.310 - 1" Water Service*	2	EA	\$ 3,500.00	\$ 7,000.00
36	33 14 17	3314.314 - 1-1/2" Water Service*	1	EA	\$ 4,000.00	\$ 4,000.00
37	33 14 17	3314.318 - 2" Water Service*	5	EA	\$ 4,500.00	\$ 22,500.00
38	33 14 18	3314.323 - 4" Water Meter, Vault and Appurtenances*	1	EA	\$ 55,000.00	\$ 55,000.00
39	33 14 18	3314.3xx - 8" Detector Check, Vault and Appurtenances*	1	EA	\$ 65,000.00	\$ 65,000.00
40	33 14 20	3314.327 - 6" Gate Valve*	2	EA	\$ 4,000.00	\$ 8,000.00
41	33 14 20	3314.328 - 8" Gate Valve*	11	EA	\$ 5,500.00	\$ 60,500.00
42	33 14 20	3314.329 - 12" Gate Valve*	26	EA	\$ 7,500.00	\$ 195,000.00
43	33 14 20	3314.330 - 16" Gate Valve*	6	EA	\$ 19,000.00	\$ 114,000.00
44	33 14 25	3314.345 - 8" x 8" Tapping Sleeve and Valve (City Performed)*	1	EA	\$ 7,800.00	\$ 7,800.00
45	33 14 25	3314.391 - 6" Water Main Connection with Shutdown	2	EA	\$ 9,000.00	\$ 18,000.00
46	33 14 25	3314.392 - 8" Water Main Connection with Shutdown	12	EA	\$ 9,500.00	\$ 114,000.00
47	33 14 25	3314.393 - 12" Water Main Connection with Shutdown	5	EA	\$ 12,000.00	\$ 60,000.00
48	33 14 25	3314.394 - 16" Water Main Connection with Shutdown	3	EA	\$ 19,000.00	\$ 57,000.00
49	33 14 30	3314.402 - 2" Air Release Valve and Vault*	3	EA	\$ 25,000.00	\$ 75,000.00
50	33 14 40	3314.407 - Fire Hydrant Assembly*	17	EA	\$ 8,500.00	\$ 144,500.00
51	34 71 13	3471.001 - Traffic Control	1	MO	\$ 15,000.00	\$ 15,000.00
ALTERNATE 1 - PROVIDE PRICING FOR ONLY ONE						
30	33 05 07	3305.100 - 16" DIP Water Carrier Pipe*	468	LF	\$	\$ -
30a	33 05 15,	3305.110 - 20" HDPE Water Carrier Pipe	468	LF	\$ 150.00	\$ 70,200.00
ALTERNATE 2 - PROVIDE PRICING FOR ONLY ONE						
31	33 05 07	3314.014 - 16" DIP Water Pipe*	1,941	LF	\$	\$ -
31a	33 05 15, 33 14 14	3314.222 - 20" HDPE Pressure Pipe, Water	1,941	LF	\$ 250.00	\$ 485,250.00
TOTAL BID AMOUNT (Unit I):						\$ 6,721,077.00
CJS 087 WASTEWATER IMPROVEMENTS - UNIT II						
52	02 41 14	0241.010 - Grout Fill 6" Utility Line	1,604	LF	\$ 12.00	\$ 19,248.00
53	02 41 14	0241.011 - Grout Fill 8" Utility Line	271	LF	\$ 20.00	\$ 5,420.00
54	02 41 14	0241.029 - Remove 6" Utility Line	1,626	LF	\$ 35.00	\$ 56,910.00
55	02 41 14	0241.030 - Remove 8" Utility Line	1,307	LF	\$ 37.00	\$ 48,359.00
56	02 41 14	0241.050 - Remove 4' Utility Manhole	14	EA	\$ 3,000.00	\$ 42,000.00
57	02 41 14	0241.054 - Remove Utility Junction Structure (Lift Station)	1	EA	\$ 25,000.00	\$ 25,000.00
58	32 01 17	3201.007 - Flexible Paving Repair for Utility Trench	564	SY	\$ 140.00	\$ 78,960.00
59	32 01 29	3201.013 - Concrete Paving Repair for Utility Trench*	993	SY	\$ 220.00	\$ 218,460.00

Item No.	COD SPEC	Description of work	BID QTY	UOM	Unit Price	Extended Price
60	32 01 29	3211.002 - 6" Flexible Pipe, Type A, CP 1	560	SY	\$ 45.00	\$ 25,200.00
61	32 93 00					2,640.00
62	32 93 00					9,204.00
63	32 93 00	3293.017 - Sodding	951	SY	\$ 7.00	\$ 6,657.00
64	33 05 05	3305.021 - Trench Safety	4,263	LF	\$ 1.00	\$ 4,263.00
65	33 05 07	3305.022 - 18" Casing by Open Cut*	51	LF	\$ 400.00	\$ 20,400.00
66	33 05 07	3305.023 - 24" Casing by Open Cut*	326	LF	\$ 410.00	\$ 133,660.00
67	33 05 07	3305.028 - 18" Casing by Other Than Open Cut*	150	LF	\$ 575.00	\$ 86,250.00
68	33 05 07	3305.029 - 24" Casing by Other Than Open Cut*	1,001	LF	\$ 630.00	\$ 630,630.00
69	33 05 15, 33 14 11, 33 31 14	3305.048 - 8" PVC Sanitary Sewer Carrier Pipe	201	LF	\$ 60.00	\$ 12,060.00
70	33 05 15, 33 31 14	3305.049 - 12" PVC Sanitary Sewer Carrier Pipe	252	LF	\$ 80.00	\$ 20,160.00
71	33 05 15, 33 14 11, 33 31 14	3305.088 - 6" HDPE Force Main Carrier Pipe	476	LF	\$ 60.00	\$ 28,560.00
72	33 05 15, 33 31 14	3305.091 - 12" HDPE Force Main Carrier Pipe	599	LF	\$ 80.00	\$ 47,920.00
73	33 05 61, 33 05 62	3305.126 - 4' Concrete Manhole*	17	EA	\$ 14,000.00	\$ 238,000.00
74	33 05 61, 33 05 62	3305.127 - 4' Drop Concrete Manhole*	2	EA	\$ 20,000.00	\$ 40,000.00
75	33 05 61, 33 05 62	3305.128 - 5' Concrete Manhole*	3	EA	\$ 15,000.00	\$ 45,000.00
76	33 05 61, 33 05 62	3305.132 - 4' Extra Depth Concrete Manhole*	40	VF	\$ 500.00	\$ 20,000.00
77	33 05 61, 33 05 62	3305.133 - 5' Extra Depth Concrete Manhole*	29	VF	\$ 700.00	\$ 20,300.00
78	33 31 14	3314.250 - 6" HDPE Pressure Pipe, Force Main	221	LF	\$ 280.00	\$ 61,880.00
79	33 31 14	3314.254 - 8" HDPE Pressure Pipe, Force Main	85	LF	\$ 240.00	\$ 20,400.00
80	33 31 14	3314.262 - 12" HDPE Pressure Pipe, Force Main	144	LF	\$ 220.00	\$ 31,680.00
81	33 31 14	3331.045 - 8" PVC Gravity Sewer Pipe	1,310	LF	\$ 280.00	\$ 366,800.00
82	33 31 14	3331.053 - 12" PVC Gravity Sewer Pipe	2,211	LF	\$ 240.00	\$ 530,640.00
83	33 31 14	3331.089 - 6" Sewer Service	8	EA	\$ 2,500.00	\$ 20,000.00
TOTAL BID AMOUNT (Unit II):						\$ 2,916,661.00
CJS 074 WATER IMPROVEMENTS - UNIT III						
84	02 41 14	0241.016 - Grout Fill 16" Utility Line	221	LF	\$ 40.00	\$ 8,840.00
85	02 41 14	0241.029 - Remove 6" Utility Line	50	LF	\$ 44.00	\$ 2,200.00
86	02 41 14	0241.030 - Remove 8" Utility Line	188	LF	\$ 25.00	\$ 4,700.00
87	02 41 14	0241.032 - Remove 12" Utility Line	919	LF	\$ 27.00	\$ 24,813.00
88	02 41 14	0241.035 - Remove 16" Utility Line	14,092	LF	\$ 28.00	\$ 394,576.00
89	02 41 14	0241.056 - Remove 6" Water Valve	2	EA	\$ 700.00	\$ 1,400.00
90	02 41 14	0241.057 - Remove 8" Water Valve	1	EA	\$ 700.00	\$ 700.00
91	02 41 14	0241.059 - Remove 12" Water Valve	1	EA	\$ 700.00	\$ 700.00
92	02 41 14	0241.060 - Remove 16" Water Valve	5	EA	\$ 700.00	\$ 3,500.00
93	02 41 14	0241.0xx - Remove Water ARV	5	EA	\$ 750.00	\$ 3,750.00
94	02 41 14	0241.094 - Salvage Fire Hydrant	5	EA	\$ 1,200.00	\$ 6,000.00
95	02 41 14	0241.096 - Remove Concrete Water Vault	3	EA	\$ 1,500.00	\$ 4,500.00
96	31 01 17	3201.007 - Flexible Paving Repair for Utility Trench	15	SY	\$ 200.00	\$ 3,000.00
97	32 93 00	3293.015 - Topsoil	798	CY	\$ 10.00	\$ 7,980.00
98	32 93 00	3293.016 - Seeding	22,839	SY	\$ 2.00	\$ 45,678.00
99	33 01 12	3301.00x - Cathodic Protection System*	1	EA	\$ 1.00	\$ 1.00
100	33 05 05	3305.021 - Trench Safety	12,922	LF	\$ 1.00	\$ 12,922.00
101	33 05 07	3305.030 - 30" Casing by by Other Than Open Cut*	1,142	LF	\$ 700.00	\$ 799,400.00
102	33 05 15, 33 14 10	3305.100 - 16" DIP Water Carrier Pipe*	1,142	LF		\$ -
103	33 14 10	3314.014 - 16" DIP Water Pipe*	12,433	LF		\$ -
104	33 14 11	3314.017 - 16" DIP Water Pipe, CLSM Backfill*	210	LF		\$ -
105	33 14 11	3314.146 - 12" PVC Water Pressure Pipe	279	LF	\$ 250.00	\$ 69,750.00
106	33 14 20	3314.329 - 12" Gate Valve*	7	EA	\$ 7,500.00	\$ 52,500.00
107	33 14 20	3314.330 - 16" Gate Valve*	20	EA	\$ 18,000.00	\$ 360,000.00
108	33 14 25	3314.393 - 12" Water Main Connection with Shutdown	1	EA	\$ 12,000.00	\$ 12,000.00
109	33 14 25	3314.394 - 16" Water Main Connection with Shutdown	2	EA	\$ 17,500.00	\$ 35,000.00
110	33 14 30	3314.402 - 2" Water Air Release Valve and Vault*	7	EA	\$ 20,000.00	\$ 140,000.00
111	34 71 13	3471.001 - Fire Hydrant Assembly*	5	EA	\$ 9,700.00	\$ 48,500.00
112	40 05 67	9999.999 - Meter Vault and Appurtenances (to UTRWD)*	1	EA	\$ 500,000.00	\$ 500,000.00
113	33 14 18	9999.999 - PRV Vault and Appurtenances*	1	EA	\$ 220,000.00	\$ 220,000.00
ALTERNATE 1 - PROVIDE PRICING FOR ONLY ONE						
102	33 05 07	3305.100 - 16" DIP Water Carrier Pipe*	1,142	LF		\$ -
102a	33 05 15, 33 14 14	3305.110 - 20" HDPE Water Carrier Pipe	1,142	LF	\$ 150.00	\$ 171,300.00
ALTERNATE 2 - PROVIDE PRICING FOR ONLY ONE						
103	33 05 07	3314.014 - 16" DIP Water Pipe*	12,433	LF		\$ -
103a	33 05 15, 33 14 14	3314.222 - 20" HDPE Pressure Pipe, Water	12,433	LF	\$ 266.00	\$ 3,307,178.00
ALTERNATE 3 - PROVIDE PRICING FOR ONLY ONE						
104	33 05 07	3314.017 - 16" DIP Water Pipe, CLSM Backfill*	210	LF		\$ -
104a	33 05 15, 33 14 14	3314.225 - 20" HDPE Pressure Pipe, Water, CLSM Backfill*	210	LF	\$ 500.00	\$ 105,000.00
TOTAL BID AMOUNT (Unit III):						\$ 6,345,888.00
CJS 074 WASTEWATER IMPROVEMENTS - UNIT IV						
114	01 70 00	0241.009 - Grout Fill 4" Utility Line	361	LF	\$ 15.00	\$ 5,415.00
115	02 41 14	0241.0xx - Remove Sewer ARV Appurtenance	5	EA	\$ 1,800.00	\$ 9,000.00
116	33 14 18	0241.028 - Remove 4" Utility Line	11,853	LF	\$ 25.00	\$ 296,325.00
TOTAL BID AMOUNT (Unit IV):						\$ 310,740.00
TOTAL PROJECT BID AMOUNT (Units I, II, III, & IV):						\$ 16,294,366.00

*All materials shall use domestically manufactured products that are composed predominately of steel and/or iron to incorporate into the permanent installation of the utility facility – in compliance with the Buy America provisions of 49 CFR 635.410 as amended.

SECTION 00 42 43 - UNIT PRICE BID FORM



PROJ.: IH-35 Utility Relocations (from US380 to Milam Road)
IFB: 7968-003

City of Denton Capital Projects
901-B Texas Street
Denton, TX 76209
Attn: Carl Power/Purchasing Dept.

From: S.J. Louis Construction of Texas, Ltd.
520 South 6th Ave.
Mansfield, Texas 76063
Contact: Adam Lunsford
Cell: (817) 905-3535
Email: AdamL@silouis.com

BIDDERS APPLICATION - UNIT PRICE BID

Item No.	COD SPEC	Description of work	BID QTY	UOM	Unit Price	Extended Price
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CSJ 087 WATER IMPROVEMENTS - UNIT I

1	01 70					785,000.00	
2	02 41					3,405.00	
3	02 41					15,572.00	
4	02 41 14	0241.016 - Grout Fill 16" Utility Line	108	LF	\$ 20.00	\$ 2,160.00	
5	02 41 14	0241.028 - Remove 4" Utility Line	25	LF	\$ 30.00	\$ 750.00	
6	02 41 14	0241.029 - Remove 6" Utility Line	150	LF	\$ 30.00	\$ 4,500.00	
7	02 41 14	0241.030 - Remove 8" Utility Line	1,605	LF	\$ 30.00	\$ 48,150.00	
8	02 41 14	0241.032 - Remove 12" Utility Line	5,558	LF	\$ 30.00	\$ 166,740.00	
9	02 41 14	0241.035 - Remove 16" Utility Line	2,466	LF	\$ 30.00	\$ 73,980.00	
10	02 41 14	0241.056 - Remove 6" Water Valve	17	EA	\$ 500.00	\$ 8,500.00	
11	02 41 14	0241.057 - Remove 8" Water Valve	3	EA	\$ 500.00	\$ 1,500.00	
12	02 41 14	0241.059 - Remove 12" Water Valve	11	EA	\$ 700.00	\$ 7,700.00	
13	02 41 14	0241.060 - Remove 16" Water Valve	2	EA	\$ 1,000.00	\$ 2,000.00	
14	02 41 14	0241.094 - Salvage Fire Hydrant	15	EA	\$ 500.00	\$ 7,500.00	
15	02 41 14	0241.095 - Salvage Water Meter	2	EA	\$ 500.00	\$ 1,000.00	
16	02 41 14	0241.096 - Remove Concrete Water Vault	2	EA	\$ 2,500.00	\$ 5,000.00	
17	31 01 17	3201.007 - Flexible Paving Repair for Utility Trench	1,356	SY	\$ 20.00	\$ 27,120.00	
18	32 01 29	3201.013 - Concrete Paving Repair for Utility Trench*	905	SY	\$ 200.00	\$ 181,000.00	
19	32 01 29	3216.005 - 4" Concrete Sidewalk	17	SY	\$ 60.00	\$ 1,020.00	
20	32 93 00	3293.015 - Topsoil	581	CY	\$ 35.00	\$ 20,335.00	
21	32 93 00	3293.016 - Seeding	12,863	SY	\$ 1.00	\$ 12,863.00	
22	32 93 00	3293.017 - Sodding	2,861	SY	\$ 7.00	\$ 20,027.00	
23	33 05 05	3305.021 - Trench Safety	9,404	LF	\$ 0.50	\$ 4,702.00	
24	33 05 07	3305.028 - 18" Casing by Other Than Open Cut*	217	LF	\$ 619.00	\$ 134,323.00	
25	33 05 07	3305.029 - 24" Casing by Other Than Open Cut*	1,144	LF	\$ 1,044.00	\$ 1,194,336.00	
26	33 05 07	3305.023 - 24" Casing by Open Cut*	379	LF	\$ 301.00	\$ 114,079.00	
27	33 05 07	3305.030 - 30" Casing by Other Than Open Cut*	468	LF	\$ 1,173.00	\$ 548,964.00	
28	33 05 15, 33 14 10	3305.098 - 8" DIP Water Carrier Pipe*	217	LF	\$ 344.00	\$ 74,648.00	
29	33 05 15, 33 14 10	3305.099 - 12" DIP Water Carrier Pipe*	1,523	LF	\$ 388.00	\$ 590,924.00	
30	SEE ALTERNATE 1 BELOW - provide bid for only ONE (30 OR 30a)						
31	SEE ALTERNATE 2 BELOW - provide bid for only ONE (31 OR 31a)						
32	33 14 10	3314.141 - 6" PVC Water Pressure Pipe	40	LF	\$ 305.00	\$ 12,200.00	
33	33 14 11	3314.142 - 8" PVC Water Pressure Pipe	911	LF	\$ 317.00	\$ 288,787.00	
34	33 14 11	3314.146 - 12" PVC Water Pressure Pipe	6,133	LF	\$ 351.00	\$ 2,152,683.00	
35	33 14 17	3314.310 - 1" Water Service*	2	EA	\$ 4,400.00	\$ 8,800.00	
36	33 14 17	3314.314 - 1-1/2" Water Service*	1	EA	\$ 4,900.00	\$ 4,900.00	
37	33 14 17	3314.318 - 2" Water Service*	5	EA	\$ 5,200.00	\$ 26,000.00	
38	33 14 18	3314.323 - 4" Water Meter, Vault and Appurtenances*	1	EA	\$ 51,000.00	\$ 51,000.00	
39	33 14 18	3314.3xx - 8" Detector Check, Vault and Appurtenances*	1	EA	\$ 36,000.00	\$ 36,000.00	
40	33 14 20	3314.327 - 6" Gate Valve*	2	EA	\$ 2,000.00	\$ 4,000.00	
41	33 14 20	3314.328 - 8" Gate Valve*	11	EA	\$ 2,500.00	\$ 27,500.00	
42	33 14 20	3314.329 - 12" Gate Valve*	26	EA	\$ 4,400.00	\$ 114,400.00	
43	33 14 20	3314.330 - 16" Gate Valve*	6	EA	\$ 14,000.00	\$ 84,000.00	
44	33 14 25	3314.345 - 8" x 8" Tapping Sleeve and Valve (City Performed)*	1	EA	\$ 13,000.00	\$ 13,000.00	
45	33 14 25	3314.391 - 6" Water Main Connection with Shutdown	2	EA	\$ 6,400.00	\$ 12,800.00	
46	33 14 25	3314.392 - 8" Water Main Connection with Shutdown	12	EA	\$ 6,500.00	\$ 78,000.00	
47	33 14 25	3314.393 - 12" Water Main Connection with Shutdown	5	EA	\$ 8,100.00	\$ 40,500.00	
48	33 14 25	3314.394 - 16" Water Main Connection with Shutdown	3	EA	\$ 13,800.00	\$ 41,400.00	
49	33 14 30	3314.402 - 2" Air Release Valve and Vault*	3	EA	\$ 18,400.00	\$ 55,200.00	
50	33 14 40	3314.407 - Fire Hydrant Assembly*	17	EA	\$ 11,400.00	\$ 193,800.00	
51	34 71 13	3471.001 - Traffic Control	1	MO	\$ 7,000.00	\$ 7,000.00	
ALTERNATE - PROVIDE PRICING FOR ONLY ONE:							
30	33 05 07	3305.100 - 16" DIP Water Carrier Pipe*	468	LF	No Bid	No Bid	
30a	33 05 15	3305.110 - 20" HDPE Water Carrier Pipe	468	LF	\$ 452.00	\$ 211,536.00	
ALTERNATE - PROVIDE PRICING FOR ONLY ONE:							
31	33 05 07	3314.014 - 16" DIP Water Pipe*	1,941	LF	No Bid	No Bid	
31a	33 05 15, 33 14 14	3314.222 - 20" HDPE Pressure Pipe, Water	1,941	LF	\$ 445.00	\$ 863,745.00	
TOTAL BID AMOUNT (Unit I), \$						8,385,049.00	

SEE U00011547 CITY OF DENTON AGREEMENT- RCSJ 0195-02-091

CJS 087 WASTEWATER IMPROVEMENTS

52	02 41 14	0241.010 - Grout Fill 6" Utility Line	1,604	LF	\$ 15.00	\$ 24,060.00
53	02 41 14	0241.011 - Grout Fill 8" Utility Line	271	LF	\$ 15.00	\$ 4,065.00
54	02 41 14	0241.029 - Remove 6" Utility Line	1,626	LF	\$ 30.00	\$ 48,780.00
55	02 41 14	0241.030 - Remove 8" Utility Line	1,307	LF	\$ 30.00	\$ 39,210.00
56	02 41 14	0241.050 - Remove 4" Utility Manhole	14	EA	\$ 2,500.00	\$ 35,000.00
57	02 41 14	0241.054 - Remove Utility Junction Structure (Lift Station)	1	EA	\$ 12,000.00	\$ 12,000.00
58	32 01 17	3201.007 - Flexible Paving Repair for Utility Trench	564	SY	\$ 20.00	\$ 11,280.00
59	32 01 29	3201.013 - Concrete Paving Repair for Utility Trench*	993	SY	\$ 200.00	\$ 198,600.00
60	32 01 29	3211.002 - 6" Flexible Base, Type A, GR-1	560	SY	\$ 20.00	\$ 11,200.00
61	32 93 00	3293.015 - Topsoil	264	CY	\$ 35.00	\$ 9,240.00

Item No.	COD SPEC	Description of work	BID QTY	UOM	Unit Price	Extended Price
62	32 93 00					4,602.00
63	32 93 00					6,657.00
64	33 05 05					2,131.50
65	33 05 07	3305.022 - 18" Casing by Open Cut*	51	LF	\$ 267.00	\$ 13,617.00
66	33 05 07	3305.023 - 24" Casing by Open Cut*	326	LF	\$ 301.00	\$ 98,126.00
67	33 05 07	3305.028 - 18" Casing by Other Than Open Cut*	150	LF	\$ 619.00	\$ 92,850.00
68	33 05 07	3305.029 - 24" Casing by Other Than Open Cut*	1,001	LF	\$ 1,044.00	\$ 1,045,044.00
69	33 05 15, 33 14 11, 33 31 14	3305.048 - 8" PVC Sanitary Sewer Carrier Pipe	201	LF	\$ 364.00	\$ 73,164.00
70	33 05 15, 33 31 14	3305.049 - 12" PVC Sanitary Sewer Carrier Pipe	252	LF	\$ 379.00	\$ 95,508.00
71	33 05 15, 33 14 11, 33 31 14	3305.088 - 6" HDPE Force Main Carrier Pipe	476	LF	\$ 361.00	\$ 171,836.00
72	33 05 15, 33 31 14	3305.091 - 12" HDPE Force Main Carrier Pipe	599	LF	\$ 392.00	\$ 234,808.00
73	33 05 61, 33 05 62	3305.126 - 4' Concrete Manhole*	17	EA	\$ 11,500.00	\$ 195,500.00
74	33 05 61, 33 05 62	3305.127 - 4' Drop Concrete Manhole*	2	EA	\$ 17,600.00	\$ 35,200.00
75	33 05 61, 33 05 62	3305.128 - 5' Concrete Manhole*	3	EA	\$ 14,600.00	\$ 43,800.00
76	33 05 61, 33 05 62	3305.132 - 4' Extra Depth Concrete Manhole*	40	VF	\$ 639.00	\$ 25,560.00
77	33 05 61, 33 05 62	3305.133 - 5' Extra Depth Concrete Manhole*	29	VF	\$ 738.00	\$ 21,402.00
78	33 31 14	3314.250 - 6" HDPE Pressure Pipe, Force Main	221	LF	\$ 390.00	\$ 86,190.00
79	33 31 14	3314.254 - 8" HDPE Pressure Pipe, Force Main	85	LF	\$ 401.00	\$ 34,085.00
80	33 31 14	3314.262 - 12" HDPE Pressure Pipe, Force Main	144	LF	\$ 411.00	\$ 59,184.00
81	33 31 14	3331.045 - 8" PVC Gravity Sewer Pipe	1,310	LF	\$ 343.00	\$ 449,330.00
82	33 31 14	3331.053 - 12" PVC Gravity Sewer Pipe	2,211	LF	\$ 357.00	\$ 789,327.00
83	33 31 14	3331.089 - 6" Sewer Service	8	EA	\$ 6,500.00	\$ 52,000.00
TOTAL BID AMOUNT (Unit II):						\$ 4,023,356.50

SEE U00011547 CITY OF DENTON AGREEMENT- RCSJ 0195-02-091

84	02 41 14	0241.016 - Grout Fill 16" Utility Line	221	LF	\$ 20.00	\$ 4,420.00
85	02 41 14	0241.029 - Remove 6" Utility Line	50	LF	\$ 30.00	\$ 1,500.00
86	02 41 14	0241.030 - Remove 8" Utility Line	188	LF	\$ 30.00	\$ 5,640.00
87	02 41 14	0241.032 - Remove 12" Utility Line	919	LF	\$ 30.00	\$ 27,570.00
88	02 41 14	0241.035 - Remove 16" Utility Line	14,092	LF	\$ 30.00	\$ 422,760.00
89	02 41 14	0241.056 - Remove 6" Water Valve	2	EA	\$ 500.00	\$ 1,000.00
90	02 41 14	0241.057 - Remove 8" Water Valve	1	EA	\$ 500.00	\$ 500.00
91	02 41 14	0241.059 - Remove 12" Water Valve	1	EA	\$ 700.00	\$ 700.00
92	02 41 14	0241.060 - Remove 16" Water Valve	5	EA	\$ 1,000.00	\$ 5,000.00
93	02 41 14	0241.0xx - Remove Water ARV	5	EA	\$ 1,500.00	\$ 7,500.00
94	02 41 14	0241.094 - Salvage Fire Hydrant	5	EA	\$ 500.00	\$ 2,500.00
95	02 41 14	0241.096 - Remove Concrete Water Vault	3	EA	\$ 2,500.00	\$ 7,500.00
96	31 01 17	3201.007 - Flexible Paving Repair for Utility Trench	15	SY	\$ 20.00	\$ 300.00
97	32 93 00	3293.015 - Topsoil	798	CY	\$ 35.00	\$ 27,930.00
98	32 93 00	3293.016 - Seeding	22,839	SY	\$ 1.00	\$ 22,839.00
99	33 01 12	3301.00x - Cathodic Protection System*	1	EA	\$ 15,000.00	\$ 15,000.00
100	33 05 05	3305.021 - Trench Safety	12,922	LF	\$ 0.50	\$ 6,461.00
101	33 05 07	3305.030 - 30" Casing by by Other Than Open Cut*	1,142	LF	\$ 1,261.00	\$ 1,440,062.00
102	33 05 15, 33 14 10	3305.100 - 16" DIP Water Carrier Pipe*	1,142	LF		
103	33 14 10	3314.014 - 16" DIP Water Pipe*	1,142	LF		
104	33 14 11	3314.017 - 16" DIP Water Pipe, CLSM Backfill*	210	LF		
105	33 14 11	3314.146 - 12" PVC Water Pressure Pipe	279	LF	\$ 351.00	\$ 97,929.00
106	33 14 20	3314.329 - 12" Gate Valve*	7	EA	\$ 4,400.00	\$ 30,800.00
107	33 14 20	3314.330 - 16" Gate Valve*	20	EA	\$ 14,000.00	\$ 280,000.00
108	33 14 25	3314.393 - 12" Water Main Connection with Shutdown	1	EA	\$ 8,100.00	\$ 8,100.00
109	33 14 25	3314.394 - 16" Water Main Connection with Shutdown	2	EA	\$ 13,800.00	\$ 27,600.00
110	33 14 30	3314.402 - 2" Water Air Release Valve and Vault*	7	EA	\$ 18,400.00	\$ 128,800.00
111	34 71 13	3471.001 - Fire Hydrant Assembly*	5	EA	\$ 11,400.00	\$ 57,000.00
112	40 05 67	9999.999 - Meter Vault and Appurtenances (to UTRWD)*	1	EA	\$ 342,000.00	\$ 342,000.00
113	33 14 18	9999.999 - PRV Vault and Appurtenances*	1	EA	\$ 245,000.00	\$ 245,000.00

ALTERNATE - PROVIDE PRICING FOR ONLY ONE

102	33 05 07	3305.100 - 16" DIP Water Carrier Pipe*	1,142	LF	No Bid	No Bid
102a	33 05 15, 33 14 14	3305.110 - 20" HDPE Water Carrier Pipe	1,142	LF	\$ 452.00	\$ 516,184.00

ALTERNATE - PROVIDE PRICING FOR ONLY ONE

103	33 05 07	3314.014 - 16" DIP Water Pipe*	12,433	LF	No Bid	No Bid
103a	33 05 15, 33 14 14	3314.222 - 20" HDPE Pressure Pipe, Water	12,433	LF	\$ 445.00	\$ 5,532,685.00

ALTERNATE - PROVIDE PRICING FOR ONLY ONE

104	33 05 07	3314.017 - 16" DIP Water Pipe, CLSM Backfill*	210	LF	No Bid	No Bid
104a	33 05 15, 33 14 14	3314.225 - 20" HDPE Pressure Pipe, Water, CLSM Backfill*	210	LF	\$ 803.00	\$ 168,630.00

TOTAL BID AMOUNT (Unit III): \$ 9,433,910.00

CJS 074 WASTEWATER IMPROVEMENTS - UNIT IV

114	01 70 00	0241.009 - Grout Fill 4" Utility Line	361	LF	\$ 15.00	\$ 5,415.00
115	02 41 14	0241.0xx - Remove Sewer ARV Appurtenance	5	EA	\$ 800.00	\$ 4,000.00
116	33 14 18	0241.028 - Remove 4" Utility Line	11,853	LF	\$ 30.00	\$ 355,590.00

TOTAL BID AMOUNT (Unit IV): \$ 365,005.00

TOTAL PROJECT BID AMOUNT (Units I, II, III, & IV): \$ 22,207,320.50

*All materials shall use domestically manufactured products that are composed predominately of steel and/or iron to incorporate into the permanent installation of the utility facility - in compliance with the Buy America provisions of 23 CFR 635.410 as amended.

SECTION 00 42 43 - UNIT PRICE BID FORM



PROJ.: **IH-35 Utility Relocations (from US380 to Milam Road)**
 IFB: **7968-003**

City of Denton Capital Projects
 901-B Texas Street
 Denton, TX 76209
 Attn: Cori Power/Purchasing Dept.

From: Oscar Renda Contracting
 1100 Kubota Dr.
 Grapevine, TX 76051
 Jon Dorma
 817-293-4263
 idorma@southlandholdings.com

BIDDERS APPLICATION - UNIT PRICE BID

Item No.	COD SPEC	Description of work	BID QTY	UOM	Unit Price	Extended Price
CSJ 087 WATER IMPROVEMENTS -UNIT I						
1	01 70 00	0170.001 - Mobilization	1	EA	\$ 2,250,000.00	\$ 2,250,000.00
2	02 41 14					2,270.00
3	02 41 14					3,320.00
SEE U00011547 CITY OF DENTON AGREEMENT- RCSJ 0195-02-091						
4	02 41 14	0241.010 - Grout Fill 6" Utility Line	106	LF	\$ 55.00	\$ 5,830.00
5	02 41 14	0241.028 - Remove 4" Utility Line	25	LF	\$ 20.00	\$ 500.00
6	02 41 14	0241.029 - Remove 6" Utility Line	150	LF	\$ 20.00	\$ 3,000.00
7	02 41 14	0241.030 - Remove 8" Utility Line	1,605	LF	\$ 20.00	\$ 32,100.00
8	02 41 14	0241.032 - Remove 12" Utility Line	5,558	LF	\$ 20.00	\$ 111,160.00
9	02 41 14	0241.035 - Remove 16" Utility Line	2,466	LF	\$ 20.00	\$ 49,320.00
10	02 41 14	0241.056 - Remove 6" Water Valve	17	EA	\$ 200.00	\$ 3,400.00
11	02 41 14	0241.057 - Remove 8" Water Valve	3	EA	\$ 200.00	\$ 600.00
12	02 41 14	0241.059 - Remove 12" Water Valve	11	EA	\$ 200.00	\$ 2,200.00
13	02 41 14	0241.060 - Remove 16" Water Valve	2	EA	\$ 200.00	\$ 400.00
14	02 41 14	0241.094 - Salvage Fire Hydrant	15	EA	\$ 400.00	\$ 6,000.00
15	02 41 14	0241.095 - Salvage Water Meter	2	EA	\$ 400.00	\$ 800.00
16	02 41 14	0241.096 - Remove Concrete Water Vault	2	EA	\$ 400.00	\$ 800.00
17	31 01 17	3201.007 - Flexible Paving Repair for Utility Trench	1,356	SY	\$ 50.00	\$ 67,800.00
18	32 01 29	3201.013 - Concrete Paving Repair for Utility Trench*	905	SY	\$ 175.00	\$ 158,375.00
19	32 01 29	3216.005 - 4" Concrete Sidewalk	17	SY	\$ 100.00	\$ 1,700.00
20	32 93 00	3293.015 - Topsoil	581	CY	\$ 50.00	\$ 29,050.00
21	32 93 00	3293.016 - Seeding	12,863	SY	\$ 2.00	\$ 25,726.00
22	32 93 00	3293.017 - Sodding	2,861	SY	\$ 10.00	\$ 28,610.00
23	33 05 05	3305.021 - Trench Safety	9,404	LF	\$ 3.50	\$ 32,914.00
24	33 05 07	3305.028 - 18" Casing by Other Than Open Cut*	217	LF	\$ 750.00	\$ 162,750.00
25	33 05 07	3305.029 - 24" Casing by Other Than Open Cut*	1,144	LF	\$ 900.00	\$ 1,029,600.00
26	33 05 07	3305.023 - 24" Casing by Open Cut*	379	LF	\$ 400.00	\$ 151,600.00
27	33 05 07	3305.030 - 30" Casing by Other Than Open Cut*	468	LF	\$ 1,000.00	\$ 468,000.00
28	33 05 15, 33 14 10	3305.098 - 8" DIP Water Carrier Pipe*	217	LF	\$ 300.00	\$ 65,100.00
29	33 05 15, 33 14 10	3305.099 - 12" DIP Water Carrier Pipe*	1,523	LF	\$ 400.00	\$ 609,200.00
30	SEE ALTERNATE 1 BELOW - provide bid for only ONE (30 OR 30a)		468	LF		
31	SEE ALTERNATE 2 BELOW - provide bid for only ONE (31 OR 31a)		1,941	LF		
32	33 14 10	3314.141 - 6" PVC Water Pressure Pipe	40	LF	\$ 350.00	\$ 14,000.00
33	33 14 11	3314.142 - 8" PVC Water Pressure Pipe	911	LF	\$ 400.00	\$ 364,400.00
34	33 14 11	3314.146 - 12" PVC Water Pressure Pipe	6,133	LF	\$ 300.00	\$ 1,839,900.00
35	33 14 17	3314.310 - 1" Water Service*	2	EA	\$ 4,000.00	\$ 8,000.00
36	33 14 17	3314.314 - 1-1/2" Water Service*	1	EA	\$ 5,000.00	\$ 5,000.00
37	33 14 17	3314.318 - 2" Water Service*	5	EA	\$ 6,000.00	\$ 30,000.00
38	33 14 18	3314.323 - 4" Water Meter, Vault and Appurtenances*	1	EA	\$ 65,000.00	\$ 65,000.00
39	33 14 18	3314.3xx - 8" Detector Check Vault and Appurtenances*	1	EA	\$ 100,000.00	\$ 100,000.00
40	33 14 20	3314.327 - 6" Gate Valve*	2	EA	\$ 2,500.00	\$ 5,000.00
41	33 14 20	3314.328 - 8" Gate Valve*	11	EA	\$ 3,500.00	\$ 38,500.00
42	33 14 20	3314.329 - 12" Gate Valve*	26	EA	\$ 6,500.00	\$ 169,000.00
43	33 14 20	3314.330 - 16" Gate Valve*	6	EA	\$ 17,500.00	\$ 105,000.00
44	33 14 25	3314.345 - 8" x 8" Tapping Sleeve and Valve (City Performed)*	1	EA	\$ 6,000.00	\$ 6,000.00
45	33 14 25	3314.391 - 6" Water Main Connection with Shutdown	2	EA	\$ 3,000.00	\$ 6,000.00
46	33 14 25	3314.392 - 8" Water Main Connection with Shutdown	12	EA	\$ 3,000.00	\$ 36,000.00
47	33 14 25	3314.393 - 12" Water Main Connection with Shutdown	5	EA	\$ 3,000.00	\$ 15,000.00
48	33 14 25	3314.394 - 16" Water Main Connection with Shutdown	3	EA	\$ 5,000.00	\$ 15,000.00
49	33 14 30	3314.402 - 2" Air Release Valve and Vault*	3	EA	\$ 12,000.00	\$ 36,000.00
50	33 14 40	3314.407 - Fire Hydrant Assembly*	17	EA	\$ 10,000.00	\$ 170,000.00
51	34 71 13	3471.001 - Traffic Control	1	MO	\$ 50,000.00	\$ 50,000.00
ALTERNATE 1 - PROVIDE PRICING FOR ONLY ONE						
30	33 05 07	3305.100 - 16" DIP Water Carrier Pipe*	468	LF	\$ 500.00	\$ 234,000.00
30a	33 05 15,	3305.110 - 20" HDPE Water Carrier Pipe	468	LF		
ALTERNATE 2 - PROVIDE PRICING FOR ONLY ONE						
31	33 05 07	3314.014 - 16" DIP Water Pipe*	1,941	LF	\$ 650.00	\$ 1,261,650.00
31a	33 05 15, 33 14 14	3314.222 - 20" HDPE Pressure Pipe, Water	1,941	LF		
TOTAL BID AMOUNT (Unit I):						\$ 9,888,525.00
CJS 087 WASTEWATER IMPROVEMENTS						
52	02 41 14	0241.010 - Grout Fill 6" Utility Line	1,604	LF	\$ 5.00	\$ 8,020.00
53	02 41 14	0241.011 - Grout Fill 8" Utility Line	271	LF	\$ 6.00	\$ 1,626.00
54	02 41 14	0241.029 - Remove 6" Utility Line	1,626	LF	\$ 20.00	\$ 32,520.00
55	02 41 14	0241.030 - Remove 8" Utility Line	1,307	LF	\$ 20.00	\$ 26,140.00
56	02 41 14	0241.050 - Remove 4' Utility Manhole	14	EA	\$ 1,200.00	\$ 16,800.00
57	02 41 14	0241.054 - Remove Utility Junction Structure (Lift Station)	1	EA	\$ 16,000.00	\$ 16,000.00
58	32 01 17	3201.007 - Flexible Paving Repair for Utility Trench	564	SY	\$ 55.00	\$ 31,020.00
59	32 01 29	3201.013 - Concrete Paving Repair for Utility Trench*	993	SY	\$ 120.00	\$ 119,160.00

Item No.	COD SPEC	Description of work	BID QTY	UOM	Unit Price	Extended Price
60	32 01 29					30,800.00
61	32 93 00					14,520.00
62	32 93 00					9,204.00
SEE U00011547 CITY OF DENTON AGREEMENT- RCSJ 0195-02-091						
63	32 93 00	3293.017 - Sodding	951	SY	\$ 10.00	\$ 9,510.00
64	33 05 05	3305.021 - Trench Safety	4,263	LF	\$ 3.00	\$ 12,789.00
65	33 05 07	3305.022 - 18" Casing by Open Cut*	51	LF	\$ 400.00	\$ 20,400.00
66	33 05 07	3305.023 - 24" Casing by Open Cut*	326	LF	\$ 400.00	\$ 130,400.00
67	33 05 07	3305.028 - 18" Casing by Other Than Open Cut*	150	LF	\$ 750.00	\$ 112,500.00
68	33 05 07	3305.029 - 24" Casing by Other Than Open Cut*	1,001	LF	\$ 900.00	\$ 900,900.00
69	33 05 15, 33 14 11, 33 31 14	3305.048 - 8" PVC Sanitary Sewer Carrier Pipe	201	LF	\$ 350.00	\$ 70,350.00
70	33 05 15, 33 31 14	3305.049 - 12" PVC Sanitary Sewer Carrier Pipe	252	LF	\$ 750.00	\$ 189,000.00
71	33 05 15, 33 14 11, 33 31 14	3305.088 - 6" HDPE Force Main Carrier Pipe	476	LF	\$ 300.00	\$ 142,800.00
72	33 05 15, 33 31 14	3305.091 - 12" HDPE Force Main Carrier Pipe	599	LF	\$ 475.00	\$ 284,525.00
73	33 05 61, 33 05 62	3305.126 - 4' Concrete Manhole*	17	EA	\$ 16,000.00	\$ 272,000.00
74	33 05 61, 33 05 62	3305.127 - 4' Drop Concrete Manhole*	2	EA	\$ 16,000.00	\$ 32,000.00
75	33 05 61, 33 05 62	3305.128 - 5' Concrete Manhole*	3	EA	\$ 18,000.00	\$ 54,000.00
76	33 05 61, 33 05 62	3305.132 - 4' Extra Depth Concrete Manhole*	40	VF	\$ 1,200.00	\$ 48,000.00
77	33 05 61, 33 05 62	3305.133 - 5' Extra Depth Concrete Manhole*	29	VF	\$ 1,500.00	\$ 43,500.00
78	33 31 14	3314.250 - 6" HDPE Pressure Pipe, Force Main	221	LF	\$ 100.00	\$ 22,100.00
79	33 31 14	3314.254 - 8" HDPE Pressure Pipe, Force Main	85	LF	\$ 125.00	\$ 10,625.00
80	33 31 14	3314.262 - 12" HDPE Pressure Pipe, Force Main	144	LF	\$ 150.00	\$ 21,600.00
81	33 31 14	3331.045 - 8" PVC Gravity Sewer Pipe	1,310	LF	\$ 135.00	\$ 176,850.00
82	33 31 14	3331.053 - 12" PVC Gravity Sewer Pipe	2,211	LF	\$ 150.00	\$ 331,650.00
83	33 31 14	3331.089 - 6" Sewer Service	8	EA	\$ 3,000.00	\$ 24,000.00
TOTAL BID AMOUNT (Unit II):						\$ 3,215,309.00
84	02 41 14	0241.016 - Grout Fill 16" Utility Line	221	LF	\$ 40.00	\$ 8,840.00
85	02 41 14	0241.029 - Remove 6" Utility Line	50	LF	\$ 20.00	\$ 1,000.00
86	02 41 14	0241.030 - Remove 8" Utility Line	188	LF	\$ 20.00	\$ 3,760.00
87	02 41 14	0241.032 - Remove 12" Utility Line	919	LF	\$ 20.00	\$ 18,380.00
88	02 41 14	0241.035 - Remove 16" Utility Line	14,092	LF	\$ 20.00	\$ 281,840.00
89	02 41 14	0241.056 - Remove 6" Water Valve	2	EA	\$ 200.00	\$ 400.00
90	02 41 14	0241.057 - Remove 8" Water Valve	1	EA	\$ 200.00	\$ 200.00
91	02 41 14	0241.059 - Remove 12" Water Valve	1	EA	\$ 200.00	\$ 200.00
92	02 41 14	0241.060 - Remove 16" Water Valve	5	EA	\$ 200.00	\$ 1,000.00
93	02 41 14	0241.0xx - Remove Water ARV	5	EA	\$ 400.00	\$ 2,000.00
94	02 41 14	0241.094 - Salvage Fire Hydrant	5	EA	\$ 400.00	\$ 2,000.00
95	02 41 14	0241.096 - Remove Concrete Water Vault	3	EA	\$ 400.00	\$ 1,200.00
96	31 01 17	3201.007 - Flexible Paving Repair for Utility Trench	15	SY	\$ 55.00	\$ 825.00
97	32 93 00	3293.015 - Topsoil	798	CY	\$ 60.00	\$ 47,880.00
98	32 93 00	3293.016 - Seeding	22,839	SY	\$ 2.00	\$ 45,678.00
99	33 01 12	3301.00x - Cathodic Protection System*	1	EA	\$ 185,000.00	\$ 185,000.00
100	33 05 05	3305.021 - Trench Safety	12,922	LF	\$ 3.00	\$ 38,766.00
101	33 05 07	3305.030 - 30" Casing by by Other Than Open Cut*	1,142	LF	\$ 1,000.00	\$ 1,142,000.00
102	33 05 15, 33 14 10	3305.100 - 16" DIP Water Carrier Pipe*	1,142	LF		\$ -
103	33 14 10	3314.014 - 16" DIP Water Pipe*	12,433	LF		\$ -
104	33 14 11	3314.017 - 16" DIP Water Pipe, CLSM Backfill*	210	LF		\$ -
105	33 14 11	3314.146 - 12" PVC Water Pressure Pipe	279	LF	\$ 300.00	\$ 83,700.00
106	33 14 20	3314.329 - 12" Gate Valve*	7	EA	\$ 6,500.00	\$ 45,500.00
107	33 14 20	3314.330 - 16" Gate Valve*	20	EA	\$ 17,500.00	\$ 350,000.00
108	33 14 25	3314.393 - 12" Water Main Connection with Shutdown	1	EA	\$ 3,500.00	\$ 3,500.00
109	33 14 25	3314.394 - 16" Water Main Connection with Shutdown	2	EA	\$ 6,500.00	\$ 13,000.00
110	33 14 30	3314.402 - 2" Water Air Release Valve and Vault*	7	EA	\$ 12,000.00	\$ 84,000.00
111	34 71 13	3471.001 - Fire Hydrant Assembly*	5	EA	\$ 10,000.00	\$ 50,000.00
112	40 05 67	9999.999 - Meter Vault and Appurtenances (to UTRWD)*	1	EA	\$ 550,000.00	\$ 550,000.00
113	33 14 18	9999.999 - PRV Vault and Appurtenances*	1	EA	\$ 225,000.00	\$ 225,000.00
ALTERNATE 1 - PROVIDE PRICING FOR ONLY ONE						
102	33 05 07	3305.100 - 16" DIP Water Carrier Pipe*	1,142	LF	\$ 500.00	\$ 571,000.00
102a	33 05 15, 33 14 14	3305.110 - 20" HDPE Water Carrier Pipe	1,142	LF		\$ -
ALTERNATE 2 - PROVIDE PRICING FOR ONLY ONE						
103	33 05 07	3314.014 - 16" DIP Water Pipe*	12,433	LF	\$ 450.00	\$ 5,594,850.00
103a	33 05 15, 33 14 14	3314.222 - 20" HDPE Pressure Pipe, Water	12,433	LF		\$ -
ALTERNATE 3 - PROVIDE PRICING FOR ONLY ONE						
104	33 05 07	3314.017 - 16" DIP Water Pipe, CLSM Backfill*	210	LF	\$ 600.00	\$ 126,000.00
104a	33 05 15, 33 14 14	3314.225 - 20" HDPE Pressure Pipe, Water, CLSM Backfill*	210	LF		\$ -
TOTAL BID AMOUNT (Unit III):						\$ 9,477,519.00
CJS 074 WASTEWATER IMPROVEMENTS - UNIT IV						
114	01 70 00	0241.009 - Grout Fill 4" Utility Line	361	LF	\$ 3.00	\$ 1,083.00
115	02 41 14	0241.0xx - Remove Sewer ARV Appurtenance	5	EA	\$ 500.00	\$ 2,500.00
116	33 14 18	0241.028 - Remove 4" Utility Line	11,853	LF	\$ 20.00	\$ 237,060.00
TOTAL BID AMOUNT (Unit IV):						\$ 240,643.00
TOTAL PROJECT BID AMOUNT (Units I, II, III, & IV):						\$ 22,821,996.00


*All materials shall use domestically manufactured products that are composed predominately of steel and/or iron to incorporate into the permanent installation of the utility facility – in compliance with the Buy America provisions of 49 CFR 635.410 as amended.


Attachment "E"

Utility Joint Use Agreement – (ROW-U-JUA) and/or Utility Installation Request – (Form 1082)

Utility Joint Use Agreement (ROW-U-JUA)

Utility Installation Review/Permit Number: DAL20230112140252
and DAL20230112135929

 7/31/2023
Initial Date
TxDOT

 7/31/2023
Initial Date
Utility

APPROVAL

To David Brown

City of Denton Water Utilities

901 A Texas St

Denton, TX 76209

Date 5/16/2023
Application No. DAL20230112140252
District App. No. DAL20230112140252
Highway IH 0035
Control Section 019503
Maintenance Section Denton County Maintenance
County Denton

TxDOT offers no objection to the location on the right-of-way of your proposed utility installation, as described by Notice of Proposed Utility Installation No. DAL20230112140252 (District Application No. DAL20230112140252) dated 5/16/2023 and accompanying documentation, except as noted below.

It is understood that it is the responsibility of the utility owner to contact TxDOT 48 hrs prior to the start of construction using the UIR System and by email or phone call to the area office Utility Coordinator. It is also the owners responsibility to contact TxDOT once the construction is complete.

When installing utility lines on controlled access highways, your attention is directed to governing laws, especially to Texas Transportation Code, Title 6, Chapter 203, pertaining to Modernization of State Highways; Controlled Access Highways. Access for serving this installation shall be limited to access via (a) frontage roads where provided, (b) nearby or adjacent public roads or streets, (c) trails along or near the highway right-of-way lines, connecting only to an intersecting roads; from any one or all of which entry may be made to the outer portion of the highway right-of-way for normal service and maintenance operations. The Installation Owner's rights of access to the through-traffic roadways and ramps shall be subject to the same rules and regulations as apply to the general public except, however, if an emergency situation occurs and usual means of access for normal service operations will not permit the immediate action required by the Utility Installation Owner in making emergency repairs as required for the safety and welfare of the public, the Utility Owners shall have a temporary right of access to and from the through-traffic roadways and ramps as necessary to accomplish the required emergency repairs, provided TxDOT is immediately notified by the Utility Installation Owner when such repairs are initiated and adequate provision is made by the Utility Installation Owner for convenience and safety of highway traffic.

The installation shall not damage any part of the highway and adequate provisions must be made to cause minimum inconveniences to traffic and adjacent property owners. In the event the Installation Owner fails to comply with any or all of the requirements as set forth herein, the State may take such action as it deems appropriate to compel compliance.

It is expressly understood that the TxDOT does not purport, hereby, to grant any right, claim, title, or easement in or upon this highway; and it is further understood that the TxDOT may require the Installation Owner to relocate this line, subject to provisions of governing laws, by giving thirty (30) days written notice.

If construction has not started within six (6) months of the date of this approval, the approval will automatically expire and you will be required to submit a new application. You are also requested to notify this office prior to commencement of any routine or periodic maintenance which requires pruning of trees within the highway right-of-way, so that we may provide specifications for the extent and methods to govern in trimming, topping, tree balance, type of cuts, painting cuts and clean up. These specifications are intended to preserve our considerable investment in highway planting and beautification, by reducing damage due to trimming.

Special Provisions:

General Dallas District Abandonment Request 11-14-2022

You are required to notify TxDOT 48 hours (2 business days) before you start construction to allow for proper inspection and coordination of work days and traffic control plans. Use the UIR website for the 48-hour notification. DO NOT start construction until you have coordinated the construction start date and inspection with TxDOT. You are also required to keep a copy of this Approval, the Notice of Proposed Installation, and any approved amendments at the job site at all times.

Texas Department of Transportation
By Justin Braudrick

Title Utility Coordinator

District Dallas

APPROVAL

To David Brown

City of Denton Water Utilities

901 A Texas St

Denton, TX 76209

Date 5/16/2023
Application No. DAL20230112135929
District App. No. DAL20230112135929
Highway IH 0035
Control Section 019503
Maintenance Section Denton County Maintenance
County Denton

TxDOT offers no objection to the location on the right-of-way of your proposed utility installation, as described by Notice of Proposed Utility Installation No. DAL20230112135929 (District Application No. DAL20230112135929) dated 5/16/2023 and accompanying documentation, except as noted below.

It is understood that it is the responsibility of the utility owner to contact TxDOT 48 hrs prior to the start of construction using the UIR System and by email or phone call to the area office Utility Coordinator. It is also the owners responsibility to contact TxDOT once the construction is complete.

When installing utility lines on controlled access highways, your attention is directed to governing laws, especially to Texas Transportation Code, Title 6, Chapter 203, pertaining to Modernization of State Highways; Controlled Access Highways. Access for serving this installation shall be limited to access via (a) frontage roads where provided, (b) nearby or adjacent public roads or streets, (c) trails along or near the highway right-of-way lines, connecting only to an intersecting roads; from any one or all of which entry may be made to the outer portion of the highway right-of-way for normal service and maintenance operations. The Installation Owner's rights of access to the through-traffic roadways and ramps shall be subject to the same rules and regulations as apply to the general public except, however, if an emergency situation occurs and usual means of access for normal service operations will not permit the immediate action required by the Utility Installation Owner in making emergency repairs as required for the safety and welfare of the public, the Utility Owners shall have a temporary right of access to and from the through-traffic roadways and ramps as necessary to accomplish the required emergency repairs, provided TxDOT is immediately notified by the Utility Installation Owner when such repairs are initiated and adequate provision is made by the Utility Installation Owner for convenience and safety of highway traffic.

The installation shall not damage any part of the highway and adequate provisions must be made to cause minimum inconveniences to traffic and adjacent property owners. In the event the Installation Owner fails to comply with any or all of the requirements as set forth herein, the State may take such action as it deems appropriate to compel compliance.

It is expressly understood that the TxDOT does not purport, hereby, to grant any right, claim, title, or easement in or upon this highway; and it is further understood that the TxDOT may require the Installation Owner to relocate this line, subject to provisions of governing laws, by giving thirty (30) days written notice.

If construction has not started within six (6) months of the date of this approval, the approval will automatically expire and you will be required to submit a new application. You are also requested to notify this office prior to commencement of any routine or periodic maintenance which requires pruning of trees within the highway right-of-way, so that we may provide specifications for the extent and methods to govern in trimming, topping, tree balance, type of cuts, painting cuts and clean up. These specifications are intended to preserve our considerable investment in highway planting and beautification, by reducing damage due to trimming.

Special Provisions:

General Dallas District Abandonment Request 11-14-2022

You are required to notify TxDOT 48 hours (2 business days) before you start construction to allow for proper inspection and coordination of work days and traffic control plans. Use the UIR website for the 48-hour notification. DO NOT start construction until you have coordinated the construction start date and inspection with TxDOT. You are also required to keep a copy of this Approval, the Notice of Proposed Installation, and any approved amendments at the job site at all times.

Texas Department of Transportation
By Justin Braudrick

Title Utility Coordinator
District Dallas

Attachment “F” Eligibility Ratio

Eligibility Ratio established: 100 %

- Non-interstate Highway (Calculations attached)
- Interstate Highway


ROW Utility Manual Chapter 8, Section 2


In developing the ratio, line length or number of poles is restricted to facilities located within the existing and proposed highway right of way. Facilities located outside the existing and proposed right of way limits will not be used in developing the ratio.

Please see example of eligibility ratio calculations below.

Plan Sheet or Page#	In Easement (Eligible) Existing # of Poles or LF	In Public ROW (Ineligible) Existing # of Poles or LF
1	0	0
2	84	22
3	90	385
4	238	96
Totals	412	503

Total Existing # of Poles or LF (Eligible)	412
Total Existing # of Poles or LF (Ineligible)	503
Total Existing # of Poles or LF	915
Total Existing # of Poles or LF (Eligible) divided by the Total Existing # of Poles or LF	45.03%



7/31/2023
 Initial Date
 TxDOT



7/31/2023
 Initial Date
 Utility

Attachment "G" Betterment Calculation and Estimate

- Elective Betterment Ratio established: _____ %
(Calculation attached and justification below)
- Forced Betterment
(Provide supporting documentation)
- Not Applicable

Elective betterment justification statement:
See narrative description and supporting documents, next pages.

 7/31/2023
Initial Date
TxDOT

 7/31/2023
Initial Date
Utility

Attachment G: Forced Betterment

Easement Justification

The city has had an ordinance in place prior to 2013 (see backup pages for time stamp date of ordinance) that requires utilities to be placed in an easement when adjacent to TxDOT ROW. Therefore, due to this ordinance, and the necessary relocation of water and sewer lines outside of the TxDOT ROW and to comply with UAR, the City has obtained easements for this project, following the State Uniform act and has performed independent TxDOT appraisals for all parcels and is seeking reimbursement for these acquisitions. See signed letter from City on page 5.

Water Comparison HDPE to DIP

See attached letter



401 N ELM STREET ■ DENTON, TEXAS ■ 76201 ■ 940.349.8451
DEVELOPMENT SERVICES DEPARTMENT

May 9, 2023

Ms Darla Payberah
TxDOT – Dallas District
4777 East Highway 80
Mesquite, TX 75150

SUBJECT: 20' Utility Easement Along TxDOT Rights-of-Way

Dear Ms. Payberah,

All utilities in a development shall be provided in street rights-of-way except in special circumstances, one of which being when the development is along a TxDOT right-of-way. The City of Denton requires a minimum 20' utility easement along all TxDOT right of ways. This has been in effect since the adoption of the 2002 Denton Development Code in subsection 35.21.4 and was carried over to the 2019 Denton Development Code in subsection 7.6.7.

If you have any questions, you may contact me at 940-349-8351 or via email at erin.stanley@cityofdenton.com.

Sincerely,

A handwritten signature in black ink that reads "Erin Stanley". The signature is written in a cursive, flowing style.

Erin Stanley
Assistant Planner

35.21.4. - Easement Requirements.

All utilities in a development shall be provided in street rights-of-way except for special circumstances approved by the Development Review Committee. In such cases, the following standards shall prevail:

- A. All utility easements shall be a minimum of sixteen (16) feet unless special circumstances warrant additional or reduced easements which can be approved by the Development Review Committee. The general criteria to define minimum easement widths are listed below:

Type of Development	Easement Size
Individual water or sewer lines up to 24" in diameter	16 ft
Individual water or sewer lines greater than 24"	20 ft
Water and sewer lines up to 24" in the same easement	20 ft
Water and sewer lines greater than 24" in the same easement	25 ft
Easements along TxDOT rights-of-way	20 ft

- B. Lot lines will not split easements.
- C. Dead-end easements are not acceptable unless approved for special circumstances by the Development Review Committee.
- D. Fences within utility easements are prohibited.
1. No fences will be allowed to be built that cross dedicated utility easements.
 2. Any existing fence that crosses dedicated utility easements that conflict with the purpose and intent of the easement may be removed by the City at any time.
 3. The City is under no obligation to repair or replace any fence that is damaged or removed that encroaches within a dedicated easement for the purposes of operating, maintaining, replacing or installing water or sewer facilities within the dedicated easement.
- E. Employees of the City shall have the authority to enter premises at any reasonable time in the regular line of duty for the purpose of inspecting, repairing or constructing any water, electric or sewer line or any water or electric meter, etc. The landowner and occupant are responsible for any construction activities occurring over

or within any on-site utility in a utility easement. If utility inspection or repair or reconstruction is necessary, any pavement, structure or improvement damaged within a dedicated utility easement, shall not be the responsibility of the City for any repairs, but shall be the sole responsibility of the owner. The landowner assumes responsibility for any and all improvements placed within a utility easement at their own risk. Additionally, the provisions of this section do not permit or supercede the limits and restrictions prescribed by the conditions of any existing utility easement for allowing improvements to be place within utility easements.

Utility easement

35.21.4 - Easement Requirements.

All utility easements shall be subject to the following standards and provisions:

A. All utility easements shall be a minimum of seven (7) feet wide for all utility easements within a project easement which is owned by the Development Review Commission. The general width for other easements shall be as follows:

Type of Development	Easement Width
Residential with no access into utility DP of easement	10 FT
Residential with no access into greater than DP	20 FT
Other projects with access into the easement	20 FT
Water and sewer into greater than DP of the easement	20 FT
Easements serving <u>INDUSTRIAL/COMMERCIAL</u>	20 FT



CAPITAL PROJECTS

401 North Elm Street ▪ Denton, TX 76201 ▪ (940) 349-8910

June 12, 2023

Texas Department of Transportation
 4777 US Highway 80 E
 Mesquite, TX 75150-6642

RE: Water Comparison HDPE to DIP

Dear Ms. Darla Payberah,

The existing 16-inch water transmission main conflicts with the State's I-35 widening project and was proposed to be replaced with a 16-inch ductile iron pipe (DIP), but also bid HDPE as an alternative.

The City only allows DIP and HDPE (but not PVC) for this size water transmission line, however the 16- inch DIP is undergoing extremely long lead times (9 plus months). To clear TxDOT's requested ready to let date, the City set a short contract duration for this relocation project. To achieve the accelerated schedule, the city allowed contractors to consider either DIP or HDPE pipe when bidding the city's relocation project (see unit price bid sheet). This is a direct benefit to the highway project and should not be considered elective betterment.

HDPE pipe has a thicker wall and smaller inner diameter than the same sized DIP. To achieve the same flow characteristics as a 16-inch DIP, a 20-inch HDPE pipe is required. The below chart shows the difference in pipe inner diameters (ID) between HDPE and DIP.

HDPE DUCTILE IRON OUTSIDE DIAMETER PRESSURE PIPE

Pipe Size (in)	Wall Thickness (in)	Outside Diameter (in)	Inside Diameter (in)	Weight (lb/ft)	Stiffness (EI)
16	0.400	16.400	15.600	18.0	1.30E+09
18	0.400	18.400	17.600	20.0	1.60E+09
20	0.400	20.400	19.600	22.0	1.90E+09
24	0.400	24.400	23.600	26.0	2.50E+09
30	0.400	30.400	29.600	32.0	3.50E+09
36	0.400	36.400	35.600	38.0	4.50E+09
42	0.400	42.400	41.600	44.0	5.50E+09
48	0.400	48.400	47.600	50.0	6.50E+09
54	0.400	54.400	53.600	56.0	7.50E+09
60	0.400	60.400	59.600	62.0	8.50E+09
66	0.400	66.400	65.600	68.0	9.50E+09
72	0.400	72.400	71.600	74.0	1.05E+10
78	0.400	78.400	77.600	80.0	1.15E+10
84	0.400	84.400	83.600	86.0	1.25E+10
90	0.400	90.400	89.600	92.0	1.35E+10
96	0.400	96.400	95.600	98.0	1.45E+10
102	0.400	102.400	101.600	104.0	1.55E+10
108	0.400	108.400	107.600	110.0	1.65E+10
114	0.400	114.400	113.600	116.0	1.75E+10
120	0.400	120.400	119.600	122.0	1.85E+10
126	0.400	126.400	125.600	128.0	1.95E+10
132	0.400	132.400	131.600	134.0	2.05E+10
138	0.400	138.400	137.600	140.0	2.15E+10
144	0.400	144.400	143.600	146.0	2.25E+10
150	0.400	150.400	149.600	152.0	2.35E+10
156	0.400	156.400	155.600	158.0	2.45E+10
162	0.400	162.400	161.600	164.0	2.55E+10
168	0.400	168.400	167.600	170.0	2.65E+10
174	0.400	174.400	173.600	176.0	2.75E+10
180	0.400	180.400	179.600	182.0	2.85E+10
186	0.400	186.400	185.600	188.0	2.95E+10
192	0.400	192.400	191.600	194.0	3.05E+10
198	0.400	198.400	197.600	200.0	3.15E+10
204	0.400	204.400	203.600	206.0	3.25E+10
210	0.400	210.400	209.600	212.0	3.35E+10
216	0.400	216.400	215.600	218.0	3.45E+10
222	0.400	222.400	221.600	224.0	3.55E+10
228	0.400	228.400	227.600	230.0	3.65E+10
234	0.400	234.400	233.600	236.0	3.75E+10
240	0.400	240.400	239.600	242.0	3.85E+10
246	0.400	246.400	245.600	248.0	3.95E+10
252	0.400	252.400	251.600	254.0	4.05E+10
258	0.400	258.400	257.600	260.0	4.15E+10
264	0.400	264.400	263.600	266.0	4.25E+10
270	0.400	270.400	269.600	272.0	4.35E+10
276	0.400	276.400	275.600	278.0	4.45E+10
282	0.400	282.400	281.600	284.0	4.55E+10
288	0.400	288.400	287.600	290.0	4.65E+10
294	0.400	294.400	293.600	296.0	4.75E+10
300	0.400	300.400	299.600	302.0	4.85E+10

Ductile Iron Pipe Inside Diameter Chart

Size	Class	Minimum Thickness	OD	ID	W.D.
16"	150	0.375	16.375	15.625	15.625
	151	0.375	16.375	15.625	15.625
	152	0.375	16.375	15.625	15.625
	153	0.375	16.375	15.625	15.625
	154	0.375	16.375	15.625	15.625
	155	0.375	16.375	15.625	15.625
	156	0.375	16.375	15.625	15.625
	157	0.375	16.375	15.625	15.625
	158	0.375	16.375	15.625	15.625
	159	0.375	16.375	15.625	15.625
160	0.375	16.375	15.625	15.625	
18"	170	0.375	18.375	17.625	17.625
	171	0.375	18.375	17.625	17.625
	172	0.375	18.375	17.625	17.625
	173	0.375	18.375	17.625	17.625
	174	0.375	18.375	17.625	17.625
	175	0.375	18.375	17.625	17.625
	176	0.375	18.375	17.625	17.625
	177	0.375	18.375	17.625	17.625
	178	0.375	18.375	17.625	17.625
	179	0.375	18.375	17.625	17.625
180	0.375	18.375	17.625	17.625	
20"	190	0.375	19.375	18.625	18.625
	191	0.375	19.375	18.625	18.625
	192	0.375	19.375	18.625	18.625
	193	0.375	19.375	18.625	18.625
	194	0.375	19.375	18.625	18.625
	195	0.375	19.375	18.625	18.625
	196	0.375	19.375	18.625	18.625
	197	0.375	19.375	18.625	18.625
	198	0.375	19.375	18.625	18.625
	199	0.375	19.375	18.625	18.625
200	0.375	19.375	18.625	18.625	
24"	230	0.375	23.375	22.625	22.625
	231	0.375	23.375	22.625	22.625
	232	0.375	23.375	22.625	22.625
	233	0.375	23.375	22.625	22.625
	234	0.375	23.375	22.625	22.625
	235	0.375	23.375	22.625	22.625
	236	0.375	23.375	22.625	22.625
	237	0.375	23.375	22.625	22.625
	238	0.375	23.375	22.625	22.625
	239	0.375	23.375	22.625	22.625
240	0.375	23.375	22.625	22.625	
30"	290	0.375	29.375	28.625	28.625
	291	0.375	29.375	28.625	28.625
	292	0.375	29.375	28.625	28.625
	293	0.375	29.375	28.625	28.625
	294	0.375	29.375	28.625	28.625
	295	0.375	29.375	28.625	28.625
	296	0.375	29.375	28.625	28.625
	297	0.375	29.375	28.625	28.625
	298	0.375	29.375	28.625	28.625
	299	0.375	29.375	28.625	28.625
300	0.375	29.375	28.625	28.625	

Sincerely,

Cole K. Tankersley
 Cole Tankersley,
 Project Manager, Capital Projects

Attachment "H" Proof of Property Interest


Supporting documentation of compensable property interest that establishes reimbursement eligibility as referenced in Texas Transportation Code §203.092.

Property interest documented through applicable affidavits and required attachments.

ROW-U-Affidavit

The roadway improvement project is designated as an Interstate Highway project; therefore, no supporting documentation of compensable interest is required.

 7/31/2023
Initial Date
TxDOT

 7/31/2023
Initial Date
Utility

City of Denton I-35 (from I-35 merge/split to Milam) WWW Easements Appraisal

Denton CAD No.	TXDOT Parcel No.	Property Owner	LF of Easement Acquisition	Width (ft)	Total (SF)	Anticipated Fee Price/SF		Total Easement Value	LF of Easement Acquisition	Width (ft)	Total (SF)	Temporary Construction Easement		Title Policy Fee	Total Easement Total	Water Easement Total	Sewer Easement Total	
						Permanent	Temporary					Permanent	Temporary					Permanent
754865	1	BLUE BEACON INTERNATIONAL INC	818	20	16,359	\$1.30		\$21,267.00						\$317.00	\$21,584.00	\$21,584.00	\$0.00	
179418																		
36795	2	CATDENTON 35 SIX INC	9149	20	182,976	\$1.50		\$274,464.00						\$321.00	\$274,785.00	\$137,392.50	\$137,392.50	
632459																		
37353	88A	CATDENTON 35 INC	6203	20	124,051	\$1.35		\$167,489.00						\$321.00	\$167,790.00	\$83,895.00	\$83,895.00	
297205	11	NIMAC LTD	2373	20	47,460	\$1.26		\$59,941.00						\$589.00	\$60,530.00	\$60,530.00	\$0.00	
135315	14	MUSKET CORP #217	966	20	19,325	\$1.65		\$31,886.00						\$390.00	\$32,276.00	\$32,276.00	\$0.00	
37070	16	CRAWFORD, KURT WILLIAM TR OF THE CRAWFORD	768	20	15,352	\$2.81		\$43,177.50						\$471.00	\$43,648.50	\$43,648.50	\$0.00	
															\$600,813.50	\$379,326.00	\$221,287.50	

CSJ-087

SEE U00011547 CITY OF DENTON AGREEMENT - RCSJ 0195-02-091																		
Denton CAD No.	TXDOT Parcel No.	Property Owner	LF of Easement Acquisition	Width (ft)	Total (SF)	Anticipated Fee Price/SF		Total Easement Value	LF of Easement Acquisition	Width (ft)	Total (SF)	Temporary Construction Easement		Title Policy Fee	Total Easement Total	Water Easement Total	Sewer Easement Total	
						Permanent	Temporary					Permanent	Temporary					
34524	2	Kaylan's Inc	409	20	8,180	\$12.40		\$108,516.00						\$321.00	\$108,837.00	\$108,837.00	\$0.00	
34525	3	MALA STRANA LLC	166	20	3,322	\$12.64		\$42,000.00						\$465.00	\$42,465.00	\$42,465.00	\$0.00	
618924	4	HOME DEPOT USA INC	438	20	8,752	\$10.10		\$30,959.00						\$383.00	\$31,342.00	\$15,671.00	\$15,671.00	
34521	5	Manul Jalaram LLC	153	20	3,064	\$10.78		\$75,000.00						\$700.00	\$75,700.00	\$37,850.00	\$37,850.00	
34517	6	Cocomb Properties LLC	348	20	6,957	\$12.02		\$36,109.00						\$422.00	\$36,531.00	\$36,531.00	\$0.00	
86868	8	Paces Hotels LLC	150	20	3,003	\$6.38		\$18,482.00	50	25	1,244	\$2.55		\$296.00	\$21,930.00	\$21,930.00	\$0.00	
693328	9	Health Services of North Texas, Inc.	145	20	2,896	\$5.13		\$142,518.00						\$321.00	\$142,839.00	\$142,839.00	\$0.00	
675206	14	Three Wilkows Land Development LLC	1389	20	27,779	\$22.97		\$134,743.00						\$321.00	\$135,064.00	\$135,064.00	\$0.00	
523508	15A	Hunt Windsor LLC	293	20	5,867	\$6.25		\$6,806.00	48	25	1,203	\$2.50		\$238.00	\$7,044.00	\$7,044.00	\$0.00	
775494	15B	32 HUNDRED WINDSOR GARDENS LP & JRM	54	20	1,089	\$8.44		\$63,089.00						\$613.00	\$63,702.00	\$63,702.00	\$0.00	
87582	16.1	Salvaging Teens at Risk Inc/D/BA The Educator Center	320	20	6,406	\$7.05		\$41,387.00	244	25	6,100	\$1.90		\$457.00	\$53,434.00	\$53,434.00	\$0.00	
773229	16	Zimmer Denton LLC	2608	20	52,151	\$5.13		\$267,525.00						\$321.00	\$267,883.00	\$267,883.00	\$0.00	
765175	17/18	RYLAND ACQUISITION LP	293	20	5,868	\$13.86		\$122,867.73						\$321.00	\$123,188.73	\$61,594.37	\$61,594.37	
632465	19	Catdenton 35 Four Inc	443	20	8,862	\$4.64		\$100,330.00						\$321.00	\$100,651.00	\$50,325.50	\$50,325.50	
613725	20	Wilbarger Street, LP	561	20	11,228	\$4.63		\$8,325.00						\$238.00	\$8,563.00	\$8,563.00	\$0.00	
160306	21	The Rockline-Denton Group P/S	90	20	1,800	\$8.78		\$132,020.87						\$321.00	\$132,341.87	\$132,341.87	\$0.00	
174371	25	Harris, Lisa J Investment Trust	751	20	15,028	\$6.13		\$107,543.00						\$321.00	\$107,864.00	\$98,932.00	\$98,932.00	
40201	36/37	Wesglen Partners LTD	1611	20	32,221	\$6.12		\$44,265.00						\$479.00	\$44,744.00	\$44,744.00	\$0.00	
36937	38	Love's Travel Stops & Country Stores Inc	361	20	7,227	\$7.90		\$170,703.00						\$321.00	\$171,024.00	\$85,512.00	\$85,512.00	
699314	38	Love's Travel Stops & Country Stores Inc	1080	20	21,604													
36958	39	Foster, Mark D & Madeline																
39525	40	TA Operating LLC																
															\$1,881,852.60	\$1,448,536.24	\$433,316.37	

CSJ-090

SEE U000XXXXX CITY OF DENTON AGREEMENT - RCSJ 0195-03-074																	
Denton CAD No.	TXDOT Parcel No.	Property Owner	LF of Easement Acquisition	Width (ft)	Total (SF)	Anticipated Fee Price/SF		Total Easement Value	LF of Easement Acquisition	Width (ft)	Total (SF)	Temporary Construction Easement		Title Policy Fee	Total Easement Total	Water Easement Total	Sewer Easement Total
						Permanent	Temporary					Permanent	Temporary				
126931	124	TXDOT	1021	28	28,597	\$20.00		\$457,552.00						\$321.00	\$457,873.00	\$228,936.50	\$228,936.50
132006	2	TXDOT												\$321.00	\$130,629.00	\$0.00	\$130,629.00
36534	2A	TXDOT												\$238.00	\$8,038.00	\$0.00	\$8,038.00
132008	2B	TXDOT												\$345.00	\$25,593.00	\$0.00	\$25,593.00
107896	3	STRUGA PARTNERS L												\$292.00	\$18,000.00	\$9,000.00	\$9,000.00

Denton CAD No.	TxDOT Parcel No.	Property Owner	Permanent		Temporary Construction Easement		Total (SF)	Anticipated Fee Price/SF	Total Easement Value	LF of Easement Acquisition	Width (ft)	Total (SF)	Anticipated Fee Price/SF	Total (SF)	Title Policy Fee	Water Easement Total	Sewer Easement Total
			LF of Easement Acquisition	Width (ft)	LF of Easement Acquisition	Width (ft)											
108000	6	STUGA PARTNER; 2701 W OAK STREET DENTON COUNTY	490	20	3,390		\$10.01	\$19,152.00							\$393.00	\$16,369.00	\$0.00
126918	10	BEN E KEITH	1026	20	21,858		\$8.59	\$150,195.00							\$321.00	\$84,515.25	\$0.00
36546	11/12	BEN E KEITH	426	45	14,203		\$8.44	\$95,870.00							\$321.00	\$39,005.50	\$0.00
39258	16	TEXAS BLUE HORSESHOE LTD	1257	20	25,137		\$6.25	\$157,107.00							\$321.00	\$96,715.00	\$0.00
209152	19.1	ALL STORAGE DENTON LLC	733	20	14,665		\$9.13	\$100,000.00							\$321.00	\$78,714.00	\$0.00
755968	19.2	ALL STORAGE DENTON LLC	137	20	2,735		\$11.10	\$30,368.00							\$321.00	\$0.00	\$134,224.00
755968	19.3	ALL STORAGE DENTON LLC	200	20	3,990		\$6.80	\$27,142.00							\$321.00	\$0.00	\$30,746.00
165500	20	ERHQ LP	233	20	4,667		\$15.63	\$72,941.00							\$321.00	\$13,750.00	\$13,750.00
194819	24	RETAIL BLDG INC	150	20	3,002		\$20.84	\$62,570.00							\$321.00	\$36,811.00	\$36,811.00
183305	25	GOLDEN ARCH LTD	370	20	7,398		\$13.64	\$100,927.00							\$321.00	\$31,590.50	\$31,590.50
167562	26	CR POPPER OWNER LLC	333	20	6,660		\$15.50	\$103,230.00							\$321.00	\$101,248.00	\$0.00
167551	27	VICTRON STORES LP	20276	20	405,523		\$20.00	\$596,205							\$321.00	\$51,755.50	\$51,755.50
Total																	
CSJ 074	Combined Total		20276	20	405,523		\$20.00	\$596,205							\$2,409	\$51,755.50	\$51,755.50
Water Department Easement	Combined Total		33435	20	664,832		\$20.00	\$3,050,385							\$15,350	\$17,770	\$17,770
Combined Total	Combined Total		38984	20	812,436		\$20.00	\$4,296,398							\$5,000	\$19,309	\$19,309

SEE U000XXXXX CITY OF DENTON AGREEMENT- RCSJ 0195-03-074

Total with Permanent, Temporary Easements and Title: **\$4,336,477**

Water Department Easement Shared Easements with DME Combined Total: **\$4,336,477.35**

50% of DME: **\$625,486.30**

Total Water/WW Budget: \$3,709,991.05

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2 - 9	CONTROL & INDEX SHEETS
10 - 39	PLAN SHEETS
40 - 41	OWNERSHIP TABLE

LEGEND

- SET 5/8" IRON ROD W/ PINK PLASTIC CAP STAMPED TxDOT SURVEY MARKER, RIGHT-OF-WAY MONUMENT
- FOUND MONUMENT (AS INDICATED)
- SET 1/2" IRON ROD WITH "MCGRAY & MCGRAY" CAP
- (XXX) RECORD INFORMATION
- - - PROPERTY LINE (OWNERSHIP DIVISION)
- - - DEED LINE (OWNERSHIP IN COMMON)
- - - DISTANCE NOT TO SCALE
- ACCESS DENIAL LINE
- ① PARCEL NUMBER FOR R.O.W. ACQUISITION
- R.O.W. RIGHT-OF-WAY
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- N.T.S. NOT TO SCALE
- P.U.E. PUBLIC UTILITY EASEMENT
- ESMT. EASEMENT
- PI POINT OF INTERSECTION
- PC POINT OF CURVATURE
- PT POINT OF TANGENCY
- PRC POINT OF REVERSE CURVE
- O.R.D.C.T. OFFICIAL RECORDS, DENTON COUNTY, TEXAS
- M.R.D.C.T. MAP RECORDS, DENTON COUNTY, TEXAS
- P.R.D.C.T. PLAT RECORDS, DENTON COUNTY, TEXAS
- D.R.D.C.T. DEED RECORDS, DENTON COUNTY, TEXAS
- R.P.R.D.C.T. REAL PROPERTY RECORDS, DENTON COUNTY, TEXAS

- NOTES:
- BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM (SRCS), NORTH-CENTRAL ZONE (2202), NORTH AMERICAN DATUM OF 1983 (NAD 83), 2011 ADJUSTMENT, EPOCH 2010.00. ALL DISTANCES AND COORDINATES SHOWN HEREON ARE SURFACE AND MAY BE CONVERTED TO GRID BY DIVIDING BY THE COMBINED ADJUSTMENT FACTOR OF 1.000150630. ALL MEASUREMENTS ARE IN U.S. SURVEY FEET.
 - THE FOLLOWING PUBLISHED PRIMARY GPS CONTROL POINTS WERE RECOVERED, ANALYZED, AND HELD HORIZONTALLY: E0610295, E0610295, E0610295, E0610305, E0610315, E0610325, E0610355, E0610395, AND E0610359.
 - ABSTRACTING WAS PERFORMED FROM JUNE 2018 THROUGH JULY 2018.
 - FIELD SURVEYING WAS PERFORMED FROM JULY 2018 THROUGH FEBRUARY 2019.
 - RIGHT-OF-WAY MAPS WERE COMPLETED IN JUNE 2019.
 - LATITUDE AND LONGITUDE SHOWN HEREON ARE IN DEGREES MINUTES SECONDS, BASED ON GRID COORDINATES.
 - PROPOSED RIGHT-OF-WAY BASELINE MAY NOT MATCH PROPOSED CONSTRUCTION BASELINE OR AS-BUILT BASELINE DUE TO DESIGN CHANGES.
 - ** THE MONUMENT DESCRIBED AND SET MAY BE REPLACED WITH A TxDOT TYPE II RIGHT-OF-WAY MARKER UPON COMPLETION OF THE HIGHWAY CONSTRUCTION PROJECT UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR, EITHER EMPLOYED OR RETAINED BY TxDOT.

STATE OF TEXAS

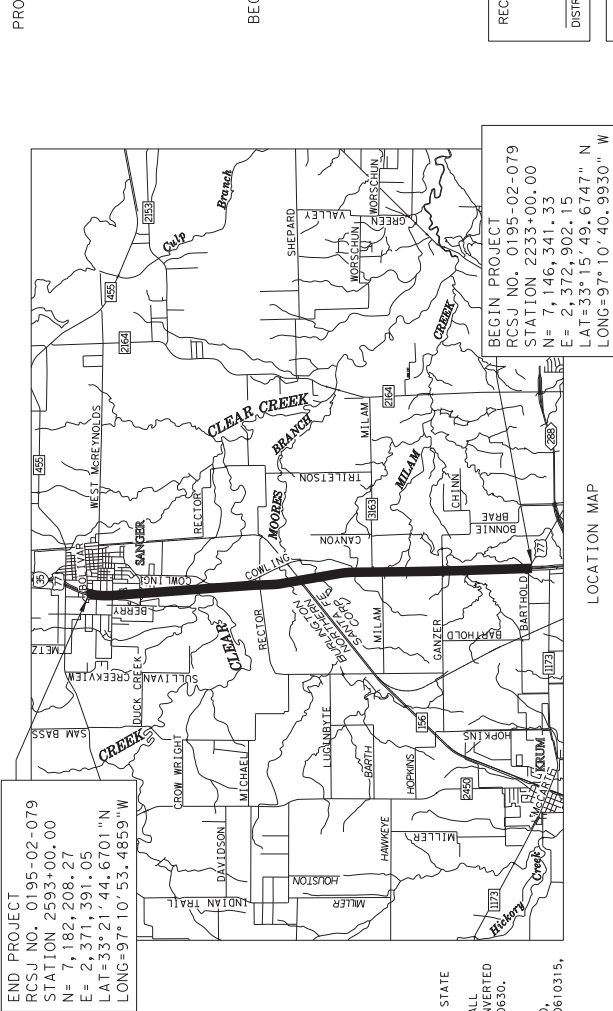
TEXAS DEPARTMENT OF TRANSPORTATION

PLANS OF PROPOSED RIGHT OF WAY PROJECT

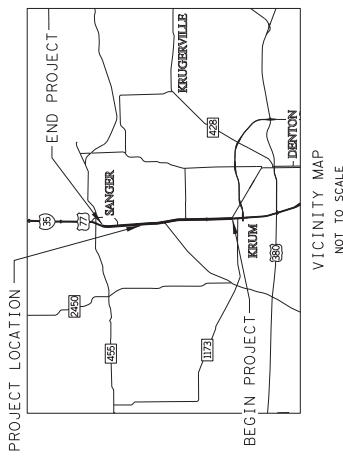
IH 35

DENTON COUNTY
C. C. S. J.: 0195-02-074
R. C. S. J.: 0195-02-079

FROM: BARTHOLD ROAD TO: BOLIVAR STREET
NET LENGTH OF PROJECT = 6.82 MILES = 36,000.00 FEET



LOCATION MAP



VICINITY MAP
NOT TO SCALE

FED. ROAD DIV. NO.	STATE	FEDERAL AID PROJECT NO.	HIGHWAY NO.
6	TEXAS		IH 35
STATE DIST.	COUNTY	CONTROL NO.	JOB NO.
18	DENTON		1
	R. C. S. J.	0195	02
	C. C. S. J.	0195	02

REVISIONS:

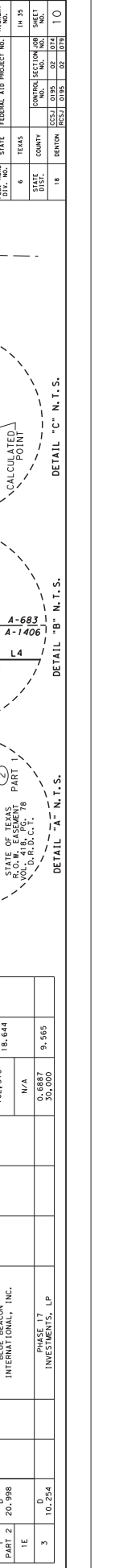
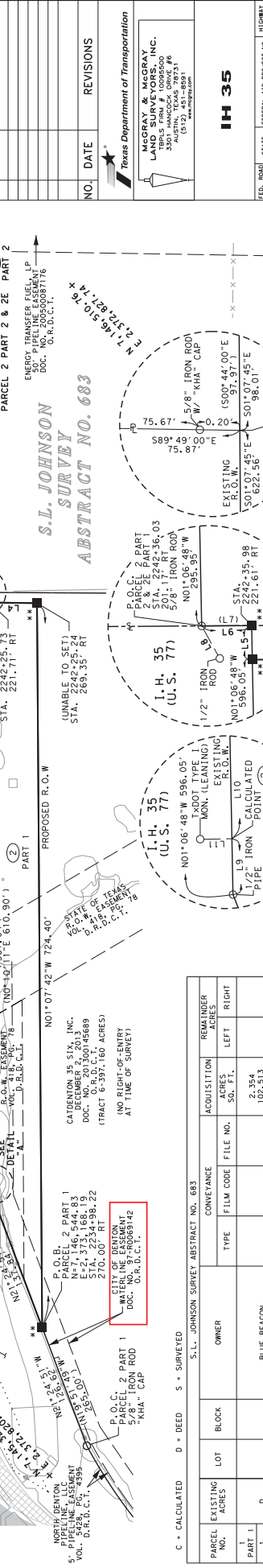
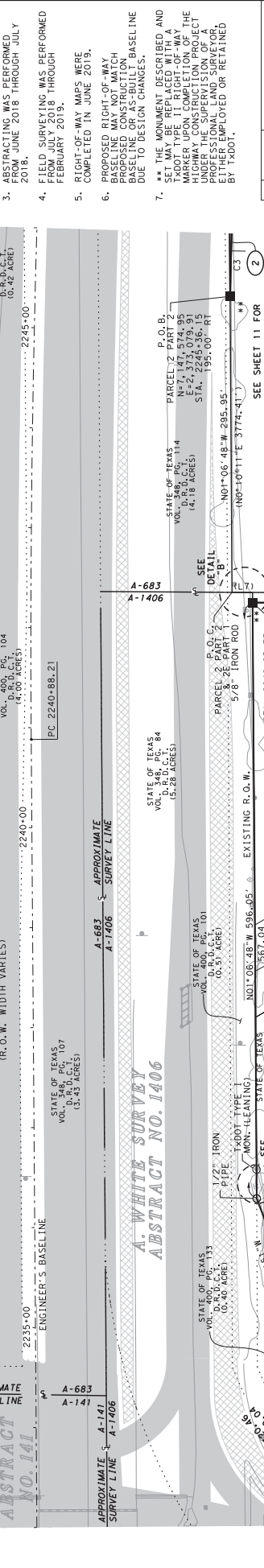
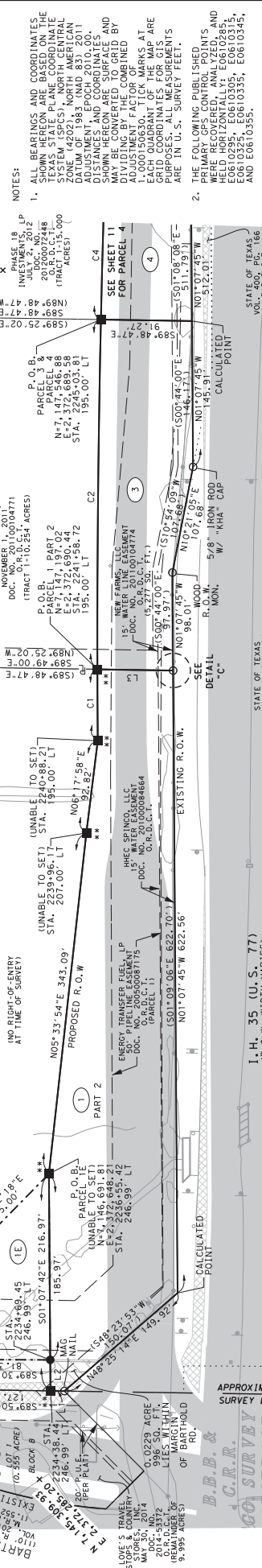
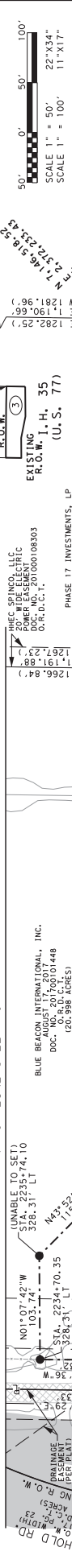
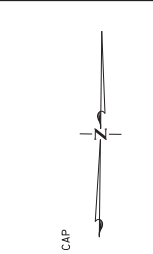
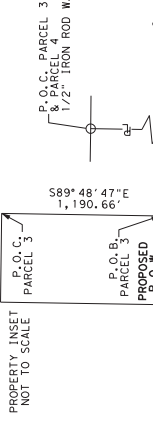
RECOMMENDED FOR ACQUISITION	DATE
DISTRICT SURVEYOR OR ROW ADMINISTRATOR	DATE
RECOMMENDED FOR ACQUISITION	DATE
AREA ENGINEER OR DESIGN ENGINEER	DATE
FINAL APPROVAL - ACQUISITION COMPLETE	DATE
DISTRICT ENGINEER	DATE

ENGINEER'S BASELINE CURVE DATA
 PI EASTING = 2372.874, 99
 PI SOUTHERN = 2246.79, 03
 DEGREE OF CURVE = 00° 24' 23" (RT)
 TANGENT = 590.82'
 RADIUS = 14,295.00'
 CHORD BEARING = N 01° 16' 15" E
 CHORD LENGTH = 2180.60'
 CHORD STATION = 2252+69.21

CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD
C1	71.48'	14,295.00'	00° 17' 11"	N00° 59' 07" W	71.48'
C2	72.87'	14,295.00'	02° 58' 45"	S02° 06' 52" W	72.96'
C3	512.04'	14,295.00'	02° 03' 08"	N01° 35' 11" E	512.02'

LINE	BEARING	DISTANCE
L1	N89° 50' 29" W	13.95'
L2	S89° 50' 29" W	31.97'
L3	S01° 06' 48" W	47.64'
L4	N01° 06' 48" W	10.09'
L5	N88° 53' 12" W	0.89'

LINE	BEARING	DISTANCE
L6	S89° 51' 12" W	20.43'
L7	S89° 51' 12" W	31.95'
L8	S01° 06' 48" W	47.64'
L9	N01° 06' 48" W	25.01'
L10	N01° 06' 48" W	10.09'
L11	S88° 53' 12" W	0.89'



NOTES:
 1. ALL BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM (SPCS) NORTH CENTRAL DATUM OF 1983 (NAD 83) 2011 ADJUSTMENT, EPOCH 2010.00. SHOWN HEREON ARE SURFACE AND ADJUSTED TO GRID BY AN ADJUSTMENT FACTOR OF 1.000150630. TICK MARKS AT EACH QUADRANT OF THE CAP ARE FOR PURPOSES. ALL MEASUREMENTS ARE IN U.S. SURVEY FEET.
 2. THE FOLLOWING CONTROL POINTS PRIMARY GPS CONTROL POINTS AND HELD HORIZONTAL YEL. E610335, E610295, E610305, E610315, E610325, E610335, E610345, E610355.
 3. ABSTRACTING WAS PERFORMED ON 28 JUNE 2016 THROUGH JULY 2019.
 4. FIELD SURVEYING WAS PERFORMED FROM JULY 2018 THROUGH FEBRUARY 2019.
 5. RIGHT-OF-WAY MAPS WERE COMPLETED IN JUNE 2019.
 6. PROPOSED RIGHT-OF-WAY BASELINE MAY NOT MATCH PROPOSED CONSTRUCTION BASELINE DUE TO DESIGN CHANGE.
 7. SET MONUMENT DESCRIBED AND SET MONUMENT ACROSS THE MARKER UPON COMPLETION OF THE PROJECT UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR EMPLOYED OR RETAINED BY TDDOT.

NO.	DATE	REVISIONS

McGRAY & McGRAY
 3501 HANCOCK DRIVE #6
 HOUSTON, TEXAS 77050
 (832) 481-8851
 www.mcgray.com

I.H. 35
 (U.S. 77)

STATE OF TEXAS
 COUNTY OF DALLAS

SECTION 17
 INVESTMENTS, LP

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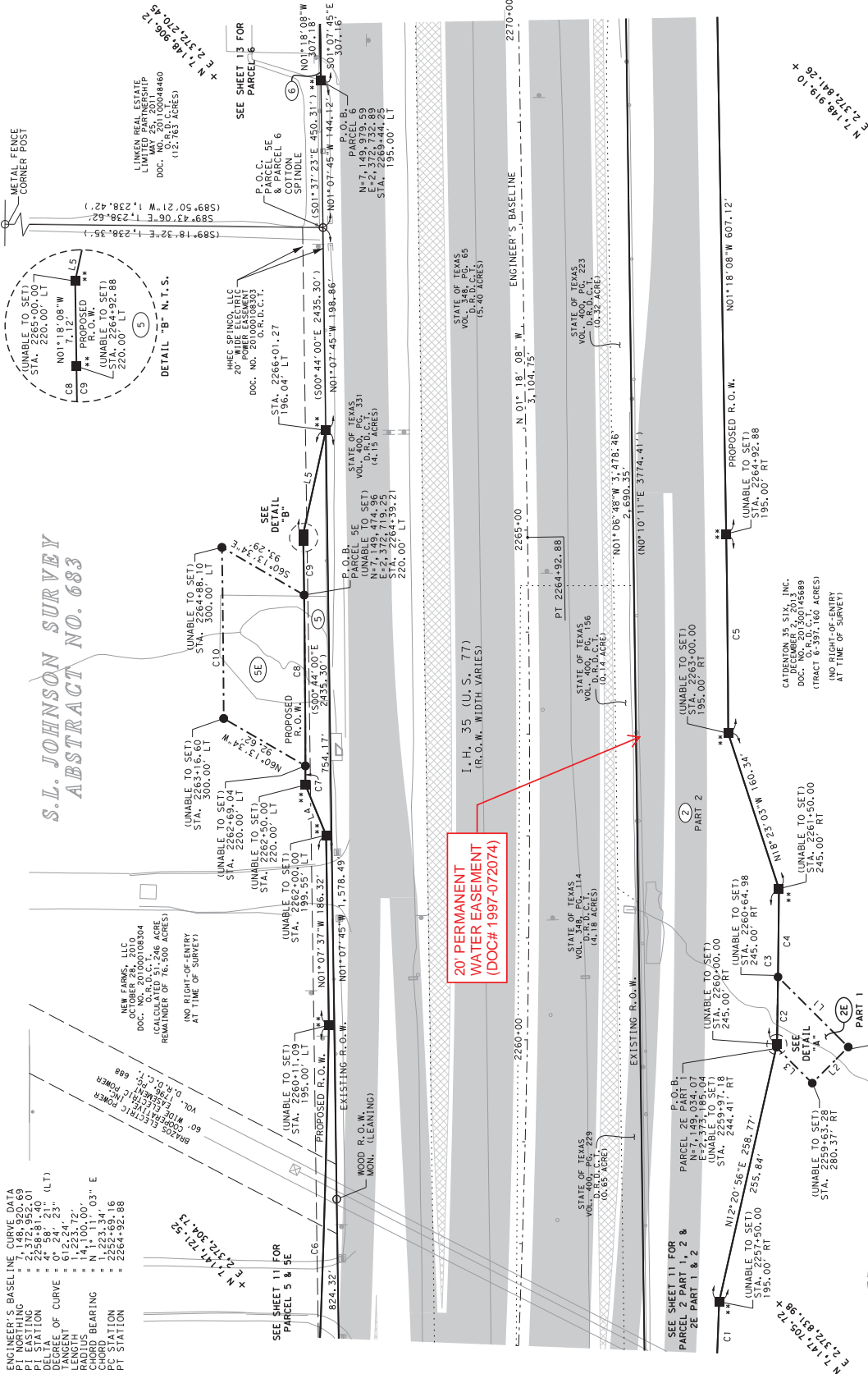
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ENGINEER'S BASELINE CURVE DATA
 P1 EASTING = 2,172,852.01
 P1 NORTHING = 2258,811.40 (LT)
 DEGREE OF CURVE = 0° 24' 23"
 TANGENT = 612.24'
 CHORD BEARING = N 1° 11' 03" E
 CHORD LENGTH = 523.84'
 P2 EASTING = 2264,922.88
 P2 NORTHING = 2264,922.88

S.L. JOHNSON SURVEY ABSTRACT NO. 683



CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD
C1	487.49'	14,295.00'	01° 57' 14"	N02° 41' 36" E	487.46'
C2	66.11'	14,345.00'	00° 15' 51"	N00° 34' 07" E	66.11'
C3	152.61'	14,345.00'	00° 36' 34"	N00° 23' 45" E	152.61'
C4	86.50'	14,345.00'	00° 20' 43"	N00° 15' 50" E	86.49'
C5	195.55'	14,295.00'	00° 47' 02"	N00° 54' 37" W	195.55'
C6	731.67'	13,905.00'	03° 00' 53"	N02° 09' 47" E	731.58'
C7	18.75'	13,800.00'	00° 04' 39"	N00° 21' 14" W	18.75'
C8	239.09'	13,880.00'	00° 59' 13"	N00° 48' 32" W	239.09'
C9	52.83'	13,880.00'	00° 13' 05"	N01° 11' 36" W	52.83'
C10	167.85'	13,800.00'	00° 41' 49"	N00° 56' 04" W	167.85'

LINE	BEARING	DISTANCE
L1	S45° 23' 09" E	97.38'
L2	S44° 36' 51" W	50.00'
L3	N45° 23' 09" W	49.85'
L4	N22° 45' 46" W	53.33'
L5	N12° 00' 41" E	104.07'

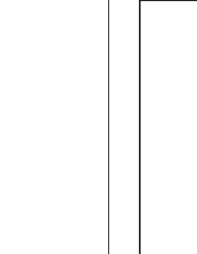
IH 35

McGRAY & McGRAY
 LAND SURVEYORS, INC.
 3501 HANCOCK DRIVE, #6
 HOUSTON, TEXAS 77058
 (817) 481-8581
 www.mcgray.com

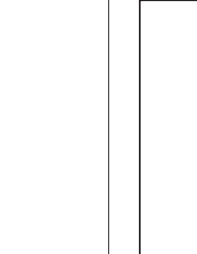
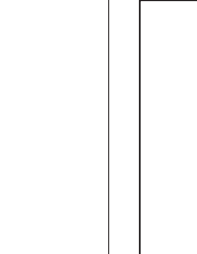
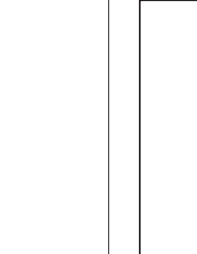
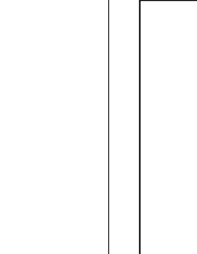
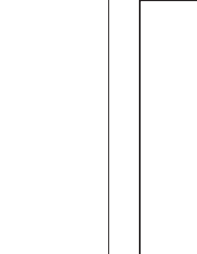
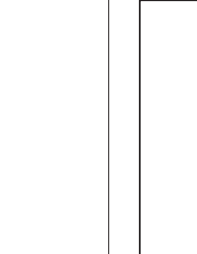
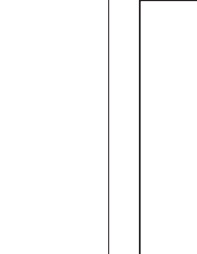
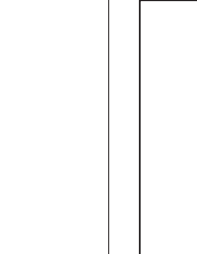
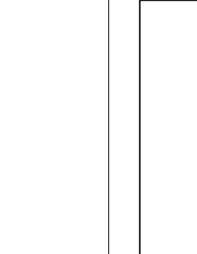
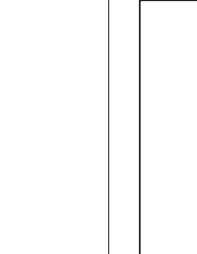
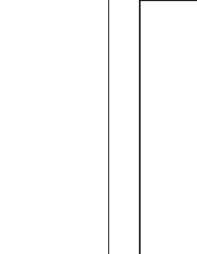
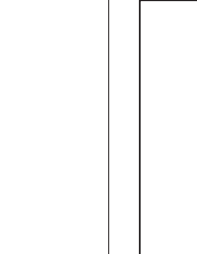
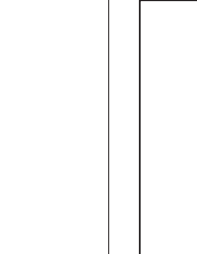
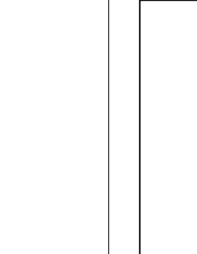
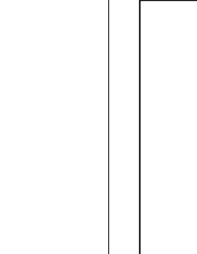
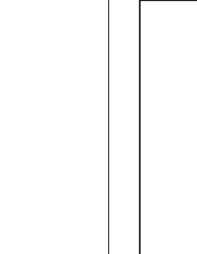
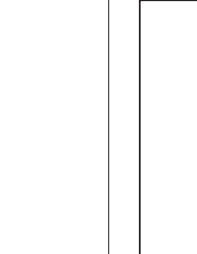
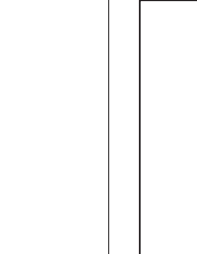
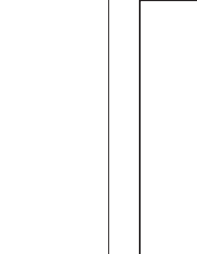
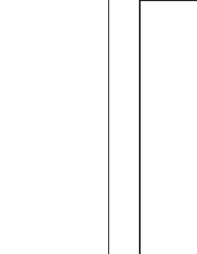
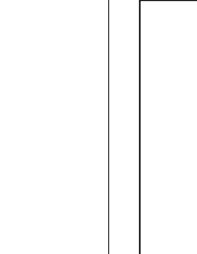
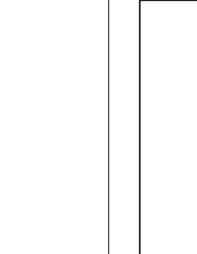
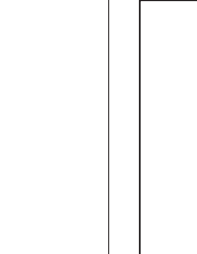
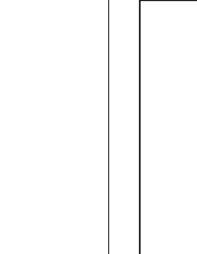
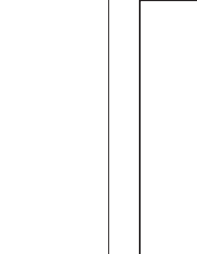
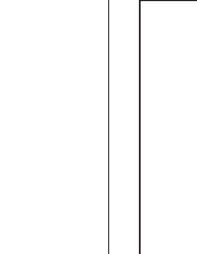
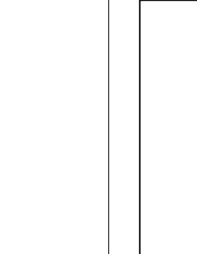
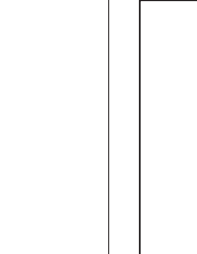
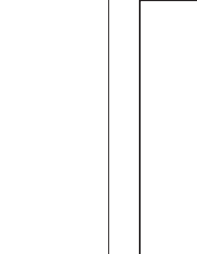
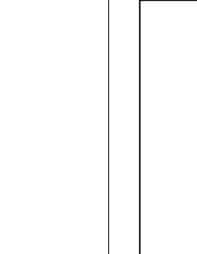
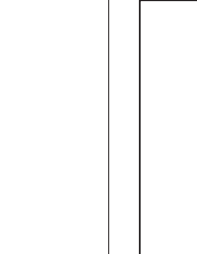
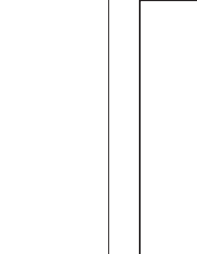
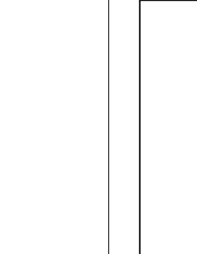
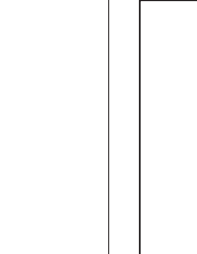
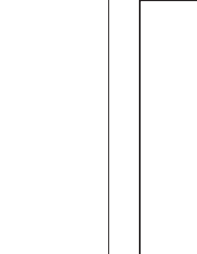
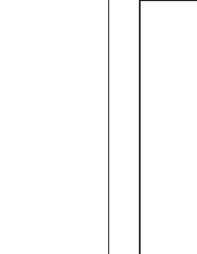
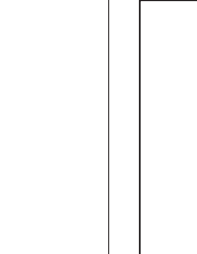
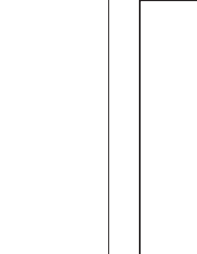
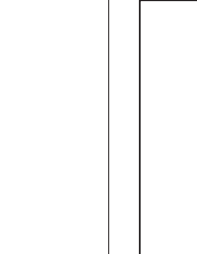
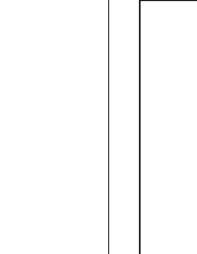
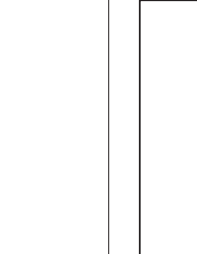
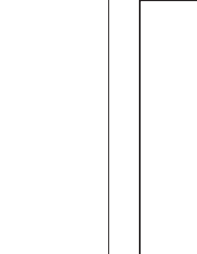
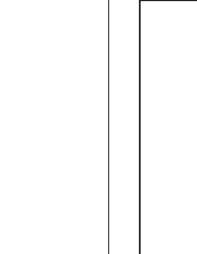
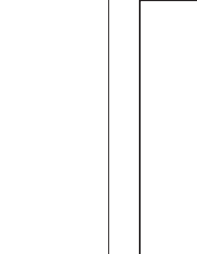
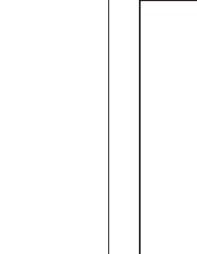
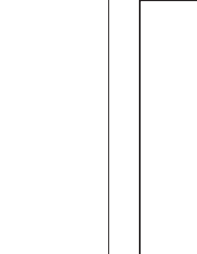
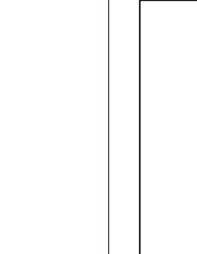
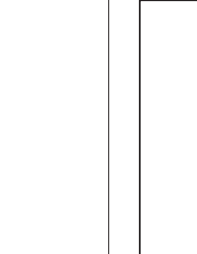
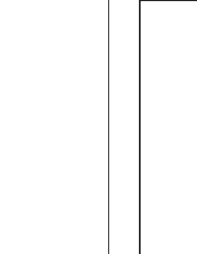
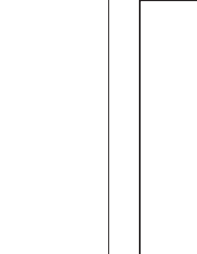
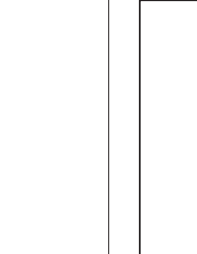
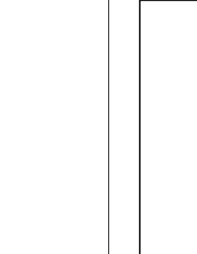
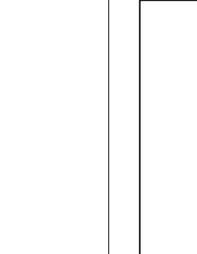
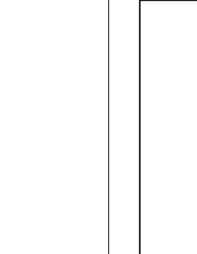
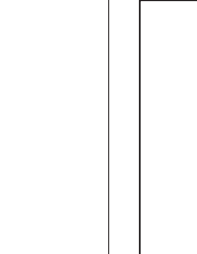
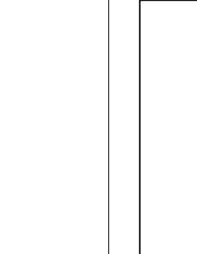
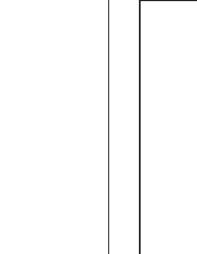
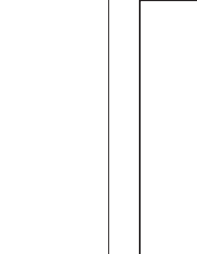
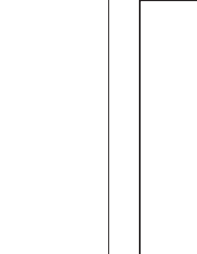
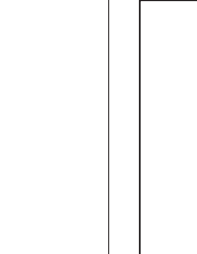
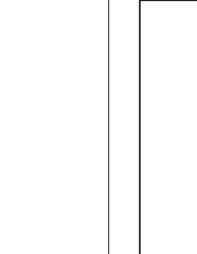
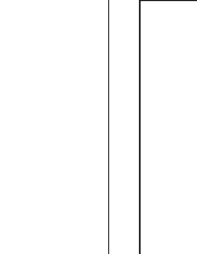
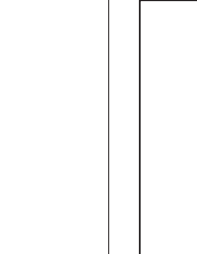
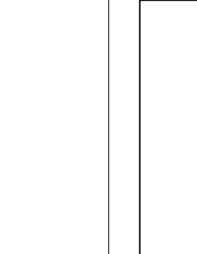
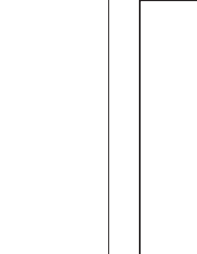
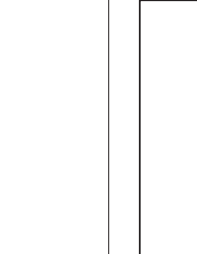
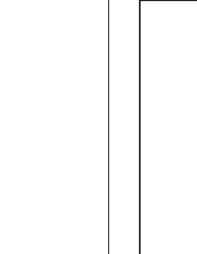
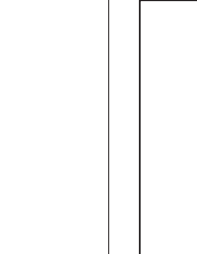
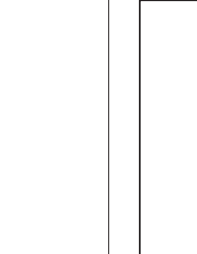
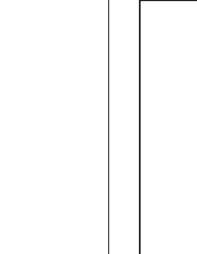
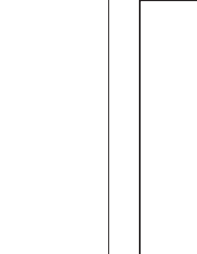
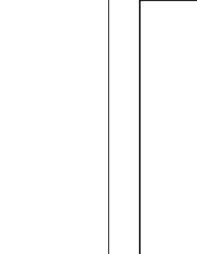
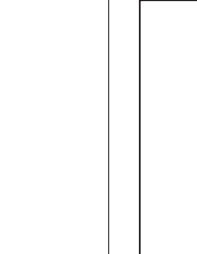
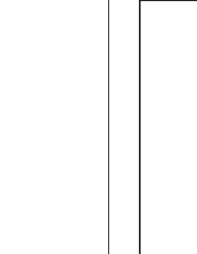
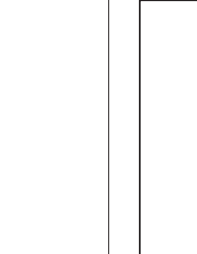
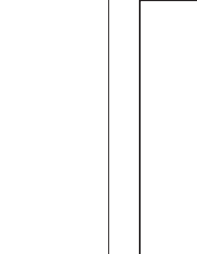
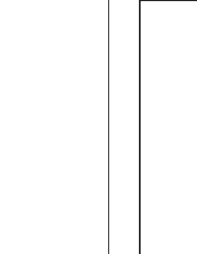
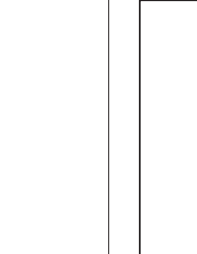
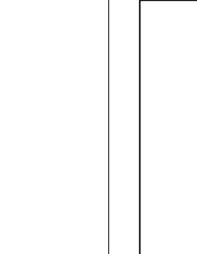
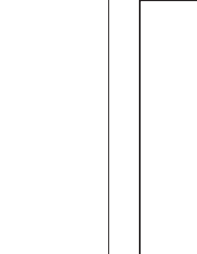
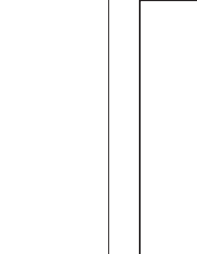
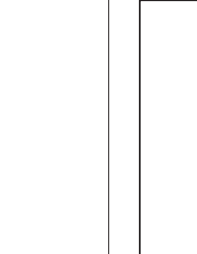
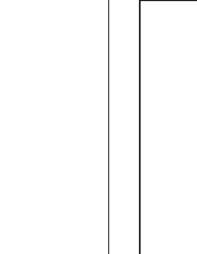
FED. ROAD DIST. NO.	STATE	FEDERAL AID PROJECT NO.	HIGHWAY NO.
6	TEXAS		IH 35

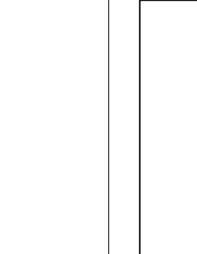
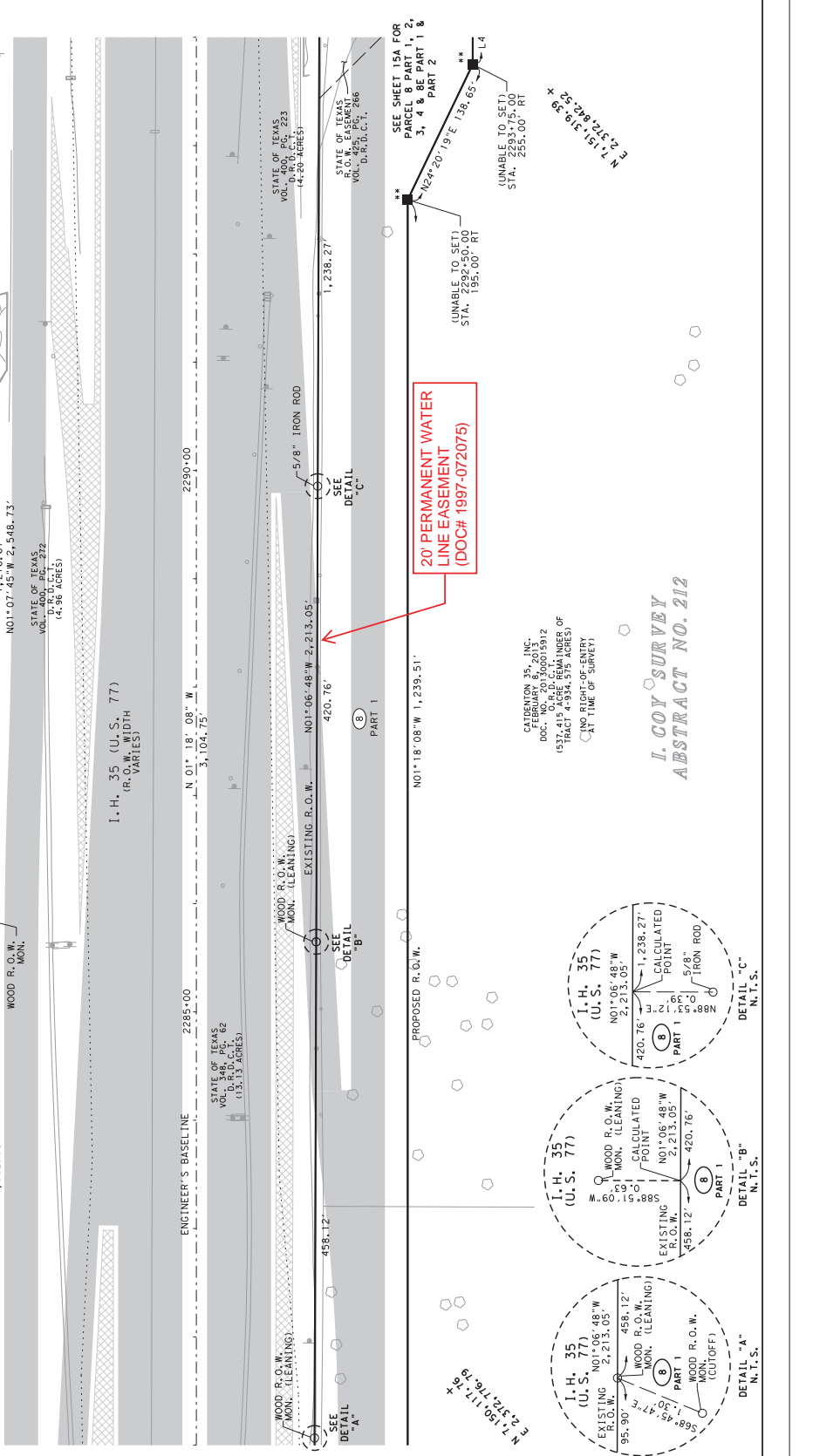
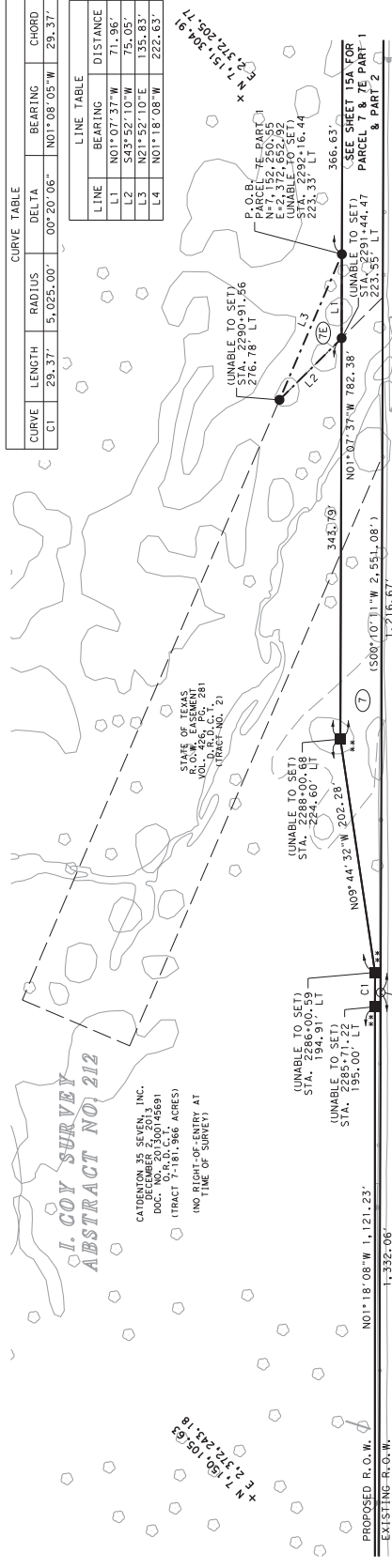
STATE	COUNTY	SECTION	RANGE	SHEET
TX	DADE	035	02	074

SECTION	RANGE	SHEET
035	02	074



- NOTES:
- ALL BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE ZONE 14N (SPCS) NORTH CENTRAL DATUM OF 1983 (NAD 83) 2011 ADJUSTMENT, EPOCH 2010.00. SHOWN HEREON ARE SURFACE AND MAY BE CONVERTED TO GRID BY ADJUSTMENT FACTOR OF 1.000150630. TICK MARKS AT 1,000.00 FEET. CONTROL POINTS ARE GROUND CONTROL POINTS FOR THIS PURPOSES. ALL MEASUREMENTS ARE IN U.S. SURVEY FEET.
 - THE FOLLOWING PUBLISHED PRIMARY GPS CONTROL POINTS WERE USED FOR THIS SURVEY: E0810295, E0610305, E0610315, E0810325, E0610335, E0610345, AND E0610355.
 - ABSTRACTING WAS PERFORMED ON JUNE 2018 THROUGH JULY 2018. FIELD SURVEYING WAS PERFORMED FROM JULY 2018 THROUGH FEBRUARY 2019.
 - RIGHT-OF-WAY MAPS WERE COMPLETED IN JUNE 2019.
 - PROPOSED RIGHT-OF-WAY BASELINE MAY NOT MATCH PROPOSED CONSTRUCTION BASELINE DUE TO DESIGN CHANGES.
 - THE MONUMENT DESCRIBED AND SET MAY BE REPLACED WITH A TYPICAL TYPE II RIGHT-OF-WAY MARKER UPON COMPLETION OF THE PROJECT UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR BY TXDOT.





NOTES:

- ALL BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE 1983 NAD 83 DATUM. THE STATE PLANNING CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 (NAD 83), 2011 DISTANCES AND COORDINATES SHOWN HEREON ARE SURFACE AND UNADJUSTED. THE ADJUSTMENT FACTOR OF EACH QUADRANT OF THE MAP ARE GRID COORDINATES FOR GIS PURPOSES. ALL MEASUREMENTS ARE IN U.S. SURVEY FEET.
- THE FOLLOWING PUBLISHED MAPS WERE REVIEWED, ANALYZED AND HELD HORIZONTALLY: E610282, E610329, E610335, E610341, E610345, E610353, E610355, E610359, AND E610355.
- ABSTRACTING WAS PERFORMED FROM JUNE 2018 THROUGH JULY 2018.
- FIELD SURVEYING WAS PERFORMED FROM JULY 2018 THROUGH FEBRUARY 2019.
- RIGHT-OF-WAY MAPS WERE COMPLETED IN JUNE 2019.
- PROPOSED RIGHT-OF-WAY BASELINE MAY NOT MATCH EXISTING RIGHT-OF-WAY BASELINE OR AS-BUILT BASELINE DUE TO DESIGN CHANGES.
- ** THE MONUMENT DESCRIBED AND SET MAY BE REPLACED WITH A MONUMENT UPON COMPLETION OF THE HIGHWAY CONSTRUCTION PROJECT UNDER THE SUPERVISION OF A LICENSED SURVEYOR. EITHER EMPLOYED OR RETAINED BY TxDOT.

STATE OF TEXAS
 VOL. 400, P. 223
 D.R.D.C.T.
 (4.20 ACRES)

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FED. ROAD DIST. NO.	STATE	FEDERAL AID PROJECT NO.	HIGHWAY NO.
6	TEXAS		IH 35

STATE	COUNTY	SECTION	RANGE	SHEET
18	BRAYTON	02	02	14

IH 35

McGRAY & McGRAY
 LAND SURVEYING, INC.
 3501 HANCOCK DRIVE, #6
 HOUSTON, TEXAS 77058
 (832) 481-8851
 www.mcgray.com

**I. COY SURVEY
 ABSTRACT NO. 212**

CADENTON 35, INC.
 DOC. NO. 201700745691
 (TRACT 7, 181, 566 ACRES)
 (NO RECORD OF ENTRY AT TIME OF SURVEY)

I. H. 35 (U.S. 77)
 (R.O.W. WIDTH VARIES)

ENGINEER'S BASELINE
 N 01° 18' 08" W
 1,104.75'

I. H. 35 (U.S. 77)
 (R.O.W. (LEANNING))
 N 01° 06' 48" W
 2,213.05'

I. H. 35 (U.S. 77)
 (R.O.W. (LEANNING))
 N 01° 06' 48" W
 2,213.05'

I. H. 35 (U.S. 77)
 (R.O.W. (LEANNING))
 N 01° 06' 48" W
 2,213.05'

I. H. 35 (U.S. 77)
 (R.O.W. (LEANNING))
 N 01° 06' 48" W
 2,213.05'

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 (4.20 ACRES)

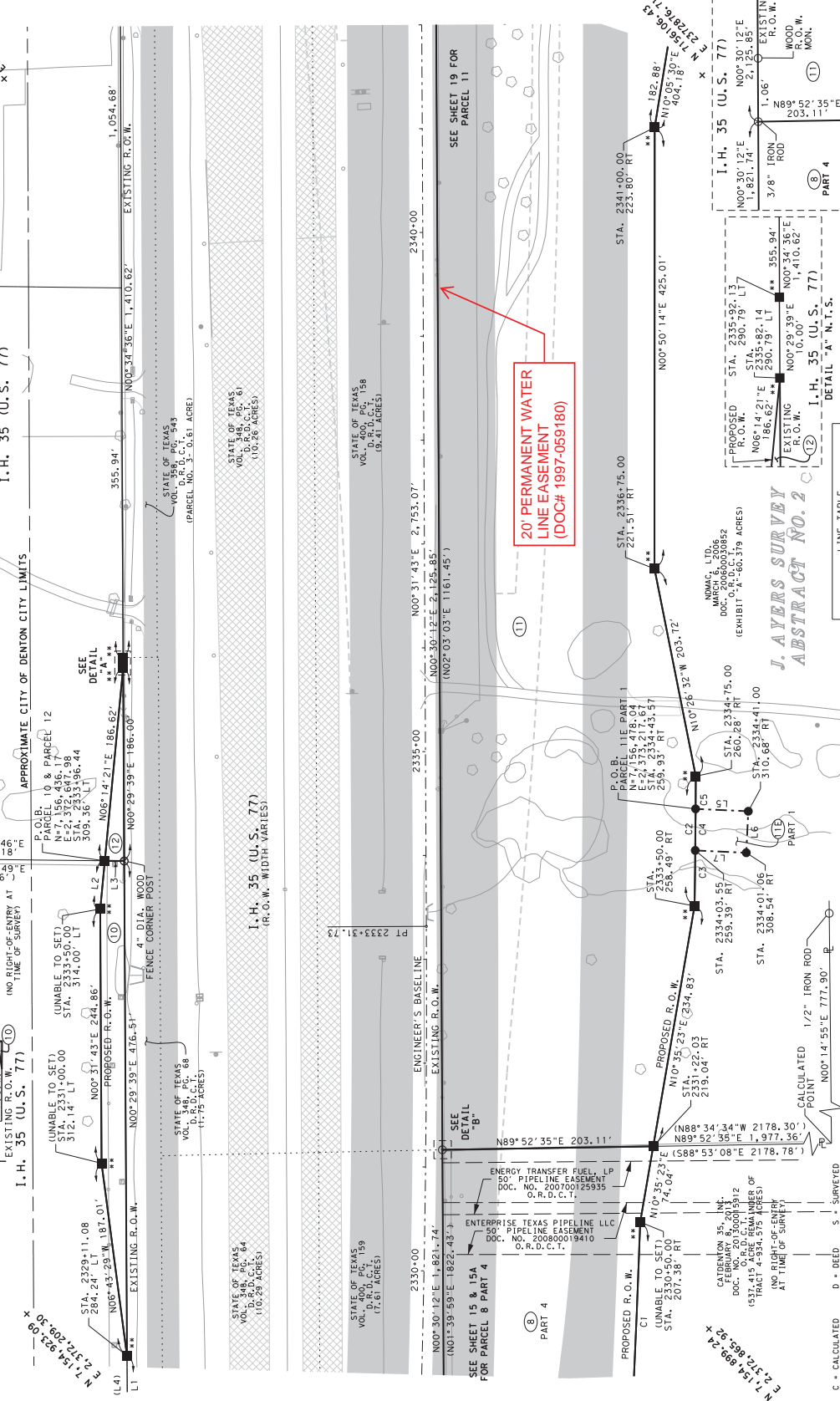
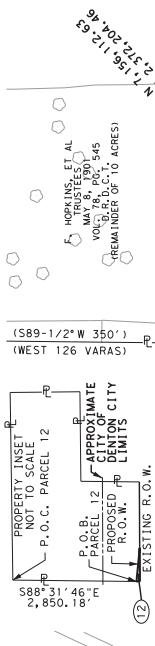
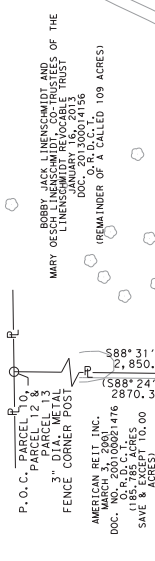
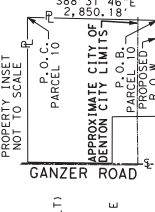
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STATE OF TEXAS
 VOL. 400, P. 223
 D.R.D.C.T.
 (4.20 ACRES)

STATE OF TEXAS
 VOL. 400, P. 223
 D.R.D.C.T.
 (4.20 ACRES)

ENGINEER'S BASELINE CURVE DATA
 PI STATION = 2330+00.00
 PI EASTING = 312,417.98
 PI NORTHING = 10,000.00
 DEGREE OF CURVE = 90° 24' 23"
 TANGENT = 479.54'
 RADIUS = 951.00'
 CHORD BEARING = N 02° 28' 35" E
 CHORD = 956.52'
 PT STATION = 2333+51.73



J. AYERS SURVEY ABSTRACT NO. 2

PARCEL NO.	EXISTING ACRES	LOT	BLOCK	OWNER	ACQUISITION METHOD	REMAINING ACRES
10	175.785			AMERICAN REIT INC.	FILE NO. 0,2041	175.581
12	104.73			BERRY OESCH WILNSCHMIDT AND CO-TRUSTEES OF THE WILNSCHMIDT REVEGETABLE TRUST	FILE NO. 0,3999	104.69

LINE TABLE

LINE	BEARING	DISTANCE	CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD
L1	N00°29'39"E	1,298.09'	C1	544.94'	14,295.00'	02°11'03"	N03°55'00"E	544.90'
L2	N06°14'21"E	18.68'	C2	125.01'	14,340.00'	00°29'58"	N01°21'07"E	125.01'
L3	S88°31'46"W	18.68'	C3	55.56'	14,340.00'	00°12'50"	N01°29'41"E	55.56'
L4	S00°33'40"W	50.81'	C4	40.03'	14,340.00'	00°09'36"	N01°18'27"E	40.03'
L5	S86°34'39"E	50.81'	C5	31.43'	14,340.00'	00°07'32"	N01°09'56"E	31.43'
L6	S03°35'50"W	40.00'						
L7	N66°34'39"W	49.21'						

CURVE TABLE

LINE	BEARING	DISTANCE	CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD
L1	N00°29'39"E	1,298.09'	C1	544.94'	14,295.00'	02°11'03"	N03°55'00"E	544.90'
L2	N06°14'21"E	18.68'	C2	125.01'	14,340.00'	00°29'58"	N01°21'07"E	125.01'
L3	S88°31'46"W	18.68'	C3	55.56'	14,340.00'	00°12'50"	N01°29'41"E	55.56'
L4	S00°33'40"W	50.81'	C4	40.03'	14,340.00'	00°09'36"	N01°18'27"E	40.03'
L5	S86°34'39"E	50.81'	C5	31.43'	14,340.00'	00°07'32"	N01°09'56"E	31.43'
L6	S03°35'50"W	40.00'						
L7	N66°34'39"W	49.21'						



NOTES:
 1. ALL BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE ZONE (4202) NORTH AMERICAN DATUM OF 1983 (NAD 83) 2011 ADJUSTMENTS AND COORDINATE SHOWN HEREON ARE SURFACE AND MAY BE CONVERTED TO GRID BY ADJUSTMENT FACTOR OF 1.000150630. TICK MARKS AT 1,000' INTERVALS FOR UTM GRID COORDINATES FOR UTM ARE IN U.S. SURVEY FEET.
 2. THE FOLLOWING PUBLISHED PRIMARY GPS CONTROL POINTS WERE USED FOR THIS SURVEY: HELD HORIZONTAL Y: E0610285, E0610299, E0610309, E0610315, E0610329, E0610335, E0610345, AND E0610355.
 3. ASBESTOS LINES WERE PERFORMED FROM JUNE 2016 THROUGH JULY 2018.
 4. FIELD SURVEYING WAS PERFORMED FROM JULY 2018 THROUGH FEBRUARY 2019.
 5. RIGHT-OF-WAY MAPS WERE COMPLETED IN JUNE 2019.
 6. PROPOSED RIGHT-OF-WAY BASELINE MAY NOT MATCH PROPOSED CONSTRUCTION BASELINE DUE TO DESIGN CHANGES.
 7. ** THE MONUMENT DESCRIBED AND SET MAY BE REPLACED WITH A TYPED TYPE II RIGHT-OF-WAY UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR BY TROTT.

PROPERTY INSET NOT TO SCALE
 P.O.C. PARCEL 12
 P.O.C. PARCEL 13
 APPROXIMATE CITY OF DENTON CITY LIMITS
 EXISTING R.O.W. I.H. 35 (U.S.)

PROPERTY INSET NOT TO SCALE
 P.O.C. PARCEL 10
 P.O.C. PARCEL 11
 APPROXIMATE CITY OF DENTON CITY LIMITS
 EXISTING R.O.W. I.H. 35 (U.S.)

PROPERTY INSET NOT TO SCALE
 P.O.C. PARCEL 14
 P.O.C. PARCEL 15
 APPROXIMATE CITY OF DENTON CITY LIMITS
 EXISTING R.O.W. I.H. 35 (U.S.)

STATE OF TEXAS
 VOL. 348, PG. 64
 (110.29 ACRES)

STATE OF TEXAS
 VOL. 348, PG. 64
 (11.75 ACRES)

STATE OF TEXAS
 VOL. 348, PG. 61
 (110.26 ACRES)

STATE OF TEXAS
 VOL. 348, PG. 158
 (19.41 ACRES)

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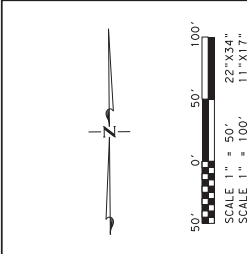
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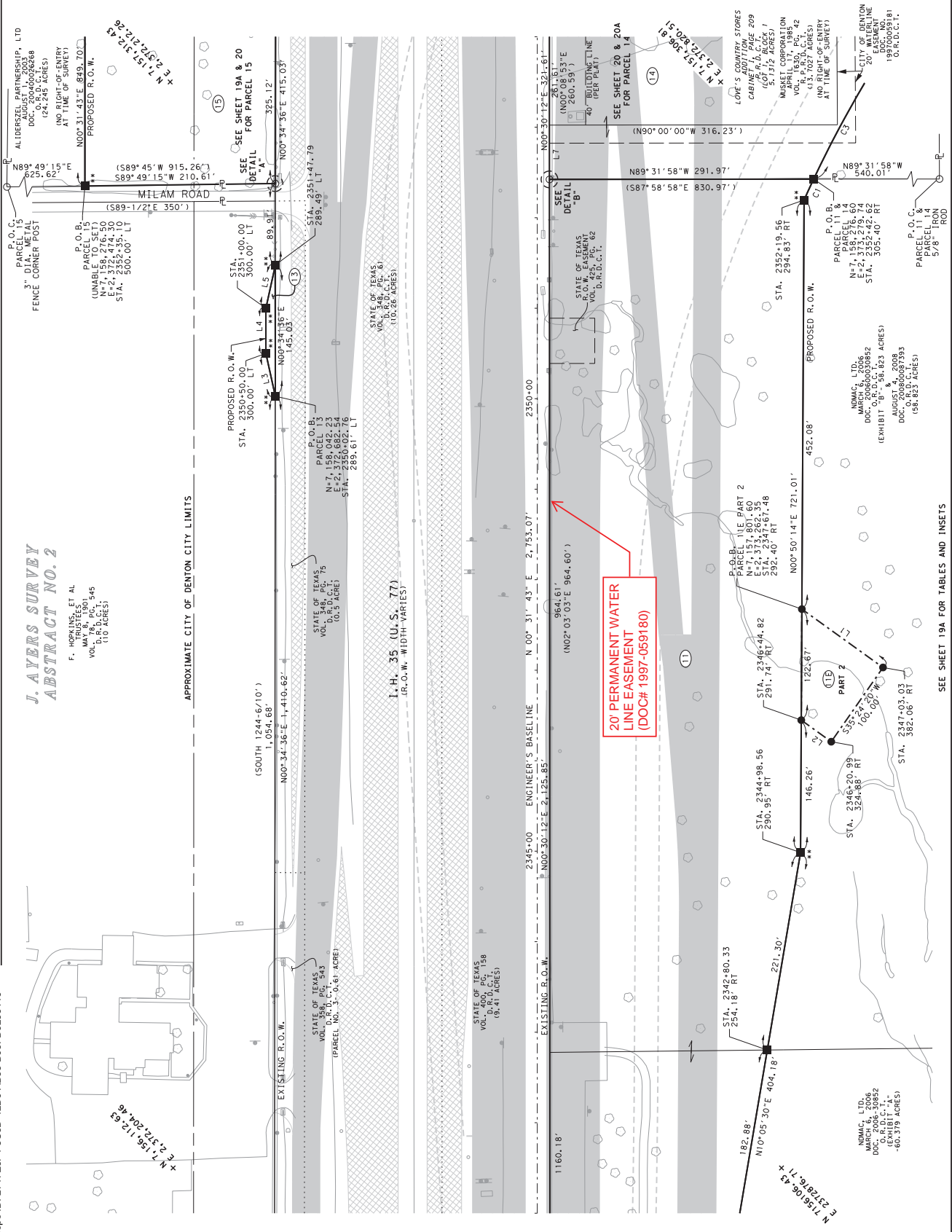
STATE OF TEXAS
 VOL. 40

**J. AYERS SURVEY
ABSTRACT NO. 2**

F. HOPKINS ET AL.
MAY 8, 1930
D.R.D.C.T.
(10 ACRES)



APPROXIMATE CITY OF DENTON CITY LIMITS



- NOTES:
- ALL BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM (SPLS) WITH THE DATUM OF 1983 (NAD 83) 2011 ADJUSTMENT. ALL POINTS AND SHOWN HEREON ARE SURFACE AND MAY BE CONVERTED TO GRID BY ADJUSTMENT FACTOR OF 1.000150630. TICK MARKS AT 1,000.00 FEET INTERVALS ARE GRID COORDINATES FOR GIS PURPOSES. ALL MEASUREMENTS ARE IN U.S. SURVEY FEET.
 - THE FOLLOWING PUBLISHED PRIMARY GPS CONTROL POINTS WERE USED FOR THIS SURVEY: E0610295, E0610305, E0610315, E0610325, E0610335, E0610345, AND E0610355.
 - RETRACTING WAS PERFORMED FROM JUNE 2018 THROUGH JULY 2018.
 - FIELD SURVEYING WAS PERFORMED FROM JULY 2018 THROUGH FEBRUARY 2019.
 - RIGHT-OF-WAY MAPS WERE COMPLETED IN JUNE 2019.
 - PROPOSED RIGHT-OF-WAY BASELINE MAY NOT MATCH PROPOSED CONSTRUCTION BASELINE DUE TO DESIGN CHANGES.
 - ** THE MONUMENT DESCRIBED AND SET MAY BE REPLACED WITH A TxDOT TYPE II RIGHT-OF-WAY MONUMENT. THE MONUMENTS UNDER HIGHWAY CONSTRUCTION PROJECT UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR, AS APPLIED ON OR RETAINED BY TxDOT.

NO.	DATE	REVISIONS

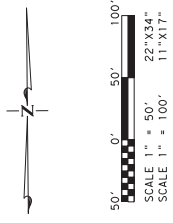
Texas Department of Transportation

MCGRAY & MCGRAY
INC.
1350 HANCOCK DRIVE #6
DENTON, TEXAS 76205
(817) 481-8891
www.mcgrayinc.com

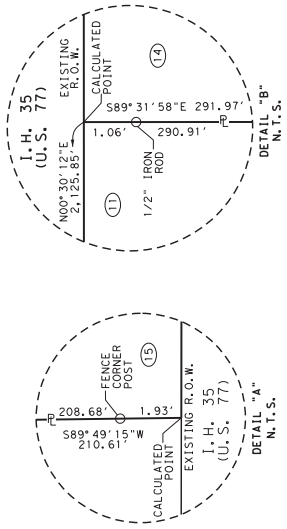
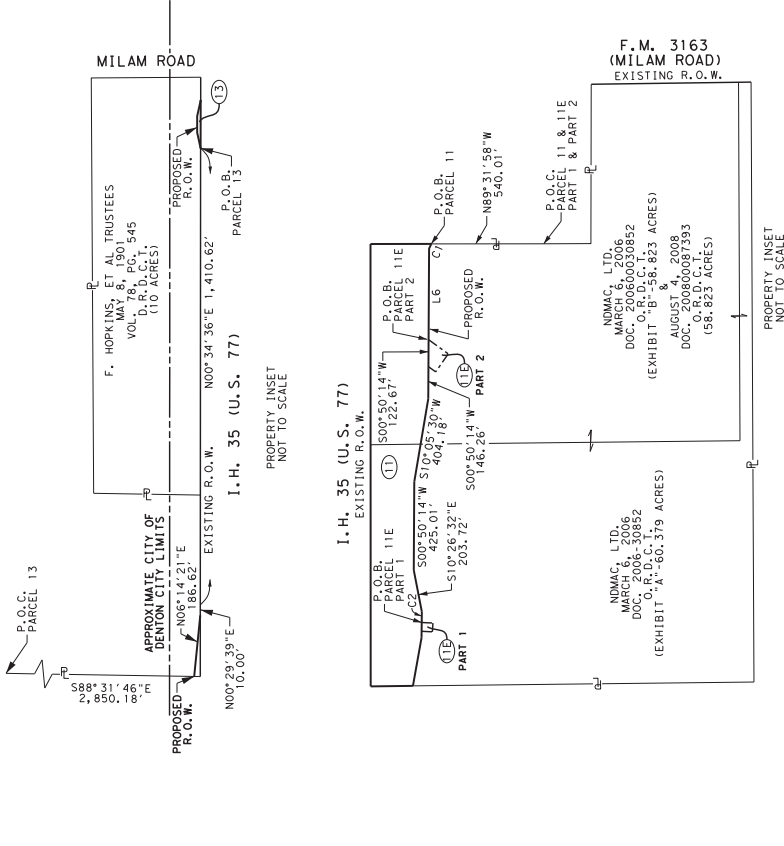
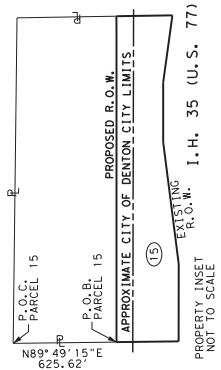
IH 35

FED. ROAD DIST. NO.	STATE	FEDERAL AID PROJECT NO.	HIGHWAY NO.
6	TEXAS		IH 35
SHEET NO.	COUNTY	SECTION	SHEET
18	DENTON	0135	02
		0135	02
		0135	02
		0135	02

SEE SHEET 19A FOR TABLES AND INSETS



NOTES:
 1. ALL BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE ZONE 1420 (S) NORTH AMERICAN DATUM OF 1983 (NAD 83) 2011 ADJUSTMENT, EPOCH 2010.00. SHOWN HEREON ARE SURFACE AND MATH POINTS. ALL POINTS MAY BE CONVERTED TO GRID BY ADJUSTMENT FACTOR OF 1.000150630. TICK MARKS AT 100' INTERVALS. ALL POINTS ARE GRID COORDINATES. FOR GIS PURPOSES, ALL MEASUREMENTS ARE IN U.S. SURVEY FEET.
 2. THE FOLLOWING PUBLISHED PRIMARY GPS CONTROL POINTS WERE USED IN THE SURVEY: HELD POINT (ZONAL Y: E0610285, E0610295, E0610305, E0610315, E0610325, E0610335, E0610345, AND E0610355).
 3. ABSTRACTING WAS PERFORMED ON JUNE 16, 2018 THROUGH JULY 2018.
 4. FIELD SURVEYING WAS PERFORMED FROM JULY 2018 THROUGH FEBRUARY 2019.
 5. RIGHT-OF-WAY MAPS WERE COMPLETED IN JUNE 2019.
 6. PROPOSED RIGHT-OF-WAY BASELINE MAY NOT MATCH PROPOSED CONSTRUCTION BASELINE DUE TO DESIGN CHANGES.
 7. ** THE MONUMENT DESCRIBED AND SET MAY BE REPLACED WITH A TxDOT TYPE II RIGHT-OF-WAY MARKER UPON COMPLETION OF THE PROJECT UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR EMPLOYED OR RETAINED BY TxDOT.



LINE	BEARING	DISTANCE
L1	S53°45'43\"/>	

CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD
C1	25.37'	12,242.00'	01°10'13\"/>		

PARCEL NO.	EXISTING ACRES	OWNER	BLOCK	LOT	CONVEYANCE TYPE	FILM CODE	FILE NO.	ACQUISITION		REMARKS
								ACRES	FILE NO.	
11		NDMAC, LTD.						521,922	107,227	
11E PART 1	119.202							0.0234	1,020	9.98
13	10	F. HOPKINS, ET AL TRUSTEES						5,315	18,930	
13D	24.245							231,250		

NO.	DATE	REVISIONS

Texas Department of Transportation
 MCGRAW & MCGRAW
 LAND SURVEYING, INC.
 3501 HANCOCK DRIVE, #6
 FORT WORTH, TEXAS 76106
 (817) 481-8881
 www.mcgraw.com

FED. ROAD DIST. NO.	STATE	FEDERAL AID PROJECT NO.	HIGHWAY NO.
6	TEXAS		IH 35
SITE	COUNTY	CONTROL SECTION NO.	SHEET
18	BEWTON	0135	02 OF 04
	REVISION	DATE	BY
	0135	02	074
	0135	02	074
	0135	02	074

IH 35

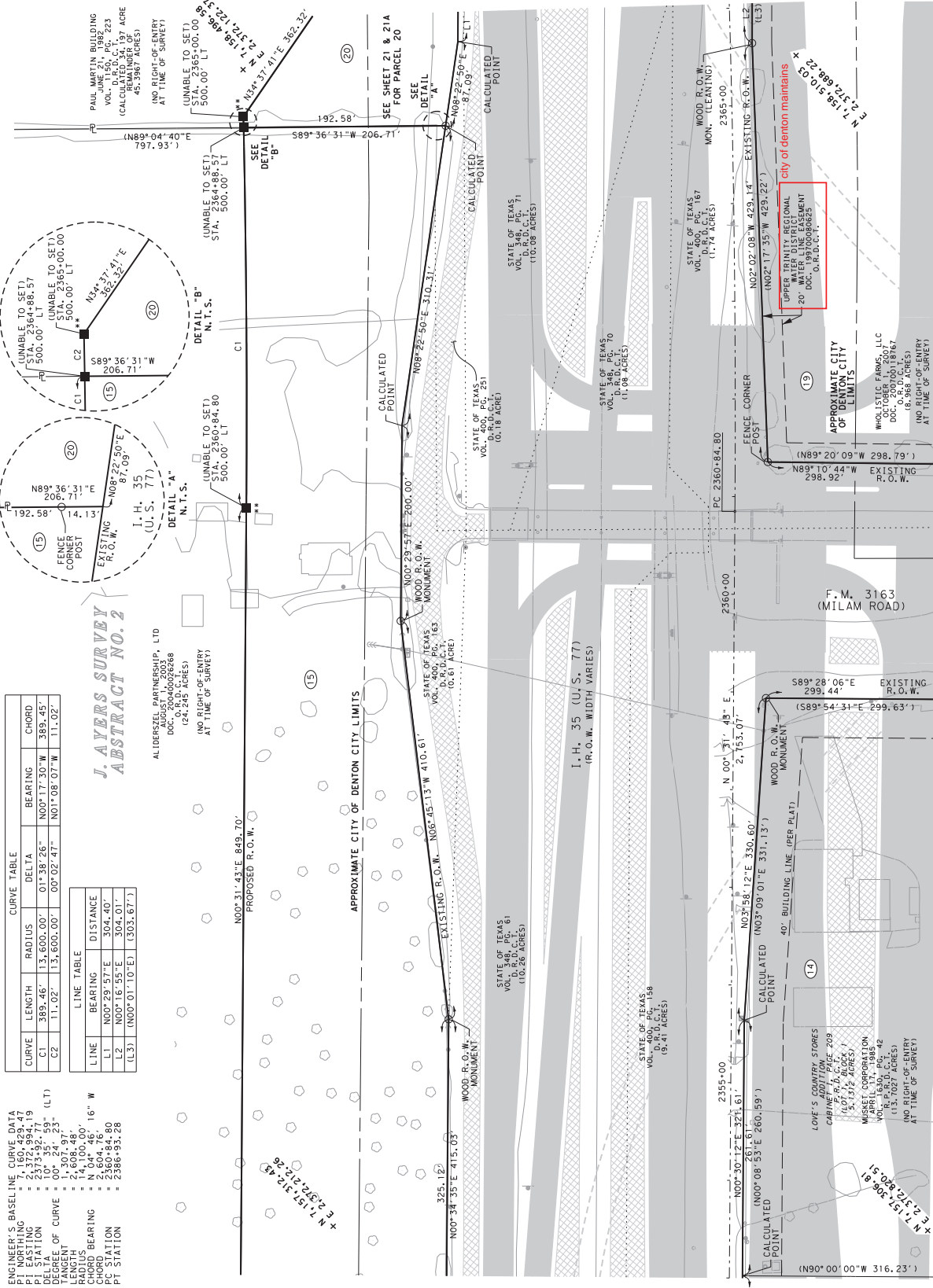
ENGINEER'S BASELINE CURVE DATA
 P.I. STATION = 2170.693
 P.O. STATION = 2373.927
 DEGREE OF CURVE = 10° 35' 33" (L1)
 TANGENT = 1307.975
 CHORD BEARING = N 04° 06' 16" W
 CHORD LENGTH = 2604.76
 CHORD STATION = 2386.9328
 P.C. STATION = 2157.31246
 P.T. STATION = 2412.67426

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	369.46'	13,600.00'	01° 38' 26"
C2	11.02'	13,600.00'	00° 02' 47"

LINE TABLE			
LINE	BEARING	DISTANCE	CHORD
L1	N00° 29' 57" E	304.40'	
L2	N00° 16' 55" E	304.01'	
(L3)	(N00° 01' 10" E)	(303.67')	

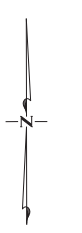
J. AYERS SURVEY NO. 2
ABSTRACT NO. 2

ALIDERSZEL PARTNERSHIP, LTD
 AUGUST 14, 2003
 DOC. D.R.O.C.T. # 2686
 (24.245 ACRES)
 (NO RIGHT-OF-ENTRY
 AT TIME OF SURVEY)



MATCH LINE SHEET 20A

MATCH LINE SHEET 20B



SCALE 1" = 50'
 SCALE 1" = 100'
 11" X 17"

- NOTES:
- ALL BEARINGS AND COORDINATES SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE ZONE (4202), NORTH AMERICAN DATUM OF 1983 (NAD 83) 2011 ADJUSTMENT, EPOCH 2010.00. SHOWN HEREON ARE SURFACE AND MAY BE CONVERTED TO GRID BY ADJUSTMENT FACTOR OBTAINED FROM THE NATIONAL SURVEYING SYSTEM. TICK MARKS AT 1,000.150630. GRID COORDINATES FOR THIS ARE IN U.S. SURVEY FEET.
 - THE FOLLOWING PUBLISHED PRIMARY GPS CONTROL POINTS AND HELD HORIZONTAL Y: E0610285, E0610295, E0610309, E0610315, AND E0610355. HELD VERTICAL Y: E0610355, AND E0610355.
 - ABSTRACTING WAS PERFORMED ON JUNE 2018 THROUGH JULY 2018.
 - FIELD SURVEYING WAS PERFORMED FROM JULY 2018 THROUGH FEBRUARY 2019.
 - RIGHT-OF-WAY MAPS WERE COMPLETED IN JUNE 2019.
 - PROPOSED RIGHT-OF-WAY BASELINE MAY NOT MATCH PROPOSED CONSTRUCTION BASELINE DUE TO DESIGN CHANGES.
 - ** THE MONUMENT DESCRIBED AND SET MAY BE REPLACED WITH A TYPICAL TYPE 11 RIGHT-OF-WAY MONUMENT. CONSTRUCTION PROJECT UNDER THE SUPERVISION OF A PROFESSIONAL LAND SURVEYOR BY TDDOT.

NO.	DATE	REVISIONS

Texas Department of Transportation
 MCGRAW & MCGRAW
 3501 HANCOCK DRIVE #6
 HOUSTON, TEXAS 77058
 (817) 481-8581
 www.txdot.gov

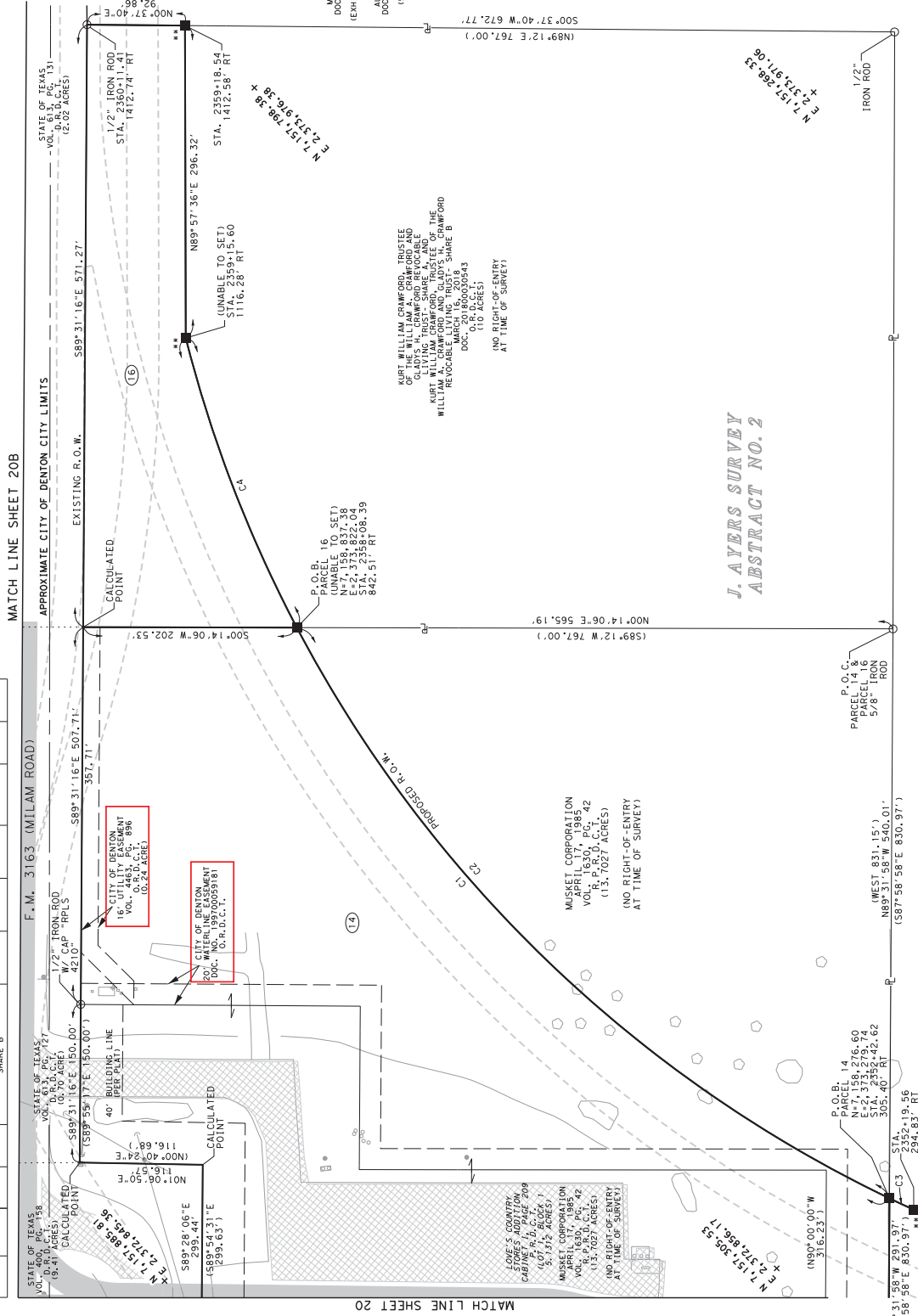
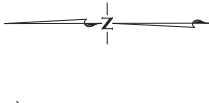
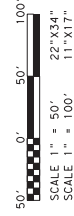
IH 35

FED. ROAD DIST. NO.	STATE	FEDERAL AID PROJECT NO.	HIGHWAY NO.
6	TEXAS		IH 35

SHEET NO.	SECTION NO.	SHEET TOTAL
18	02	20

PARCEL NO.	EASTING ACRES	LOT	BLOCK	OWNER	TYPE	CONVEYANCE FILE NO.	ACQUISITION		REMAINDER	
							ACRES	50' FT.	LEFT	RIGHT
14	D 13.1927			MUSKET CORPORATION KURT WILLIAM CRAWFORD, TRUSTEE OF THE WILLIAM A. CRAWFORD AND GLADYS H. CRAWFORD TRUST, SHARE A, AND KURT WILLIAM CRAWFORD, TRUSTEE OF THE WILLIAM A. CRAWFORD AND GLADYS H. CRAWFORD REVOCABLE LIVING TRUST- SHARE B			9.445 411,403	4.288	4.288	
16	D 10						1.541 67,112		8.459	

CURVE	LENGTH	RADIUS	DELTA	BEARING		CHORD
				FROM	TO	
C1	793.54'	1,242.00'	36°36'27"	N44°02'25"E	780.11'	
C2	1,113.62'	1,242.00'	51°22'24"	N50°15'10"E	1,076.69'	
C3	25.37'	12,242.00'	01°10'13"	N25°09'05"E	25.37'	
C4	294.71'	1,242.00'	13°35'44"	N69°08'30"E	294.02'	



- NOTES:
- ALL BEARINGS AND COORDINATES TOWNSHIP SERVED ARE ASSUMING THE SYSTEM (SPCS) NORTH CENTRAL ZONE (4202) NORTH AMERICAN ADJUSTMENT, EPOCH 2010.00. DISTANCES AND COORDINATES MAY BE CONVERTED TO GRID BY DIVIDING BY THE COMBINED 1.0001530 FACTOR. MARKS AT EACH QUADRANT OF THE MAP ARE GRID COORDINATES. COORDINATES ARE IN U.S. SURVEY FEET.
 - THE FOLLOWING PUBLISHED PRIMARY GPS CONTROL POINTS WERE RECOVERED, ANALYZED, AND FIELD CHECKED ON 06/03/18. E0610325, E0610326, E0610327, E0610328, E0610329, E0610330, E0610331, AND E0610335.
 - ABSTRACTING WAS PERFORMED FROM JUNE 2018 THROUGH JULY 2018.
 - FIELD SURVEYING WAS PERFORMED FROM FEBRUARY 2018 THROUGH FEBRUARY 2019.
 - RIGHT-OF-WAY MAPS WERE COMPLETED IN JUNE 2019.
 - PROPOSED RIGHT-OF-WAY MAPS WERE PERFORMED FOR THE PROPOSED CONSTRUCTION BASELINE OR AS-BUILT BASELINE DUE TO DESIGN CHANGES.
 - ** THE MONUMENT DESCRIBED AND SET MAY BE REPLACED WITH A MARKER UPON COMPLETION OF THE HIGHWAY CONSTRUCTION PROJECT. THE SURVEYOR IS A LICENSED PROFESSIONAL LAND SURVEYOR EITHER EMPLOYED OR RETAINED BY TXDOT.

NO.	DATE	REVISIONS

Texas Department of Transportation

MCGRAY & MCGRAY
LAND SURVEYING, INC.
3501 MANOCK DRIVE #8
DENTON, TEXAS 76209
(817) 481-8881
www.mcgray.com

IH 35

FED. ROAD DIST. NO.	STATE	FEDERAL AID PROJECT NO.	HIGHWAY NO.
6	TEXAS		IH 35
STATE DIST.	COUNTY	CONTROL SECTION NO.	SHEET NO.
16	DENTON	CCS 0135	02 OF 07A

J. AYERS SURVEY
ABSTRACT NO. 2

MATCH LINE SHEET 20

MATCH LINE SHEET 20

U00017637

TxDOT Highway Project Number:

0195-02-074

TxDOT Parcel 01

RCSJ 0195-02-079

From: US77/Barthold Dr.

To: Milam Rd

Utility Longitudinal Stations:

Sta 2234+38 LT to Sta 2241+57 LT

Existing Easement

Instrument Number

2019-171 & 2010-84664

LOT 1, BLOCK A OF

BLUE BEACON INTERNATIONAL ADDITION

BEING 11.787 ACRES IN

THE S.L. JOHNSON SURVEY A-683

CITY OF DENTON, DENTON COUNTY, TEXAS



MICHELLE FRENCH
 DENTON COUNTY TAX ASSESSOR/COLLECTOR
 P O BOX 90223
 DENTON, TX 76202
 (940) 349-3500

Tax Certificate

Property Account Number:
315333DEN

Statement Date: 03/21/2019
 Owner: BLUE BEACON INTERNATIONAL
 Mailing Address: INC
 ATTN: GUY WALKER, 500 GRAVES

Property Location: 135/BARTHOLD RD
 Legal: A0683A S.L. JOHNSON|TR
 8A|21 ACRES|OLD DCAD
 TR 3B(1)|6A

TAX CERTIFICATE FOR ACCOUNT 315333DEN
 AD NUMBER A0683A-000-0008-0004
 GF NUMBER:
 CERTIFICATE NO 35884866

DATE 3/21/2019
 FEE \$10.00
PROPERTY DESCRIPTION
 A0683A S.L. JOHNSON|TR 8A|21
 ACRES|OLD DCAD TR 3B(1)|6A

PAGE 1 OF 1

COLLECTING AGENCY
 DENTON COUNTY
 P O BOX 90223
 DENTON TX 76202

135/BARTHOLD RD
 21 ACRES

REQUESTED BY
 LANDMARK SURVEYORS LLC
 4238 / 35 NORTH
 DENTON TX 76207

PROPERTY OWNER
 BLUE BEACON INTERNATIONAL INC
 ATTN: GUY WALKER, 500 GRAVES BLVD
 SALINA, KS 67402

THIS IS TO CERTIFY THAT, AFTER A CAREFUL CHECK OF THE RECORDS OF THE DENTON COUNTY TAX OFFICE, THE FOLLOWING DELINQUENT TAXES, PENALTIES, AND INTEREST ARE DUE ON THE DESCRIBED PROPERTY

THE ABOVE DESCRIBED PROPERTY TAX MAY BE RECEIVING SPECIAL APPRAISAL BASED ON ITS USE, AND ADDITIONAL ROLLBACK TAXES MAY BECOME DUE BASED ON THE PROVISIONS OF THE SPECIAL APPRAISAL (IF APPLICABLE)

TAXES FOR 2019 HAVE NOT BEEN BILLED OR CALCULATED.
 26.11 GOVERNMENT ACQUISITION - PLEASE SEE ATTACHED WORKSHEET

CURRENT VALUES			
LAND MKT VALUE	289,770	IMPROVEMENT	0
AG LAND VALUE	317,130	DEF HOMESTEAD	0
APPRAISED VALUE	606,900	LIMITED VALUE	0
EXEMPTIONS	Ag 1D1		
LAWSUITS			

YEAR	TAX UNIT	LEVY	PEN	INT	DEF INT	ATTY	AMOUNT DUE
2018	CITY OF DENTON	0.00	0.00	0.00	0.00	0.00	0.00
2018	CLEAR CREEK WATERSHED	0.00	0.00	0.00	0.00	0.00	0.00
2018	DENTON COUNTY	0.00	0.00	0.00	0.00	0.00	0.00
2018	DENTON ISD	0.00	0.00	0.00	0.00	0.00	0.00
2018 SUB TOTAL							\$0.00

TOTAL CERTIFIED TAX DUE 3/2019: \$ 0.00

ISSUED TO: LANDMARK SURVEYORS LLC
 ACCOUNT NUMBER: 315333DEN

CERTIFIED BY: *Michelle French*
 AUTHORIZED AGENT OF DENTON COUNTY

1 pages attached

Filed for Record
 in the Official Records of:
 Denton County
 On: 4/11/2019 11:03:53 AM
 in the PLAT Records
 BLUE BEACON INTERNATIONAL A
 Doc Number: 2019-171
 Number of Pages: 1
 Amount: 50.00
 Order#: 20190411000227
 By: MB



MA

**** Electronically Filed Document ****

Denton County
Cynthia Mitchell
County Clerk

Document Number: 2010-84664
Recorded As : ERX-EASEMENT

Recorded On: August 27, 2010
Recorded At: 02:16:14 pm
Number of Pages: 9

Recording Fee: \$43.00

Parties:

Direct- HAROLDSON L HUNT JR TRUST ESTATE
Indirect-

Receipt Number: 716856
Processed By: Carmen Robinson

***** THIS PAGE IS PART OF THE INSTRUMENT *****

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY
because of color or race is invalid and unenforceable under federal law.



THE STATE OF TEXAS)
COUNTY OF DENTON)

I hereby certify that this instrument was FILED in the File Number sequence on the date/time
printed hereon, and was duly RECORDED in the Official Records of Denton County, Texas.

C. Mitchell
County Clerk
Denton County, Texas



WATER LINE EASEMENT

EFFECTIVE DATE: As of August 26, 2010.

GRANTOR: HAROLDSON L. HUNT, JR. TRUST ESTATE
1601 Elm Street, Suite 4900
Dallas, Texas 75201

GRANTEE: HHEC SPINCO, LLC
1601 Elm Street, Suite 4900
Dallas, Texas 75201

GRANTOR PROPERTY: The GRANTOR PROPERTY is the real property located in Denton County, Texas and described on Exhibit A attached to and made a part of this Water Line Easement for all purposes.

GRANTEE PROPERTY: The GRANTEE PROPERTY is the real property located in Denton County, Texas and described on Exhibit B attached to and made a part of this Water Line Easement for all purposes.

EASEMENT PROPERTY: The EASEMENT PROPERTY is the real property located in Denton County, Texas and described on Exhibit C attached to and made a part of this Water Line Easement for all purposes.

PROJECT: The PROJECT(s) means one (1) underground water line, together with all necessary appurtenances (all of which shall be underground).

CONSIDERATION: The right in favor of GRANTOR, and its successor(s) as the owner(s) of the GRANTOR PROPERTY, which is hereby granted by GRANTEE, as the owner of the GRANTEE PROPERTY and on behalf of itself and its successor owner(s) of the GRANTEE PROPERTY, to tie into and use the PROJECT at any time located within the EASEMENT PROPERTY solely for the benefit of the GRANTOR PROPERTY, and/or Ten and No/100's dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of some consideration deemed valuable to GRANTOR being hereby expressly acknowledged and accepted by GRANTOR.

GRANT: GRANTOR, for the CONSIDERATION received by GRANTOR, hereby grants, sells, and conveys to GRANTEE an easement ("EASEMENT") in, upon, and across the EASEMENT PROPERTY, together with all and singular the rights and appurtenances thereto in any wise belonging according to the terms and provisions of this Water Line Easement, to have and hold it to GRANTEE and GRANTEE'S successors and assigns forever.

PURPOSE: The EASEMENT, rights, and privileges herein granted shall be used for the purpose of providing water service, constructing, placing, operating, maintaining, reconstructing, replacing, relocating, reconstituting, changing the size or nature of, rebuilding, upgrading and expanding (but not beyond one line), removing, inspecting, patrolling, and/or repairing the PROJECT or any part of the PROJECT, and making connections therewith. GRANTEE shall have the right to place temporary equipment and supporting structures on the EASEMENT PROPERTY for use in constructing, placing, reconstructing, replacing, relocating, reconstituting, changing the size or nature of, rebuilding, upgrading, expanding, removing, and/or repairing the PROJECT as provided above (collectively, "WORKING" or the "WORK"), but only for such time as is reasonably necessary to complete such WORK. GRANTEE shall have the right to temporarily use such portions of the property owned by GRANTOR along and adjacent to the EASEMENT PROPERTY and within twenty (20) feet of the EASEMENT PROPERTY as may be reasonably necessary in connection with the WORK (if it is expressly agreed that no portion of the PROJECT shall be installed outside the EASEMENT PROPERTY).

ACCESS: GRANTEE shall have the right of pedestrian, equipment, and vehicular ingress and egress upon and across the EASEMENT PROPERTY at all times necessary for the above stated PURPOSE.

- TERM:** (a) The EASEMENT and other rights, privileges and access rights granted herein, as well as the covenants made herein, shall be perpetual and appurtenant to the land, and covenants running with the land, with respect to the GRANTOR PROPERTY, the GRANTEE PROPERTY, and the EASEMENT PROPERTY, until and unless the EASEMENT is abandoned by GRANTEE for a continuous period of two (2) years.
- (b) Notwithstanding anything to the contrary contained herein or otherwise, GRANTOR and GRANTEE acknowledge and agree that it is their intention that this Water Line Easement provides the EASEMENT and other rights granted herein until such time as GRANTEE develops the GRANTEE PROPERTY and seeks a public easement across the EASEMENT PROPERTY for the same PURPOSE as defined in this Water Line Easement in favor of the City of Denton, Texas. GRANTEE agrees that at such time as GRANTEE seeks such a public easement for the PURPOSE that will affect the GRANTOR PROPERTY, GRANTEE shall pursue such public easement in the same location as the

EASEMENT PROPERTY. Subject to the terms and provisions of this Water Line Easement, GRANTOR agrees to cooperate with GRANTEE in pursuing such public easement, provided such cooperation shall not require GRANTOR to incur any cost or expense or to grant or consent to any interests in the GRANTOR PROPERTY other than easement rights as described in this Water Line Easement affecting the EASEMENT PROPERTY. Upon the imposition of any public easement for the PURPOSE as contemplated in this paragraph that also permits GRANTOR and other users of the GRANTOR PROPERTY to tie into the water facilities located in such public easement, this Water Line Easement and the EASEMENT and other rights and privileges granted to GRANTEE pursuant to this Water Line Easement automatically shall terminate and be of no further force or effect, and GRANTEE agrees to execute a release and/or termination of this Water Line Easement which can be recorded in the Real Property Records of Denton County, Texas further evidencing and effecting such release and termination (although such document shall not be necessary to effect such release and termination).

TREES: GRANTEE shall have the right to cut, trim, and/or remove trees, shrubs, bushes, brush and vegetation within the EASEMENT PROPERTY as is necessary to realize the PURPOSE herein stated; provided, however, that if crops are being grown on the EASEMENT PROPERTY, GRANTEE shall be responsible to, and agrees to, pay the owner of such crops all damages suffered as a result of any activities of GRANTEE pursuant to this paragraph.

STRUCTURES: GRANTOR shall not construct or locate on the EASEMENT PROPERTY any structure, obstruction or improvement, except that GRANTOR shall be permitted to place within the EASEMENT PROPERTY any item(s) that do not unreasonably restrict or prevent GRANTEE from utilizing the EASEMENT PROPERTY for the stated PURPOSE, specifically including, without limitation, paved driveways, paved parking areas, paved sidewalks, paved walkways, concrete curbing, and landscaping (collectively, the "PERMITTED IMPROVEMENTS").

DAMAGES: It is understood and agreed that the CONSIDERATION received by GRANTOR includes adequate compensation for the grant of the EASEMENT and other rights, privileges and appurtenances contained in this instrument. Notwithstanding the foregoing, GRANTEE shall repair and/or restore the surface of the EASEMENT PROPERTY and the surface of GRANTOR's adjacent property to substantially the same condition as existed immediately prior to any damage thereto that is caused by GRANTEE's exercise of its rights hereunder; provided, however, that in no event shall GRANTEE have any obligation or liability to repair and/or restore any structure, obstruction or improvement located on the EASEMENT PROPERTY that is not permitted to be located thereon in this instrument.

MINERALS: GRANTOR expressly reserves all oil, gas, and other minerals owned by GRANTOR in, on, and under the EASEMENT PROPERTY, provided that GRANTOR shall not be permitted to, and shall not allow any party to, drill or excavate for minerals on or from the surface of the EASEMENT PROPERTY, but GRANTOR may extract oil, gas, or other minerals from and under the EASEMENT PROPERTY by directional drilling or other means which do not interfere with or disturb GRANTEE's use of the EASEMENT PROPERTY.

ASSIGNMENT AND MISCELLANEOUS: This instrument, and the terms and conditions contained herein, shall inure to the benefit of and be binding upon GRANTEE and GRANTOR, and their respective heirs, personal and legal representatives, successors, and assigns, and shall be covenants running with the land benefiting and burdening the GRANTOR PROPERTY and the GRANTEE PROPERTY, as applicable. When the context requires, singular nouns and pronouns include the plural. When appropriate, the term "GRANTEE" includes the employees, authorized agents, licensees and permittees of GRANTEE. GRANTEE shall have the right to assign this instrument, and the rights and privileges hereunder in favor of GRANTEE, in whole or in part. This Water Line Easement may be executed in any number of counterparts, each of which shall be deemed an original and all of which considered together shall be deemed one and the same document. This Water Line Easement contains the entire agreement between GRANTOR and GRANTEE with respect to all matters contemplated hereby, and supersedes and replaces all other agreements, discussions or understandings.

{Remainder of page intentionally left blank.}

EXECUTED as of the EFFECTIVE DATE.

GRANTOR:

HAROLDSON L. HUNT, JR. TRUST ESTATE

By: John H. Crecy, Trustee
John W. Crecy,
Trustee

By: Margaret Keliber
Name: Margaret Keliber
Title: Member of Advisory Board

GRANTEE:

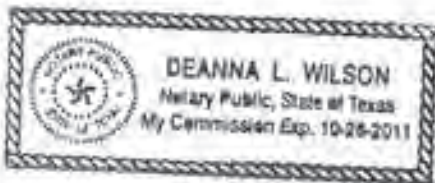
HHEC SPINCO, LLC

By: Ellen Hunt Flowers, Manager
Ellen Hunt Flowers,
Manager and Chairman of the Board

STATE OF TEXAS §

COUNTY OF DALLAS §

This instrument was acknowledged before me on August 26, 2010, by John W. Crecy, Trustee of the Haroldson L. Hunt, Jr. Trust Estate, and Margaret Keliber, Member of the Advisory Board of the Haroldson L. Hunt, Jr. Trust Estate, an irrevocable trust created under the laws of the State of Texas, in such capacities on behalf of said trust.



Deanna L. Wilson
Notary Public, State of Texas

STATE OF TEXAS §

COUNTY OF DALLAS §

This instrument was acknowledged before me on August 25, 2010, by Ellen Hunt Flowers, Manager and Chairman of the Board of HHEC SpinCo, LLC, a Delaware limited liability company, in such capacity on behalf of said limited liability company.



Deanna L. Wilson
Notary Public, State of Texas

EXHIBIT A

Description of Grantor Property

BEING a tract of land situated in the S. L. Johnson Survey, Abstract No. 683, Denton County, Texas, and being a portion of a called 97.500 acre tract of land conveyed to HHEC SpinCo, LLC as evidenced in a Special Warranty Deed recorded in County Clerk's Document No. 2008-97810 of the Real Property Records of Denton County, Texas (R.P.R.D.C.T.), and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod found for the southeast corner of said 97.500 acre tract, same being in Barthold Road (no record found), said corner also being on the called south line of said S. L. Johnson Survey, said corner also being the northeast corner of a called 9.9777 acre tract of land conveyed to Anjum Investments LP as evidenced in a deed recorded in Document No. 2006-44715 R.P.R.D.C.T., said corner also being on the west right of way line of Interstate Highway No. 35E (a variable width right of way);

THENCE North 89°25'02" West, along the south line of said 97.500 acre tract, the north line of said 9.9777 acre tract, the north line of a called 12.980 acre tract of land conveyed to County 20 Storage and Transfer, Inc., as evidenced in a deed recorded in Volume 5278, Page 3247, R.P.R.D.C.T., and the north line of a called 12.324 acre tract of land conveyed to Willard E. Simpson as evidenced in a deed recorded in Volume 1092, Page 68, R.P.R.D.C.T., and with Barthold Road, a distance of 1166.78 feet to the southwest corner of said 97.500 acre tract;

THENCE North 00°21'56" East, along the west line of said 97.500 acre tract, the east line of a called Tract 3 conveyed to Harlan Properties, Inc., as evidenced in a deed recorded in Volume 4296, Page 1246, R.P.R.D.C.T., and generally along a barbed wire fence, passing at a distance of 32.1 feet, a fence corner post marking the southwest corner of said barbed wire fence, and continuing for a total distance of 722.42 feet to a corner;

THENCE South 89°25'02" East, departing the west line of said 97.500 acre tract, the east line of said Tract 3 and along a line that is 722.41 feet north of and parallel with the south line of said 97.500 acre tract, a distance of 1267.23 feet to a corner on the east line of said 97.500 acre tract, same being on the west right of way line of aforementioned Interstate Highway No. 35E;

THENCE in a southerly direction, along the east line of said 97.500 acre tract and the west right of way line of said Interstate Highway No. 35E, the following:

South 00°44'00" East, a distance of 622.70 feet to a north corner of a visibility clip at the intersection of the west right of way line of said Interstate Highway No. 35E and aforementioned Barthold Road;

South 48°51'52" West (called South 44°55'00" West), along said visibility clip, a distance of 150.07 feet (called 153.79 feet) to the POINT OF BEGINNING and containing 21.000 acres (914,758 square feet) of land, more or less.

EXHIBIT B

Description of Grantee Property

(Page 1 of 2)

BEING a tract of land situated in the S. L. Johnson Survey, Abstract No. 683, Denton County, Texas, and being all of a called 97.756 acre tract of land conveyed to Hassie Hunt Exploration Company as evidenced in a Special Warranty Deed recorded in Volume 1789, Page 871 of the Real Property Records of Denton County, Texas (R.P.R.D.C.T.), and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod found for the southeast corner of said 97.756 acre tract, same being in Barthold Road (no record found), said corner also being on the called south line of said S. L. Johnson Survey, said corner also being the northeast corner of a called 9.9777 acre tract of land conveyed to Anjum Investments LP as evidenced in a deed recorded in Document No. 2006-44715 R.P.R.D.C.T., said corner also being on the west right of way line of Interstate Highway No. 35E (a variable width right of way);

THENCE North 89°25'02" West (called North 89°26'00" West), along the south line of said 97.756 acre tract, the north line of said 9.9777 acre tract, the north line of a called 12.960 acre tract of land conveyed to County 20 Storage and Transfer, Inc., as evidenced in a deed recorded in Volume 5278, Page 3247, R.P.R.D.C.T., and the north line of a called 12.324 acre tract of land conveyed to Wilford E. Simpson as evidenced in a deed recorded in Volume 1092, Page 68, R.P.R.D.C.T., and with Barthold Road, a distance of 1166.78 feet (called 1172.01 feet) to the southwest corner of said 97.756 acre tract;

THENCE North 00°21'56" East (called North 00°23'03" East), along the west line of said 97.756 acre tract, the east line of a called Tract 3 conveyed to Hartan Properties, Inc., as evidenced in a deed recorded in Volume 4296, Page 1246, R.P.R.D.C.T., and generally along a barbed wire fence, passing at a distance of 32.1 feet, a fence corner post marking the southwest corner of said barbed wire fence, and continuing for a total distance of 3363.31 feet (called 3372.97 feet) to a 6-inch pipe fence corner post found for the northwest corner of said 97.756 acre tract, same being the southwest corner of a called 12.763 acre tract of land conveyed to Hilltop Dreams, LLC as evidenced in a deed recorded in Document No. 2006-9985, R.P.R.D.C.T.;

THENCE South 89°18'32" East (called South 89°19'58" East), along the north line of said 97.756 acre tract and the south line of said 12.763 acre tract and generally along a barbed wire fence, a distance of 1238.35 feet (called 1237.34 feet) to the east common corner of said 97.756 acre tract and said 12.763 acre tract, same being on the west right of way line of aforementioned Interstate Highway No. 35E;

THENCE in a southerly direction, along the east line of said 97.756 acre tract and the west right of way line of said Interstate Highway No. 35E, the following:

South 00°44'00" East, passing at a distance of 46.0 feet, a wooden right of way monument, passing at a distance of 953.0 feet, a wooden right of way monument, continuing for a total distance of 2435.30 feet to a corner;

South 10°54'09" West (called South 10°35'40" West), a distance of 107.69 feet (called 107.23 feet) to a wooden right of way monument found for a corner;

South 00°44'00" East, a distance of 720.67 feet to a north corner of a visibility dip at the intersection of the west right of way line of said Interstate Highway No. 35E and aforementioned Barthold Road;

South 48°51'52" West (called South 44°55'00" West), along said visibility dip, a distance of 150.07 feet (called 153.79 feet) to the POINT OF BEGINNING and containing 97.500 acres (4,247,095 square feet) of land, more or less;

SAVE AND EXCEPT THE FOLLOWING 21 ACRE TRACT:

EXHIBIT B

(Page 2 of 2)

BEING a tract of land situated in the S. L. Johnson Survey, Abstract No. 683, Denton County, Texas, and being a portion of a called 97.500 acre tract of land conveyed to HHEC SpinCo, LLC as evidenced in a Special Warranty Deed recorded in County Clerk's Document No. 2008-97810 of the Real Property Records of Denton County, Texas (R.P.R.D.C.T.), and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod found for the southeast corner of said 97.500 acre tract, same being in Barthold Road (no record found), said corner also being on the called south line of said S. L. Johnson Survey, said corner also being the northeast corner of a called 9.9777 acre tract of land conveyed to Anjum Investments LP as evidenced in a deed recorded in Document No. 2006-44715 R.P.R.D.C.T., said corner also being on the west right of way line of Interstate Highway No. 35E (a variable width right of way);

THENCE North 89°25'02" West, along the south line of said 97.500 acre tract, the north line of said 9.9777 acre tract, the north line of a called 12.980 acre tract of land conveyed to County 20 Storage and Transfer, Inc., as evidenced in a deed recorded in Volume 5278, Page 3247, R.P.R.D.C.T., and the north line of a called 12.324 acre tract of land conveyed to Willard E. Simpson as evidenced in a deed recorded in Volume 1092, Page 68, R.P.R.D.C.T., and with Barthold Road, a distance of 1166.78 feet to the southwest corner of said 97.500 acre tract;

THENCE North 00°21'56" East, along the west line of said 97.500 acre tract, the east line of a called Tract 3 conveyed to Harlan Properties, Inc., as evidenced in a deed recorded in Volume 4296, Page 1246, R.P.R.D.C.T., and generally along a barbed wire fence, passing at a distance of 32.1 feet, a fence corner post marking the southwest corner of said barbed wire fence, and continuing for a total distance of 722.42 feet to a corner;

THENCE South 89°25'02" East, departing the west line of said 97.500 acre tract, the east line of said Tract 3 and along a line that is 722.41 feet north of and parallel with the south line of said 97.500 acre tract, a distance of 1267.23 feet to a corner on the east line of said 97.500 acre tract, same being on the west right of way line of aforementioned Interstate Highway No. 35E;

THENCE in a southerly direction, along the east line of said 97.500 acre tract and the west right of way line of said Interstate Highway No. 35E, the following:

South 00°44'00" East, a distance of 622.70 feet to a north corner of a visibility clip at the intersection of the west right of way line of said Interstate Highway No. 35E and aforementioned Barthold Road;

South 48°51'52" West (called South 44°55'00" West), along said visibility clip, a distance of 150.07 feet (called 153.79 feet) to the POINT OF BEGINNING and containing 21,000 acres (914,758 square feet) of land, more or less.

EXHIBIT C

(Page 1 of 2)

**15' WIDE WATER EASEMENT
0.267 ACRE
S. L. JOHNSON SURVEY, ABSTRACT NO. 683
CITY OF DENTON
DENTON COUNTY, TEXAS**

BEING a 15-foot wide tract of land situated in the S. L. Johnson Survey, Abstract No. 683, City of Denton, Denton County, Texas, and being situated in a called 21.000 acre tract of land conveyed to Haroldson L. Hunt, Jr. Trust Estate, as evidenced in a Special Warranty Deed recorded in Document No. 2009-75411 of the Real Property Records of Denton County, Texas (R.P.R.D.C.T.), and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod found for the southeast corner of said 21.000 acre tract, same being at the intersection of the west right-of-way line of Interstate Highway No. 35E (a variable width right-of-way) with an asphalt road known as Barthold Road (no record found);

THENCE North 89°25'02" West, along the south line of said 21.000 acre tract and with said Barthold Road, a distance of 22.54 feet to a corner;

THENCE North 48°51'52" East, departing the south line of said 21.000 acre tract and said Barthold Road and along a line that is 15 feet west of and parallel with the east line of said 21.000 acre tract and the west right-of-way line of said Interstate Highway No. 35E, a distance of 159.97 feet to a corner;

THENCE North 00°44'00" West, continuing along a line that is 15 feet west of and parallel with the east line of said 21.000 acre tract and the west right-of-way line of said Interstate Highway No. 35E, a distance of 618.11 feet to a corner on the north line of said 21.000 acre tract;

THENCE South 89°25'02" East, along the north line of said 21.000 acre tract, a distance of 15.00 feet to a 5/8-inch "KHA" capped iron rod set for the northeast corner of said 21.000 acre tract, same being on the west right-of-way line of said Interstate Highway No. 35E;

THENCE South 00°44'00" East, along the east line of said 21.000 acre tract and the west right-of-way line of said Interstate Highway No. 35E, a distance of 622.70 feet to a corner;

THENCE South 48°51'52" West, continuing along the east line of said 21.000 acre tract and the west right-of-way line of said Interstate Highway No. 35E, a distance of 150.07 feet to the **POINT OF BEGINNING** and containing 0.267 of an acre (11,616 square feet) of land, more or less.

NOTE:

Measurements based upon the east line of a called 21.000 acre tract of land as described in a deed recorded in Document No. 2009-75411, Real Property Records of Denton County, Texas, said bearing being South 00°44'00" East, (CM) indicates controlling monuments.



12196 Peak-Crest Drive, Suite 1807
Dallas, Texas 75231

**Kimley-Horn
and Associates, Inc.**

Tel. No. (972) 770-1300
Fax No. (972) 259-8528

Date	Drawn by	Checked by	Title	Project No.	Sheet No.
11-20-09	MMB	DAB	09122009	06202017	1 OF 2

15' WIDE WATER EASEMENT
0.267 ACRE
S. L. JOHNSON SURVEY, ABSTRACT NO. 683
CITY OF DENTON
DENTON COUNTY, TEXAS

GRAPHIC SCALE



(IN FEET)
1 inch = 160 ft.



S. L. JOHNSON SURVEY
ABSTRACT NO. 683

CALLED 21.000 ACRES
TO HAROLDSON L. HUNT, JR. TRUST ESTATE
DOC. NO. 2009-75411
R.P.R.D.C.T.

REMAINDER OF A
CALLED 97.800 ACRES
TO HREC SPINCO LLC
DOC. NO. 2008-97810
R.P.R.D.C.T.

CITY OF DENTON CITY LIMIT LINE

30' WIDE PERMANENT
FOOT-OF-WAY EASEMENT
(ATMOS ENERGY)

WOODEN ROW
MARKER END.
(CM)

S 89°25'02" E
15.00'

58' (OG)

INTERSTATE HIGHWAY NO. 35E
(VARIABLE WIDTH ROW)

N 00°44'00" W - 616.11'

S 00°44'00" E - 622.70'

N 48°51'52" E
159.97'

20' DRAINAGE EASEMENT

10' EASEMENT
(FM NATURAL GAS)

S 48°51'52" W
150.07'

PK (M) (TRG)

BARTHOLD ROAD
(NO RECORD FOUND)

CALLED 9.8777 ACRES
TO ANJUN INVESTMENTS LP
DOC. NO. 2008-44715
R.P.R.D.C.T.

N 89°25'02" W
22.54'

P.O.B.

B.B.B. & C. RR. CO. SURVEY
ABSTRACT NO. 141

NOTE:
Bearings based upon the east line of a called 21.000 acre tract of land as described
in a deed recorded in Document No. 2009-75411, Real Property Records of Denton
County, Texas, said bearing being South 00°44'00" East. (CM) indicates controlling
monument.



Kimley-Horn
and Associates, Inc.

2280 Park Central Drive, Suite 100
Dallas, Texas 75201

Tel. No. (972) 739-1340
Fax No. (972) 739-9029

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 160'	MBM	DAB	06/02/2010	96410287	2 OF 2

20100614 11:11:08 AM
C:\Users\jsham\Documents\Projects\101010000\101010000.dwg
LAST SAVED

METES & BOUNDS DESCRIPTION
WATER AND WASTEWATER AND ELECTRIC EASEMENT

EXHIBIT A
PARCEL 074-1 WWEE

BEING a 16,359 square foot (0.3755 acre) tract of land situated in the BBB & C RR CO Survey, Abstract No. 141, Denton County, Texas, and being part of Lot 1, Block A, Blue Beacon International Addition, an addition to the City of Denton according to the plat recorded in Instrument No. 2019-171, Official Public Records, Denton County, Texas, and being more particularly described as follows:

COMMENCING at the northeast corner of Parcel 1, Part 2 described in Special Warranty Deed to The State of Texas recorded in Instrument No. 2021-148586, said Official Public Records, and being the northeast corner of said Lot 1, from which a 5/8-inch iron rod with cap stamped "KHA" found bears North 89°49'00" West, a distance of 0.23 feet;

THENCE North 89°49'00" West, along the north line of said Parcel 1, Part 2, a distance of 75.87 feet to the **POINT OF BEGINNING**, being the northwest corner of said Parcel 1, Part 2, and being at the beginning of a non-tangent curve to the left having a central angle of 0°17'11", a radius of 14295.00 feet, a chord bearing and distance of South 0°59'07" East, 71.48 feet;

THENCE along the west line of said Parcel 1 and along the west right-of-way line of Interstate Highway No. 35, a variable width right-of-way, the following three (3) calls:

in a southeasterly direction, with said curve to the left, an arc distance of 71.48 feet to a point for corner;
South 6°17'58" West, a distance of 92.82 feet to a point for corner;
South 5°33'54" West, a distance of 343.09 feet to a point for corner, from which a 5/8-inch iron rod with cap stamped "TXDOT" found for the southwest corner of said Parcel 1, Part 2, bears South 1°07'42" East, a distance of 216.98 feet;

THENCE South 49°34'40" West, departing the said west line and the said west right-of-way line, a distance of 69.45 feet to a point for corner;

THENCE South 86°52'15" West, a distance of 25.46 feet to a point for corner;
THENCE North 49°39'30" East, a distance of 62.57 feet to a point for corner;
THENCE North 5°33'57" East, a distance of 351.26 feet to a point for corner;
THENCE North 6°17'58" East, a distance of 91.07 feet to a point for corner;

THENCE North 0°58'54" West, a distance of 70.22 feet to a point for corner in the north line of said Lot 1:

THENCE South 89°49'00" East, along the said north line, a distance of 30.01 feet to the **POINT OF BEGINNING** and containing 16,359 square feet or 0.3755 acres of land, more or less.

NOTES

Bearing system based on the Texas Coordinate System of 1983(2011 adjustment), North Central Zone (4202). A survey plat of even survey date herewith accompanies this metes & bounds description.

The undersigned, Registered Professional Land Surveyor, hereby certifies that the foregoing description accurately sets out the metes and bounds of the easement tract.

J.D.W. 3/23/22
JOSHUA D. WARGO
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 6391
801 CHERRY STREET
UNIT 11 SUITE 1300
FORT WORTH, TEXAS 76102
PH. 817-335-8511
josh.wargo@kimley-horn.com



**WATER AND WASTEWATER
AND ELECTRIC EASEMENT
BBB & C RR CO SURVEY
ABSTRACT NO. 141
DENTON COUNTY, TEXAS**

Kimley»Horn

801 Cherry Street, Unit 11, # 1300, Fort Worth, Texas 76102
Tel. No. (817) 335-8511
www.kimley-horn.com

Date	Drawn By	Checked By	Date	Project No.	Sheet No.
NA	DMJ	JDW	02/02/20	061034643	1 OF 3

**EXHIBIT B
PARCEL 074-1 WWEE**



LOT 1, BLOCK A
I-35 WAREHOUSE ADDITION
INST. NO. 2021-351

STATE OF TEXAS
INST. NO. 2021-86042

LOT 1, BLOCK A
BLUE BEACON
INTERNATIONAL ADDITION
INST. NO. 2019-171
CALLED 20.998 ACRES
BLUE BEACON
INTERNATIONAL, INC.
INST. NO. 2017-10144B

**0.3755 ACRES
16,359 SQ. FT.**

PARCEL 1, PART 2
STATE OF TEXAS
INST. NO. 2021-148586

INTERSTATE HIGHWAY NO. 35
(A VARIABLE WIDTH RIGHT-OF-WAY)

N 7147197.11
E 2372660.75

L4

N89°49'00"W 75.87'

P.O.B.

P.O.C.

N0°58'54"W 70.22'

C1

5/8" IRFC "KHA"
BEARS N60°49'00"W - 0.23'

20' PUBLIC UTILITY
EASEMENT
INST. NO. 2019-171

15' PRIVATE WATER
EASEMENT
INST. NO. 2010-84864

N6°17'58"E 91.07'

S6°17'58"W 92.82'

S5°33'54"W 343.09'

MATCH LINE (SEE SHEET 3)

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET
- IRFC = IRON ROD W/CAP FOUND

NOTES

Bearing system based on the Texas Coordinate System of 1983 (2011 adjustment), North Central Zone (4202). Coordinates have been scaled to surface values using a surface adjustment factor of 1.000150630. A metes and bounds description of even survey date herewith accompanies this survey plat.

The undersigned, Registered Professional Land Surveyor, hereby certifies that this survey plat accurately sets out the metes and bounds of the easement tract.

**WATER AND WASTEWATER
AND ELECTRIC EASEMENT
BBB & C RR CO SURVEY
ABSTRACT NO. 141
DENTON COUNTY, TEXAS**

JDW 3/23/22
JOSHUA D. WARGO
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 6391
801 CHERRY STREET
UNIT 11 SUITE 1300
FORT WORTH, TEXAS 76102
PH. 817-336-6511
josh.wargo@kimley-horn.com



Kimley»Horn

901 Cherry Street, Unit 11, Bldg 1800
Fort Worth, Texas 76102 TEL: 817-336-6511
FIRM # 10194840 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 50'	DMD	JDW	3/23/22	BB124143	2 OF 3

**EXHIBIT B
PARCEL 074-1 WVEE**



**0.3755 ACRES
16,359 SQ. FT.**

LOT 1, BLOCK A
BLUE BEACON
INTERNATIONAL ADDITION
INST. NO. 2019-171
CALLED 20,998 ACRES
BLUE BEACON
INTERNATIONAL, INC.
INST. NO. 2017-101448

MATCH LINE (SEE SHEET 2)

INTERSTATE
HIGHWAY NO. 35
(A VARIABLE WIDTH RIGHT-OF-WAY)

PARCEL 1, PART 2
STATE OF TEXAS
INST. NO. 2021-148586

15' PRIVATE WATER
EASEMENT
INST. NO. 2010-84664

20' PUBLIC UTILITY
EASEMENT
INST. NO. 2019-171

50' PIPELINE EASEMENT
INST. NO. 2005-87175

LEGEND

P.O.C. = POINT OF COMMENCING
P.O.B. = POINT OF BEGINNING
IRSC = 5/8" IRON ROD W/ "KHA" CAP SET
IRFC = IRON ROD W/CAP FOUND

N: 7148646.28
E: 2372569.88



LINE TABLE

NO.	BEARING	LENGTH
L1	S40°34'40"W	69.45'
L2	S88°52'15"W	25.46'
L3	N48°39'30"E	62.57'
L4	S89°49'00"E	30.01'

CURVE TABLE

NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	0°17'11"	14295.00'	71.48'	S00°59'07"E	71.48'

WATER AND WASTEWATER
AND ELECTRIC EASEMENT
BBB & C RR CO SURVEY
ABSTRACT NO. 141
DENTON COUNTY, TEXAS

Kimley»Horn

501 Chevy Street, Suite 11, # 1300 Fort Worth, Texas 76102 FIRM # 10194033 Tel. No. (817) 335-4511 www.kimley-horn.com

Scale 1" = 50'	Drawn by DMJ	Checked by JGW	Date 3/25/2022	Project No. 01824042	Sheet No. 3 OF 3
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U00017637

TxDOT Highway Project Number:

0195-02-074

TxDOT Parcel 02

RCSJ 0195-02-079

From: US77/Barthold Dr.

To: Milam Rd

Utility Longitudinal Stations:

Sta 2226+58 RT to Sta 2280+10 RT

Existing Easement

Instrument Number

DOC# 1997-069142 & DOC# 1997-072074

BEING 4.2005 ACRES IN THE
IGNACIO DE-LOS-SANTOS COY SURVEY A-212,
S.L. JOHNSON SURVEY A-683,
ALEXANDER WHITE SURVEY A-1406
BEING PART OF A 397.160 ACRE TRACT
CATDENTON 35 SIX, INC.
CITY OF DENTON, DENTON COUNTY, TEXAS

WATER LINE EASEMENT

069142

THE STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS:
 COUNTY OF DENTON §

That FUF, Inc., a Delaware corporation, of 1601 Elm Street, Suite 3400, Dallas, Dallas County, Texas 75201 ("Grantor"), in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration in hand paid by the CITY OF DENTON, TEXAS ("Grantee"), the receipt of which is hereby acknowledged, does hereby grant, bargain, sell and convey unto Grantee an easement and right-of-way for the purposes of operating, repairing, and maintaining one underground water transmission line for the transportation of water ("Water Line") in, upon, and across the following described property of Grantor situated in Denton County, Texas, A. White Survey, Abstract No. 1406, to wit:

SEE ATTACHED "EXHIBIT A" FOR A METES AND BOUNDS
 DESCRIPTION OF PERMANENT WATER LINE EASEMENT AND
 "EXHIBIT C" FOR A DRAWING OF "EXHIBIT A."

In addition to the Water Line easement set forth on Exhibit "A", Grantee is hereby granted a temporary construction easement for the initial construction of said Water Line described as follows:

SEE ATTACHED "EXHIBIT B" FOR A METES AND BOUNDS
 DESCRIPTION OF THE TEMPORARY CONSTRUCTION EASEMENT AND
 "EXHIBIT C" FOR A DRAWING OF "EXHIBIT B."

Upon conclusion of said Water Line installation, the temporary construction easement shall terminate.

Grantee shall have the right to remove trees and brush located upon the right-of-way which will interfere with Grantee's Water Line thereon (but only if necessary for construction or maintenance of the Water Line). Grantee, its successors and assigns, are specifically restricted from building or causing or permitting to be built any building, gates, or other structures above ground upon the Water Line easement. The initial construction of the Water Line will be handled pursuant to a letter agreement to be entered into by Grantor and Grantee prior to such construction. If Grantee must cut a fence, Grantee must, prior to such cutting, install a temporary fence so as to secure Grantor's property and prevent the escape of cattle or stock through the fence cut. Upon termination of the work which necessitated the fence cut, Grantee shall remove the temporary fences, and, at its option, either restore the fences to their original condition or install gates on those locations where fences cross the Water Line. Further,

Grantee shall promptly close and lock (if applicable) all gates which Grantee uses in its operations hereunder, to prevent the escape of cattle or stock through any open gate.

This Water Line easement is granted upon the condition, and Grantee, for itself and on behalf of its successors and assigns, agrees that it will at all times during and after any work performed in connection with the construction, reconstruction, relocation or repair of the said Water Line, restore and repair the said premises and appurtenances of Grantor including any lands, roads, structures, fences, pastures, terraces, contours, streams, ponds or drainage ditches, now or hereinafter located on the above described property to the condition in which same were found before such work was undertaken, and to immediately pay Grantor for injuries to or death of livestock caused by Grantee's activities conducted hereunder. Grantee hereby agrees that in the use of the rights and privileges herein granted, the Grantee will not create a nuisance.

Grantor shall bury the Water Line at least four feet (4') beneath the surface of the earth. Grantee shall place signs on all fence crossings to indicate the presence of and direction of the Water Line.

This grant of easement is for right-of-way purposes only, and this instrument does not convey any other interest or rights in said land or in any oil, gas, gravel, or other minerals or water rights therein, thereunder or thereon.

The rights and privileges herein granted may not be assigned or transferred in whole or in part without the prior approval and written consent of Grantor.

Grantee hereby agrees to include a provision in all its contracts with contractors performing work as contemplated hereby, whereby such contractors shall indemnify and hold harmless Grantor, and its affiliates, from any loss which is due to or arises from any cause and is associated in whole or in part with any operations performed by such contractor, its agents, contractors, officers, employees, representatives and subcontractors, under the contract, a breach of the contract, or any activity or omission arising out of performance or non-performance of the contract. As used in this paragraph, "loss" includes any and all losses, damages, liabilities, claims, demands, actions, suits, judgments, causes of action, penalties, fines, costs and expenses of any nature whatsoever, including reasonable attorneys' fees and court costs, which may result from injury to or death of any person and/or damage to or loss or destruction of any property whatsoever.

TO HAVE AND TO HOLD the rights herein granted unto the Grantee for so long and only so long as the easement described in Exhibit "A" is used for the purposes herein set forth and in accordance with the provisions hereof; and when said premises shall cease to be used for such purposes or the provisions have not been met for a period of one hundred eighty (180) days, then and thereupon this grant shall terminate. Upon termination of this easement, all facilities, appurtenances or improvements remaining upon Grantor's property shall, upon request of Grantor, be removed by and at the expense of Grantee.

IN WITNESS WHEREOF, Grantor has hereunto set its hand, this the 25th day of September, 1997.

Grantor: FUF, INC.

By: [Signature]
Donald D. Dillard
Title: Vice President

ACCEPTED this 29th day of September, 1997, for the City of Denton, Texas (Resolution No. 91-073).

By: [Signature]
Roger N. Wilkinson, Right-of-Way Agent

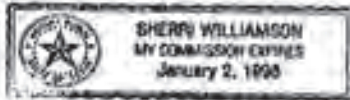
ACKNOWLEDGMENT

THE STATE OF TEXAS §
 §
COUNTY OF Dallas §

This instrument was acknowledged before me on September 25, 1997, by Donald D. Dillard, Vice President of FUF, Inc., a Delaware corporation, on behalf of said corporation.

My commission expires: 1-2-98

[Signature]
Notary Public in and for
The State of Texas



After recording return to:
Attn: Roger N. Wilkinson
City of Denton, Texas
221 N. Elm
Denton, TX 76201

FOR ALAN PLUMMER, PARCEL NO. 179
 UPPER TRINITY REGIONAL WATER
 DISTRICT, SANGER WATER LINE
 DENTON TO SANGER, TEXAS

EXHIBIT "A"
 PERMANENT WATER LINE EASEMENT
 A. WHITE SURVEY, A-1406
 DENTON COUNTY, TEXAS

SITUATED in Denton County, Texas and being a strip of land out of the A. White Survey, Abstract No. 1406, said strip being out of a 9.603 acre tract of land conveyed to FUF, Inc. by deed as recorded in Deed Book I.D. No. 94-R0053805 of the Deed Records of Denton County, Texas (D.R.D.C.T.), said strip of land being herein described as a proposed variable width Permanent Water Line Easement and being herein more particularly described by meter and bounds as follows:

BEGINNING at the northwest property corner of the said FUF tract, said point also being the southwest property corner of a tract of land conveyed to Rancho Vista as described on Page 481 of the deed recorded in Volume 2695, Page 465 of the D.R.D.C.T., said point also being on the existing easterly right-of-way line of Interstate Highway No. 35;

THENCE, North 59 degrees 59 minutes 07 seconds East, along the northerly property line of the said FUF tract and along the southerly property line of the said Rancho Vista tract, 22.68 feet to a point;

THENCE, South 01 degree 52 minutes 32 seconds East 234.45 feet to a point;

THENCE, South 21 degrees 55 minutes 50 seconds East 247.51 feet to a point;

THENCE, South 36 degrees 03 minutes 37 seconds East 99.45 feet to a point;

THENCE, South 57 degrees 37 minutes 57 seconds East 79.68 feet to a point;

THENCE, South 30 degrees 49 minutes 13 seconds West 39.14 feet to a point on the southwesterly property line of the said FUF tract and on the northeasterly right-of-way line of the said I-35 Highway, said point being at the beginning of a curve to the right whose center bears North 36 degrees 58 minutes 35 seconds East 513.00 feet;

THENCE, in a northwesterly direction along the said property line and the said right-of-way line and along the said curve, through a central angle of 20 degrees 37 minutes 26 seconds and an arc length of 184.66 feet to a point;

THENCE, North 20 degrees 43 minutes 44 seconds West, continuing along the said property line and the said right-of-way line, 264.23 feet to a point;

THENCE, North 01 degree 52 minutes 32 seconds West, along the westerly property line of the said FUF tract and along the said easterly right-of-way line of the I-35 Highway, 227.29 feet to the POINT OF BEGINNING.

The proposed Permanent Water Line Easement being herein described contains 0.3683 acres (15,958 square feet) of land, more or less.

TO ALL PARTIES INTERESTED IN TITLE TO THE PREMISES SURVEYED, I DO HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION WAS PREPARED FROM PUBLIC RECORDS AND FROM AN ACTUAL AND ACCURATE SURVEY UPON THE GROUND AND THAT SAME IS TRUE AND CORRECT.

Company Name: Spooner and Associates, Inc.

By: Shaun Spooner
 Shaun Spooner

Registered Professional Land Surveyor,
 Texas No. 4183

Date of Survey: 8-09-96
 Revised 03-12-97
 Revised 03-13-97



FOR ALAN PLUMMER, PARCEL NO. 170
UPPER TRINITY REGIONAL WATER
DISTRICT, SANGER WATER LINE
DENTON TO SANGER, TEXAS

EXHIBIT "B"
TEMPORARY CONSTRUCTION EASEMENT
A. WHITE SURVEY, A-1406
DENTON COUNTY, TEXAS

SITUATED in Denton County, Texas and being a strip of land out of the A. White Survey, Abstract No. 1406, said strip being out of a 9.603 acre tract of land conveyed to FUF, Inc. by deed as recorded in Deed Book I.D. No. 94-R0068805 of the Deed Records of Denton County, Texas (D.R.D.C.T.), said strip of land being herein described as a proposed 20 foot wide Temporary Construction Easement and being herein more particularly described by metes and bounds as follows:

BEGINNING at a point on the northerly property line of the said FUF tract, said point being located North 59 degrees 59 minutes 07 seconds East 22.68 from it's northwest property corner;

THENCE, North 59 degrees 59 minutes 07 seconds East, along the said northerly property line, 22.68 feet to a point;

THENCE, South 01 degree 52 minutes 32 seconds East 241.61 feet to a point;

THENCE, South 21 degree 55 minutes 50 seconds East 241.56 feet to a point;

THENCE, South 36 Degree 03 minutes 37 seconds East 93.16 feet to a point;

THENCE, South 57 degree 37 minutes 57 seconds East 96.93 feet to a point;

THENCE, South 30 degrees 49 minutes 13 seconds West, 60.37 feet to a point on the southwesterly property line of the said FUF tract, said point being at the beginning of a curve to the right whose center bears North 34 degrees 44 minutes 02 seconds East 613.00 feet;

THENCE, in a northwesterly direction along the said property line and along said curve, through a central angle of 02 degrees 14 minutes 33 seconds and an arc length of 20.08 feet to a point;

THENCE, North 30 degrees 49 minutes 13 seconds East 39.14 feet to a point;

THENCE, North 07 degrees 37 minutes 07 seconds West 79.68 feet to a point;

THENCE, North 36 degrees 03 minutes 37 seconds West 89.45 feet to a point;

THENCE, North 21 degrees 55 minutes 50 seconds West 247.51 feet to a point;

THENCE, North 01 degree 52 minutes 32 seconds West 234.45 feet to the POINT OF BEGINNING.

The proposed Temporary Construction Easement being herein described contains 0.3288 acres (14,323 square feet) of land, more or less.

TO ALL PARTIES INTERESTED IN TITLE TO THE PREMISES SURVEYED, I DO HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION WAS PREPARED FROM PUBLIC RECORDS AND FROM AN ACTUAL AND ACCURATE SURVEY UPON THE GROUND AND THAT SAME IS TRUE AND CORRECT.

Company Name: Spooner and Associates, Inc.

By:

Shaun Spooner
Shaun Spooner

Registered Professional Land Surveyor,
Texas No. 4183

Date of Survey 8-09-96
Revised 03-12-97
Revised 03-13-97



SURVEY: A. WHITE SURVEY, A-1406
 LOCATION: DENTON COUNTY, TEXAS
 WHOLE PROPERTY AREA: 9.603 AC.
 PERMANENT WATER LINE ESMT.: 0.3663 AC.
 TEMPORARY CONSTRUCTION ESMT.: 0.3288 AC.

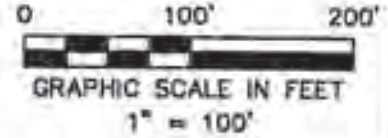
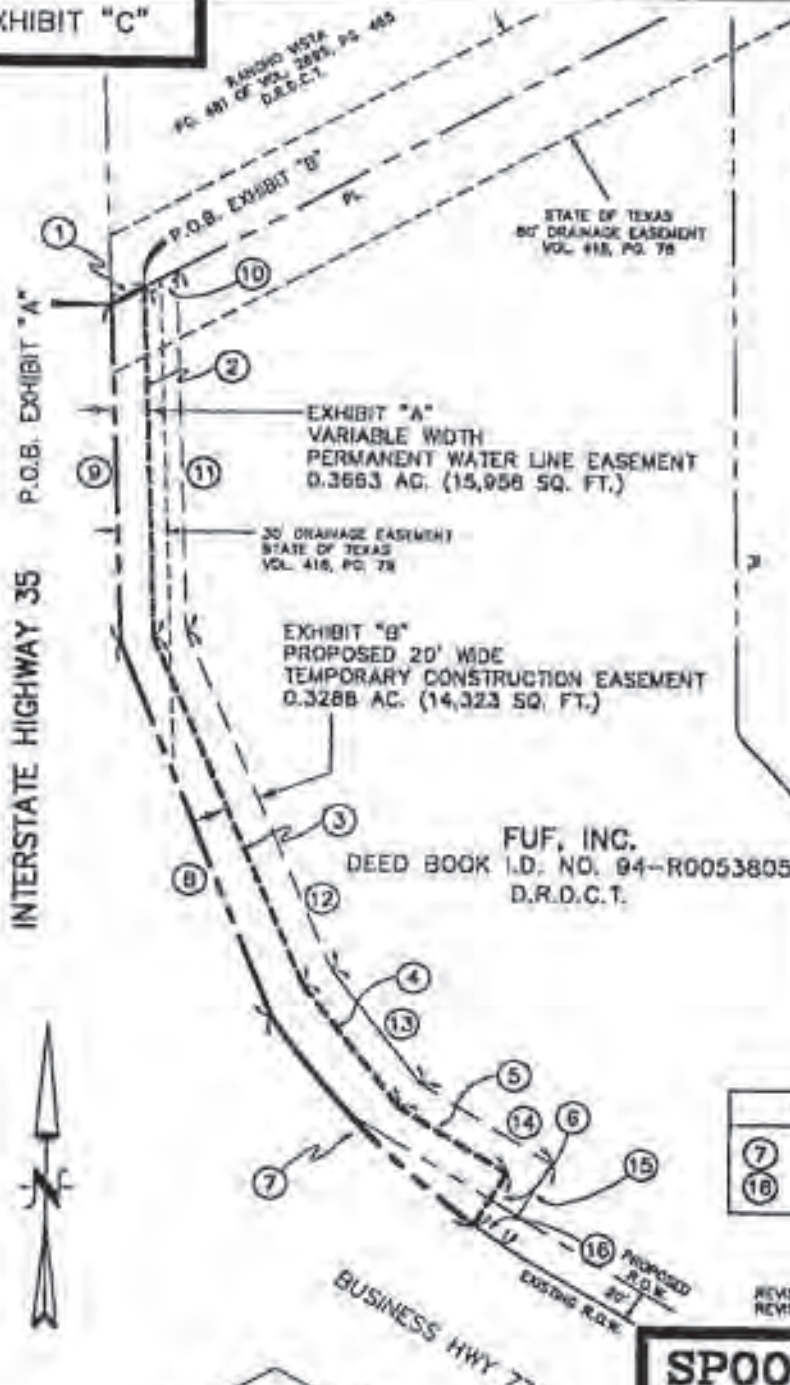
PARCEL 179 FOR ALAN PLUMMER

SANGER WATER LINE
 DENTON TO SANGER, TEXAS

UPPER TRINITY
 REGIONAL WATER DISTRICT

DRAWING OF EXHIBITS "A" & "B"

EXHIBIT "C"



A. WHITE SURVEY
 ABSTRACT NO. 1406

LINE TABLE

BEARING	DISTANCE
①	N59°59'07"E 22.68'
②	S01°52'32"E 234.45'
③	S21°55'50"E 247.51'
④	S38°03'37"E 99.45'
⑤	S57°37'57"E 79.68'
⑥	S30°49'13"W 39.14'
⑦	N20°43'44"W 284.23'
⑧	N01°52'32"W 227.28'
⑨	N59°59'07"E 22.68'
⑩	S01°52'32"E 241.61'
⑪	S21°55'50"E 241.50'
⑫	S38°03'37"E 93.16'
⑬	S57°37'57"E 95.33'
⑭	S30°49'13"W 60.37'
⑮	

CURVE TABLE

DELTA	RADIUS	LENGTH
⑦	20°37'28"	513.00' 184.66'
⑮	02°14'33"	513.00' 20.08'

REVISED 03-13-97
 REVISED 03-12-97

SPOONER & ASSOC.
 REGISTERED PROFESSIONAL
 LAND SURVEYORS



352 HURST BLVD.
 HURST, TX 78053
 (817) 262-6961

JOB NO.: 491-1-96
 DATE: 8-09-96
 COGO FILE: 491-SANG
 ACAD FILE: 491-179
 DRAWN BY: S.G.S.
 COMPUTED BY: S.G.S.
 CHECKED BY: S.G.S.



Shaun G. Spooner

Return To:

City Of Denton
Engineering & Transportation Dept.
221 North Elm Street
Denton, Texas 76201
Attention: Roger N. Wilkinson

Filed for Record in:
DENTON COUNTY, TX
HONORABLE TIM HUBBLS/COUNTY
CLERK

On Oct 01 1997
At 3:32pm

Doc/Num : 97-18869142
Doc/Type : 009
Record/Num : 16.00
Doc/Sheet : 6.00
Receipt # : 31814
Deputy - BRADIE

07207A

WATER LINE EASEMENT

THE STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS:
 COUNTY OF DENTON §

That RANCHO VISTA DEVELOPMENT COMPANY, a Delaware corporation, of 1601 Elm Street, Suite 3400, Dallas, Dallas County, Texas 75201 ("Grantor"), in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration in hand paid by the City of DENTON, TEXAS ("Grantee"), the receipt of which is hereby acknowledged, does hereby grant, bargain, sell and convey unto Grantee an easement and right-of-way for the purposes of operating, repairing, and maintaining one underground water transmission line for the transportation of water ("Water Line") in, upon, and across the following described property of Grantor situated in Denton County, Texas, S. L. Johnson Survey, Abstract No. 683, to wit:

SEE ATTACHED "EXHIBIT A" FOR A METES AND BOUNDS
 DESCRIPTION OF PERMANENT WATER LINE EASEMENT AND
 "EXHIBIT C" FOR A DRAWING OF "EXHIBIT A."

In addition to the Water Line easement set forth on Exhibit "A", Grantee is hereby granted a temporary construction easement for the initial construction of said Water Line described as follows:

SEE ATTACHED "EXHIBIT B" FOR A METES AND BOUNDS
 DESCRIPTION OF THE TEMPORARY CONSTRUCTION EASEMENT AND
 "EXHIBIT C" FOR A DRAWING OF "EXHIBIT B."

Upon conclusion of said Water Line installation, the temporary construction easement shall terminate.

Grantee shall have the right to remove trees and brush located upon the right-of-way which will interfere with Grantee's Water Line thereon (but only if necessary for construction or maintenance of the Water Line). Grantee, its successors and assigns, are specifically restricted from building or causing or permitting to be built any building, gates, or other structures above ground upon the Water Line easement. The initial construction of the Water Line will be handled pursuant to a letter agreement to be entered into by Grantor and Grantee prior to such construction. If Grantee must cut a fence, Grantee must, prior to such cutting, install a temporary fence so as to secure Grantor's property and prevent the escape of cattle or stock through the fence cut. Upon termination of the work which necessitated the fence cut, Grantee shall remove the temporary fences, and, at its option, either restore the fences to their original condition or install gates on those locations where fences cross the Water Line. Further,

Grantee shall promptly close and lock (if applicable) all gates which Grantee uses in its operations hereunder, to prevent the escape of cattle or stock through any open gate.

This Water Line easement is granted upon the condition, and Grantee, for itself and on behalf of its successors and assigns, agrees that it will at all times during and after any work performed in connection with the construction, reconstruction, relocation or repair of the said Water Line, restore and repair the said premises and appurtenances of Grantor including any lands, roads, structures, fences, pastures, terraces, contours, streams, ponds or drainage ditches, now or hereinafter located on the above described property to the condition in which same were found before such work was undertaken, and to immediately pay Grantor for injuries to or death of livestock caused by Grantee's activities conducted hereunder. Grantee hereby agrees that in the use of the rights and privileges herein granted, the Grantee will not create a nuisance.

Grantor shall bury the Water Line at least four feet (4') beneath the surface of the earth. Grantee shall place signs on all fence crossings to indicate the presence of and direction of the Water Line.

This grant of easement is for right-of-way purposes only, and this instrument does not convey any other interest or rights in said land or in any oil, gas, gravel, or other minerals or water rights therein, thereunder or thereon.

The rights and privileges herein granted may not be assigned or transferred in whole or in part without the prior approval and written consent of Grantor.

Grantee hereby agrees to include a provision in all its contracts with contractors performing work as contemplated hereby, whereby such contractors shall indemnify and hold harmless Grantor, and its affiliates, from any loss which is due to or arises from any cause and is associated in whole or in part with any operations performed by such contractor, its agents, contractors, officers, employees, representatives and subcontractors, under the contract, a breach of the contract, or any activity or omission arising out of performance or non-performance of the contract. As used in this paragraph, "loss" includes any and all losses, damages, liabilities, claims, demands, actions, suits, judgments, causes of action, penalties, fines, costs and expenses of any nature whatsoever, including reasonable attorneys' fees and court costs, which may result from injury to or death of any person and/or damage to or loss or destruction of any property whatsoever.

TO HAVE AND TO HOLD the rights herein granted unto the Grantee for so long and only so long as the easement described in Exhibit "A" is used for the purposes herein set forth and in accordance with the provisions hereof; and when said premises shall cease to be used for such purposes or the provisions have not been met for a period of one hundred eighty (180) days, then and thereupon this grant shall terminate. Upon termination of this easement, all facilities, appurtenances or improvements remaining upon Grantor's property shall, upon request of Grantor, be removed by and at the expense of Grantee.

IN WITNESS WHEREOF, Grantor has hereunto set its hand, this the 25th day of September, 1997.

Grantor: RANCHO VISTA DEVELOPMENT COMPANY
By: Donald D. Dillard
Donald D. Dillard
Title: Vice President

ACCEPTED this 29th day of September, 1997, for the City of Denton, Texas (Resolution No. 91-073).

By: Roger N. Wilkinson
Roger N. Wilkinson, Right-of-Way Agent

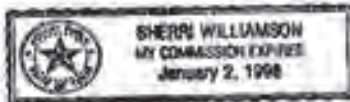
ACKNOWLEDGMENT

THE STATE OF TEXAS §
§
COUNTY OF Dallas §

This instrument was acknowledged before me on September 25, 1997, by Donald D. Dillard, Vice President of Rancho Vista Development Company, a Delaware corporation, on behalf of said corporation.

My commission expires: 1-2-98

Sherri Williamson
Notary Public in and for
The State of Texas



After recording return to:
Attn: Roger N. Wilkinson
City of Denton, Texas
221 N. Elm
Denton, TX 76201

FOR ALAN PLUMMER, PARCEL NO. 1817
UPPER TRINITY REGIONAL WATER
DISTRICT, SANGER WATER LINE
DENTON TO SANGER, TEXAS

EXHIBIT "A"
PERMANENT WATER LINE EASEMENT
S. L. JOHNSON SURVEY, A-683
DENTON COUNTY, TEXAS

SITUATED in Denton County, Texas and being a strip of land out of the S. L. Johnson Survey, Abstract No. 683, said strip being out of a 572.09 acre tract of land conveyed to Rancho Vista Development Co. as described on Page 478 of the deed as recorded in Volume 2695, Page 465 of the Deed Records of Denton County, Texas (D.R.D.C.T.), said strip of land being herein described as a proposed 20 foot wide Permanent Water Line Easement and being herein more particularly described by metes and bounds as follows:

BEGINNING at the southwest property corner of the said Rancho Vista tract;

THENCE, North 01 degree 30 minutes 11 seconds West, along the westerly property line of the said Rancho Vista tract and along the existing easterly right-of-way line of Interstate Highway No. 35, 3075.72 feet to a point on the survey line between the said S. L. Johnson Survey and the I. Coy Survey, Abstract No. 212;

THENCE, East, along the said survey line, 20.01 feet to a point;

THENCE, South 01 degree 30 minutes 11 seconds East 3037.06 feet to a point;

THENCE, South 46 degrees 52 minutes 32 seconds East 26.28 feet to a point;

THENCE, South 01 degree 52 minutes 32 seconds East 20.00 feet to a point on the southerly property line of the said Rancho Vista tract;

THENCE, South 85 degrees 58 minutes 32 seconds West, along the said southerly property line, 38.83 feet to the POINT OF BEGINNING.

The proposed Permanent Water Line Easement being herein described contains 1.4246 acres (62,057 square feet) of land, more or less.

TO ALL PARTIES INTERESTED IN TITLE TO THE PREMISES SURVEYED, I DO HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION WAS PREPARED FROM PUBLIC RECORDS AND FROM AN ACTUAL AND ACCURATE SURVEY UPON THE GROUND AND THAT SAME IS TRUE AND CORRECT.

Company Name: Spooner and Associates, Inc.

By: Shaun Spooner
Shaun Spooner



Registered Professional Land Surveyor,
Texas No. 4183

Date of Survey 8-09-96
Revised 8-12-96

FOR ALAN PLUMMER, PARCEL NO. 181A
UPPER TRINITY REGIONAL WATER
DISTRICT, SANGER WATER LINE
DENTON TO BANGER, TEXAS

EXHIBIT "B"
TEMPORARY CONSTRUCTION EASEMENT
S. L. JOHNSON SURVEY, A-683
DENTON COUNTY, TEXAS

SITUATED in Denton County, Texas and being a strip of land out of the S. L. Johnson Survey, Abstract No. 683, said strip being out of a 572.09 acre tract of land conveyed to Rancho Vista Development Co. as described on Page 478 of the deed as recorded in Volume 2696, Page 465 of the Deed Records of Denton County, Texas (D.R.D.C.T.), said strip of land being herein described as a proposed 20 foot wide Temporary Construction Easement and being herein more particularly described by metes and bounds as follows:

BEGINNING at a point on the survey line between the S.L. Johnson survey and the J. Coy Survey, Abstract No. 212, said point being located East 20.01 feet from the westerly property line of the said Rancho Vista tract;

THENCE, East, along the said survey line, 20.01 feet to a point;

THENCE, South 01 degree 30 minutes 11 seconds East 3028.18 feet to a point;

THENCE, South 46 degrees 52 minutes 32 seconds East 26.20 feet to a point;

THENCE, South 01 degree 52 minutes 32 seconds East 28.58 feet to a point on the southerly property line of the said Rancho Vista tract;

THENCE, South 88 degrees 58 minutes 32 seconds West, along the said southerly property line, 20.00 feet to a point;

THENCE, North 01 degree 52 minutes 32 seconds West 20.00 feet to a point;

THENCE, North 46 degrees 52 minutes 32 seconds West 26.28 feet to a point;

THENCE, North 01 degree 30 minutes 11 seconds West 3037.06 feet to the POINT OF BEGINNING.

The proposed Temporary Construction Easement being herein described contains 1.4166 acres (61,663 square feet) of land, more or less.

TO ALL PARTIES INTERESTED IN TITLE TO THE PREMISES SURVEYED, I DO HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION WAS PREPARED FROM PUBLIC RECORDS AND FROM AN ACTUAL AND ACCURATE SURVEY UPON THE GROUND AND THAT SAME IS TRUE AND CORRECT.

Company Name: Spooner and Associates, Inc.

By: Shaun Spooner
Shaun Spooner

Registered Professional Land Surveyor,
Texas No. 4183

Date of Survey 8-09-96
Revised on 8-12-96



SURVEY: S. L. JOHNSON, A-683
LOCATION: DENTON COUNTY, TEXAS
WHOLE PROPERTY AREA: 572.09 AC.
PERMANENT WATER LINE ESMT.: 1.4246 AC.
TEMPORARY CONSTRUCTION ESMT.: 1.4156 AC.

PARCEL 181A FOR ALAN PLUMMER

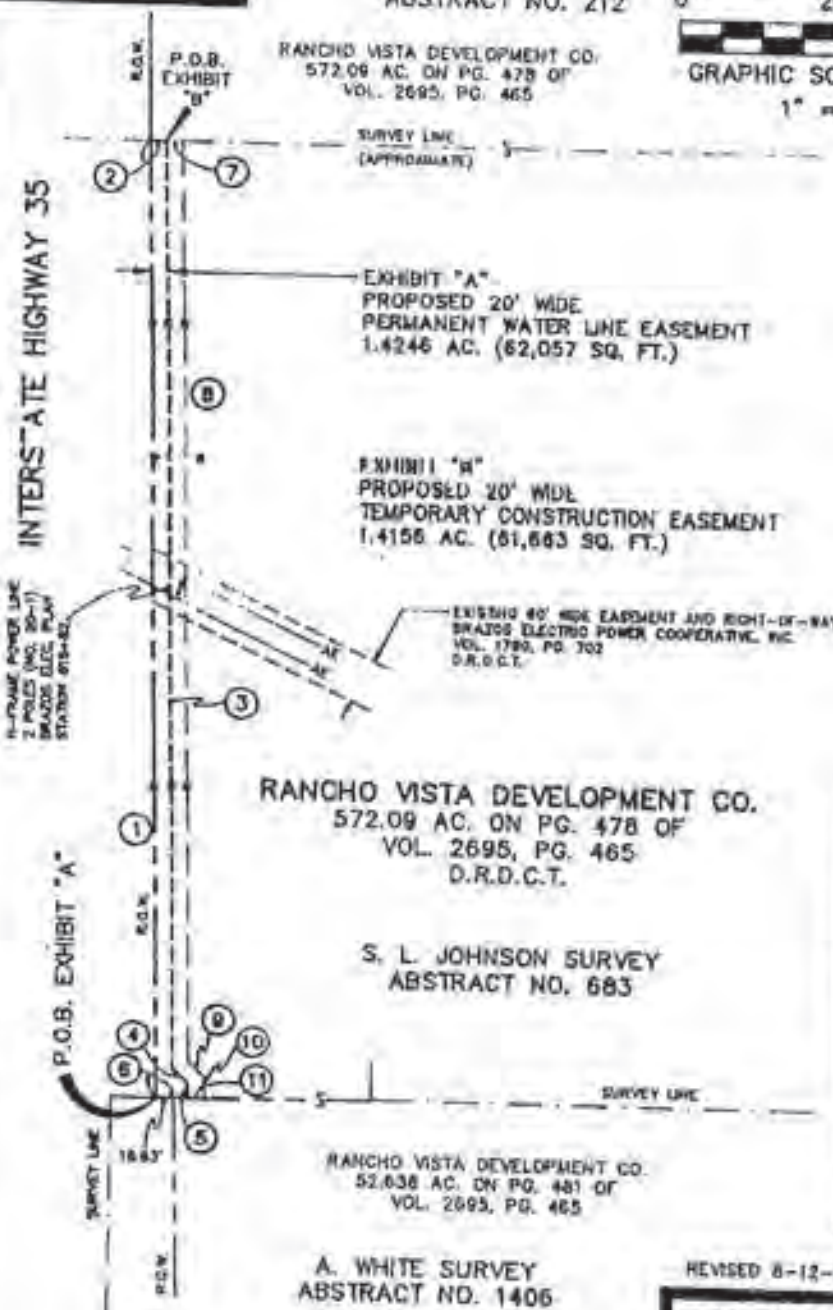
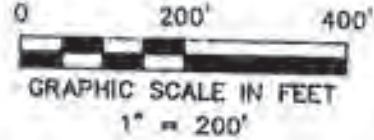
SANGER WATER LINE
DENTON TO SANGER, TEXAS

UPPER TRINITY
REGIONAL WATER DISTRICT

DRAWING OF EXHIBITS "A" & "B"

EXHIBIT "C"

J. COY SURVEY
ABSTRACT NO. 212



LINE TABLE

	BEARING	DISTANCE
①	N01°30'11"W	3075.72'
②	EAST	20.01'
③	S01°30'11"E	3037.06'
④	S46°52'32"E	26.28'
⑤	S01°52'32"E	20.00'
⑥	S88°58'32"W	38.63'
⑦	EAST	20.01'
⑧	S01°30'11"E	3028.18'
⑨	S46°52'32"E	26.20'
⑩	S01°52'32"E	28.58'
⑪	S88°58'32"W	20.00'

REVISED 8-12-96

SPOONER & ASSOC.
REGISTERED PROFESSIONAL
LAND SURVEYORS



JOB NO.: 491-1-96
DATE: 8-09-96
COGO FILE: 491-SANG
ACAD FILE: 491-181
DRAWN BY: S.G.S.
COMPUTED BY: S.G.S.
CHECKED BY: S.G.S.

352 HURST BLVD.
HURST, TX 76053
(817) 282-8981



Return to:

City Of Denton
Engineering & Transportation Dept.
221 North Elm Street
Denton, Texas 76201
Attention: Roger N. Wilkinson

Filed for Record in:
DENTON COUNTY, TX
HINDKALE TIM HUGHES/COUNTY
CLERK

On Oct 18 1997
At 2:57pm

Doc/Num : 57-R0072074
Doc/Type : EAS
Recording : 15.00
Doc/Fees : 6.00
Receipt #: 32939
Deputy - SHELLEY

**EXHIBIT A
PARCEL 074-2 WWE**

**LEGAL DESCRIPTION
WATER AND WASTEWATER EASEMENT**

BEING a 182,976 square foot (4.2005 acre) tract of land situated in the Ignacio De-Los-Santos Coy Survey, Abstract No. 212, the S. Johnson Survey, Abstract No. 683, the Alexander White Survey, Abstract No. 1406, Denton County, Texas, and being part of a called 397.160 acre tract of land described in the General Warranty Deed to Caddenton 35 Six, Inc., recorded in Instrument No. 2013-145689, Official Public Records, Denton County, Texas, and being more particularly described as follows:

COMMENCING at the northwest corner of the said called 397.160 acre tract of land, and being in the east right-of-way line of Interstate Highway No. 35 (a variable width right-of-way);

THENCE North 88°53'12" East, along the north line of the said called 397.160 acre tract of land, a distance of 86.25 feet to the **POINT OF BEGINNING**;

THENCE North 88°53'12" East, continuing along the said north line, a distance of 30.00 feet to a 5/8-inch iron rod with "KHA" cap set for corner;

THENCE South 1°18'08" East, departing the said north line, a distance of 405.99 feet to a point for corner;

THENCE South 18°00'05" East, a distance of 208.81 feet to a point for corner;

THENCE South 1°18'08" East, a distance of 108.81 feet to a point for corner;

THENCE South 15°23'49" West, a distance of 208.81 feet to a point for corner;

THENCE South 1°18'08" East, a distance of 602.72 feet to a point at the beginning of a tangent curve to the right having a central angle of 0°45'54", a radius of 14325.02 feet, a chord bearing and distance of South 0°55'11" East, 191.24 feet;

THENCE in a southeasterly direction, with said curve to the right, an arc distance of 191.24 feet to a point for corner;

THENCE South 18°23'02" East, a distance of 160.50 feet to a point at the beginning of a non-tangent curve to the right having a central angle of 0°38'28", a radius of 14375.00 feet, a chord bearing and distance of South 0°23'32" West, 160.87 feet

THENCE in a southwesterly direction, with said curve to the right, an arc distance of 160.87 feet to a point for corner;

THENCE South 12°20'56" West, a distance of 259.04 feet to a point at the beginning of a non-tangent curve to the right having a central angle of 1°56'34", a radius of 14325.00 feet, a chord bearing and distance of South 2°41'56" West, 485.70 feet;

THENCE in a southwesterly direction, with said curve to the right, an arc distance of 485.72 feet to a point at the beginning of a non-tangent curve to the left having a central angle of 2°58'43", a radius of 4589.78 feet, a chord bearing and distance of South 3°10'48" West, 237.54 feet;

CONTINUED ON SHEET 2

**WATER AND WASTEWATER
EASEMENT
IGNACIO DE-LOS-SANTOS COY
SURVEY, ABSTRACT NO. 212,
S. JOHNSON SURVEY
ABSTRACT NO. 683
ALEXANDER WHITE SURVEY
ABSTRACT NO. 1406
DENTON COUNTY, TEXAS**

Kimley»Horn

801 Cherry Street, Suite 111, W 1365
Fort Worth, Texas 76102 PHONE # 817.335.0500

Tel. No. 817) 335-0511
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Printed by	Sheet No.
N/A	CRG	JDW	10/26/2012	08102903	1 OF 12

EXHIBIT A
PARCEL 074-2 WWE

LEGAL DESCRIPTION (CONTINUED)
WATER AND WASTEWATER EASEMENT

THENCE in a southwesterly direction, with said curve to the left, an arc distance of 237.57 feet to a point for corner;
THENCE South 1°07'51" East, a distance of 697.10 feet to a point for corner;
THENCE South 36°11'37" East, a distance of 78.90 feet to a point for corner;
THENCE South 1°09'36" East, a distance of 150.97 feet to a point for corner;
THENCE South 44°33'16" East, a distance of 21.70 feet to a point for corner;
THENCE South 1°07'44" East, a distance of 66.92 feet to a point for corner;
THENCE South 42°18'43" West, a distance of 21.91 feet to a point for corner;
THENCE South 1°08'13" East, a distance of 442.32 feet to a point for corner;
THENCE South 21°10'06" East, a distance of 157.40 feet to a point for corner;
THENCE South 35°17'53" East, a distance of 90.02 feet to a point for corner;
THENCE South 56°52'13" East, a distance of 95.33 feet to a point for corner;
THENCE South 13°51'05" East, a distance of 53.76 feet to a point for corner;
THENCE South 58°54'35" East, a distance of 1054.24 feet to a point for corner;

THENCE South 31°05'25" West, a distance of 20.00 feet to a point for corner in the northeast right-of-way line of U.S. Highway No. 77 (North Elm Street) (a variable width right-of-way);

THENCE North 58°54'35" West, along the said northeast right-of-way line, a distance of 1114.88 to a point for corner, from which a 1-inch iron rod found for a point in the intersection of the said northeast right-of-way line, and the aforementioned east right-of-way line of Interstate Highway No. 35 bears North 58°54'35" West, a distance of 57.33 feet;

THENCE North 31°34'57" East, departing the said northeast right-of-way line, a distance of 28.84 feet to a point for corner;

THENCE North 56°52'13" West, a distance of 79.68 feet to a point for corner;

THENCE North 35°17'53" West, a distance of 99.45 feet to a point for corner;

THENCE North 21°10'06" West, a distance of 166.42 feet to a point for corner;

THENCE North 1°07'42" West, a distance of 667.77 feet to a point for corner;

CONTINUED ON SHEET 3

**WATER AND WASTEWATER
EASEMENT**
**IGNACIO DE-LOS-SANTOS COY
SURVEY, ABSTRACT NO. 212,
S. JOHNSON SURVEY
ABSTRACT NO. 683
ALEXANDER WHITE SURVEY
ABSTRACT NO. 1406
DENTON COUNTY, TEXAS**

Kimley»Horn

901 Cherry Street, Suite 111, # 1300
Fort Worth, Texas 76162
FIRM # 10194540
Tel. No. (817) 390-6011
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	CRS	JCW	10/12/09	061024043	3 OF 12

**EXHIBIT A
PARCEL 074-2 WWE**

**LEGAL DESCRIPTION (CONTINUED)
WATER AND WASTEWATER EASEMENT**

THENCE North 90°00'00" West, a distance of 47.64 feet to a point for corner in the said east right-of-way line of Interstate Highway No. 35;

THENCE North 1°06'48" West, along the said east right-of-way line, a distance of 10.09 feet to a point for corner;

THENCE South 89°37'12" West, continuing along the said east right-of-way line, a distance of 20.43 feet to a point for corner;

THENCE North 1°06'48" West, continuing along the said east right-of-way line, a distance of 295.96 feet to a point for corner;

THENCE North 2°23'15" East, departing the said east right-of-way line, a distance of 1210.25 feet to a point for corner;

THENCE North 12°20'56" East, a distance of 258.77 feet to a point for corner;
THENCE North 0°23'45" East, a distance of 152.61 feet to a point for corner;
THENCE North 18°23'03" West, a distance of 160.34 feet to a point for corner;
THENCE North 1°12'24" West, a distance of 802.66 feet to a point for corner;
THENCE North 15°23'49" East, a distance of 208.81 feet to a point for corner;
THENCE North 1°18'08" West, a distance of 100.00 feet to a point for corner;
THENCE North 18°00'05" West, a distance of 208.81 feet to a point for corner;

THENCE North 1°18'08" West, a distance of 410.49 feet to the **POINT OF BEGINNING** and containing 182,976 square feet or 4.2005 acres of land, more or less.

NOTES

Bearing system based on the Texas Coordinate System of 1983(2011 adjustment), North Central Zone (4202). A survey plat of even survey date herewith accompanies this metes & bounds description.

The undersigned, Registered Professional Land Surveyor, hereby certifies that the foregoing description accurately sets out the metes and bounds of the easement tract.

**WATER AND WASTEWATER
EASEMENT
IGNACIO DE-LOS-SANTOS COY
SURVEY, ABSTRACT NO. 212,
S. JOHNSON SURVEY
ABSTRACT NO. 683
ALEXANDER WHITE SURVEY
ABSTRACT NO. 1406
DENTON COUNTY, TEXAS**

J.D.W. 2/15/22

JOSHUA D. WARGO
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 6391
801 CHERRY STREET
UNIT 11 SUITE 1300
FORT WORTH, TEXAS 76102
PH, 817-335-6511
josh.wargo@kimley-horn.com



Kimley»Horn

301 Cherry Street, Unit 11, # 1300 Fort Worth, Texas 76102 FIRM # 18159690 Tel. No. (817) 335-6511 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
as	CRD	JDW	10/7/2022	051034048	1 OF 12

**EXHIBIT B
PARCEL 074-2 WWE**

REMAINDER OF TRACT 4
CATDENTON 35, INC.
INST. NO. 2013-15912



P.O.C.

P.O.B.

IRSC
N: 7191055.01
E: 2373128.65

INTERSTATE
HIGHWAY NO. 35
(A VARIABLE WIDTH RIGHT-OF-WAY)

**4.2005 ACRES
182,976 SQ. FT.**

CALLED 397.160 ACRES
CATDENTON 35 SIX, INC.
INST. NO. 2013-145689

PROPOSED TxDOT
RIGHT-OF-WAY
ACQUISITION

LEGEND

P.O.C. = POINT OF COMMENCING
P.O.B. = POINT OF BEGINNING
IRF = IRON ROD FOUND
IRSC = 5/8" IRON ROD W/ "KHA" CAP SET

MATCH LINE (SEE SHEET 5)

NOTES

Bearing system based on the Texas Coordinate System of 1983 (2011 adjustment), North Central Zone (4202). Coordinates have been scaled to surface values using a surface adjustment factor of 1.000150630. A metes and bounds description of even survey date herewith accompanies this survey plat.

The undersigned, Registered Professional Land Surveyor, hereby certifies that this survey plat accurately sets out the metes and bounds of the easement tract.

**WATER AND WASTEWATER
EASEMENT
IGNACIO DE-LOS-SANTOS COY
SURVEY, ABSTRACT NO. 212,
S. JOHNSON SURVEY
ABSTRACT NO. 683
ALEXANDER WHITE SURVEY
ABSTRACT NO. 1406
DENTON COUNTY, TEXAS**

J.D.W. 2/15/22
JOSHUA D. WARGO
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 6391
801 CHERRY STREET
UNIT 11 SUITE 1300
FORT WORTH, TEXAS 76102
PH. 817-335-6511
josh.wargo@kimley-horn.com



Kimley»Horn

801 Cherry Street, Unit 11, #1100 Fort Worth, Texas 76102 P.O. Box # 1010404 Tel. No. (817) 335-6511 www.kimley-horn.com

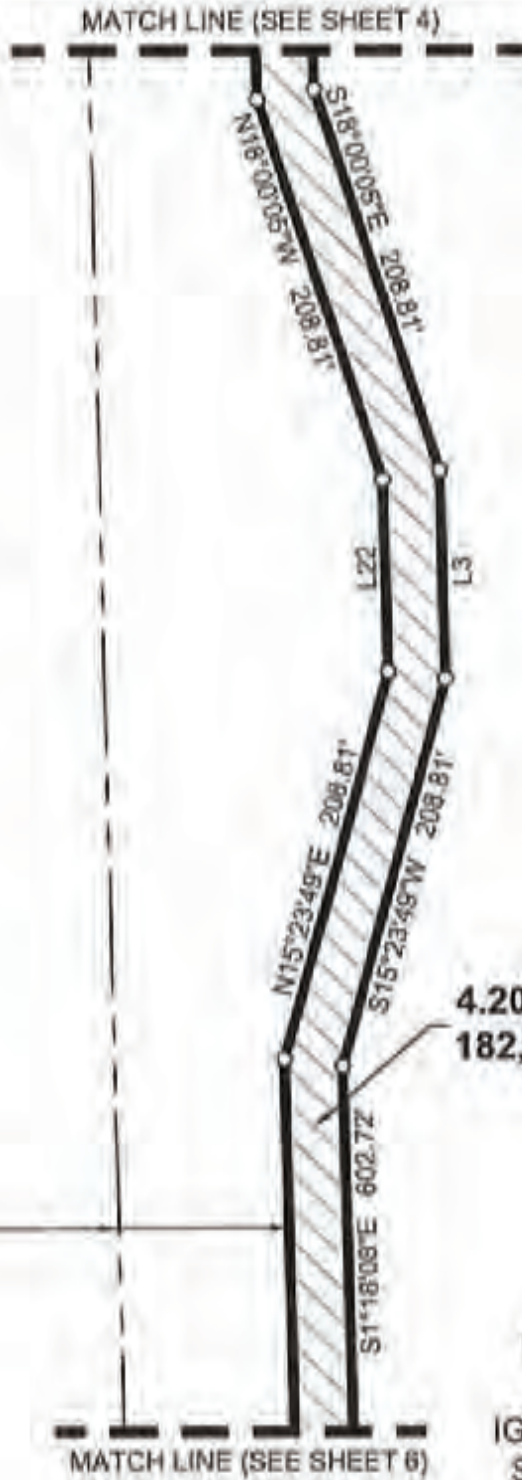
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1" = 100'	CRG	JDW	1/27/2022	06102404	4 OF 4

EXHIBIT B
PARCEL 074-2 WWE



INTERSTATE HIGHWAY NO. 35
(A VARIABLE WIDTH RIGHT-OF-WAY)

PROPOSED TxDOT
RIGHT-OF-WAY
ACQUISITION



CALLED 397.160 ACRES
CATDENTON 35 SIX, INC.
INST. NO. 2013-145689

4.2005 ACRES
182,976 SQ. FT.

**WATER AND WASTEWATER
EASEMENT**
**IGNACIO DE-LOS-SANTOS COY
SURVEY, ABSTRACT NO. 212,
S. JOHNSON SURVEY
ABSTRACT NO. 683
ALEXANDER WHITE SURVEY
ABSTRACT NO. 1406
DENTON COUNTY, TEXAS**

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRF = IRON ROD FOUND
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET

Kimley»Horn

901 Cherry Street, L808 11, # 1300
Fort Worth, Texas 76102 FIRM # 10194040

Tel. No. (817) 335-5511
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Count No.	Sheet No.
1" = 100'	CRS	JGW	1/22/2023	051034043	1 OF 12

**EXHIBIT B
PARCEL 074-2 WWE**

MATCH LINE (SEE SHEET 5)



PROPOSED TxDOT
RIGHT-OF-WAY
ACQUISITION

INTERSTATE HIGHWAY NO. 35
(A VARIABLE WIDTH RIGHT-OF-WAY)

N1°12'24"W 802.66'

**4.2005 ACRES
182,976 SQ. FT.**

CALLED 397.160 ACRES
CATDENTON 35 SIX, INC.
INST. NO. 2013-145689

C=191.24'
CB=S0°55'11"E
L=191.24'
R=14325.02'
Δ=0°45'54"

S18°23'02"E
160.50'

N18°23'03"W
160.34'

MATCH LINE (SEE SHEET 7)

**WATER AND WASTEWATER
EASEMENT
IGNACIO DE-LOS-SANTOS COY
SURVEY, ABSTRACT NO. 212,
S. JOHNSON SURVEY
ABSTRACT NO. 683
ALEXANDER WHITE SURVEY
ABSTRACT NO. 1406
DENTON COUNTY, TEXAS**

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRF = IRON ROD FOUND
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET

Kimley»Horn

801 Cherry Street, 11th Fl., # 1100
Fort Worth, Texas 76102 P.O. # 10194040

Tel. No. (817) 330-6511
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	CRG	JCW	12/7/2023	001094043	8 OF 13

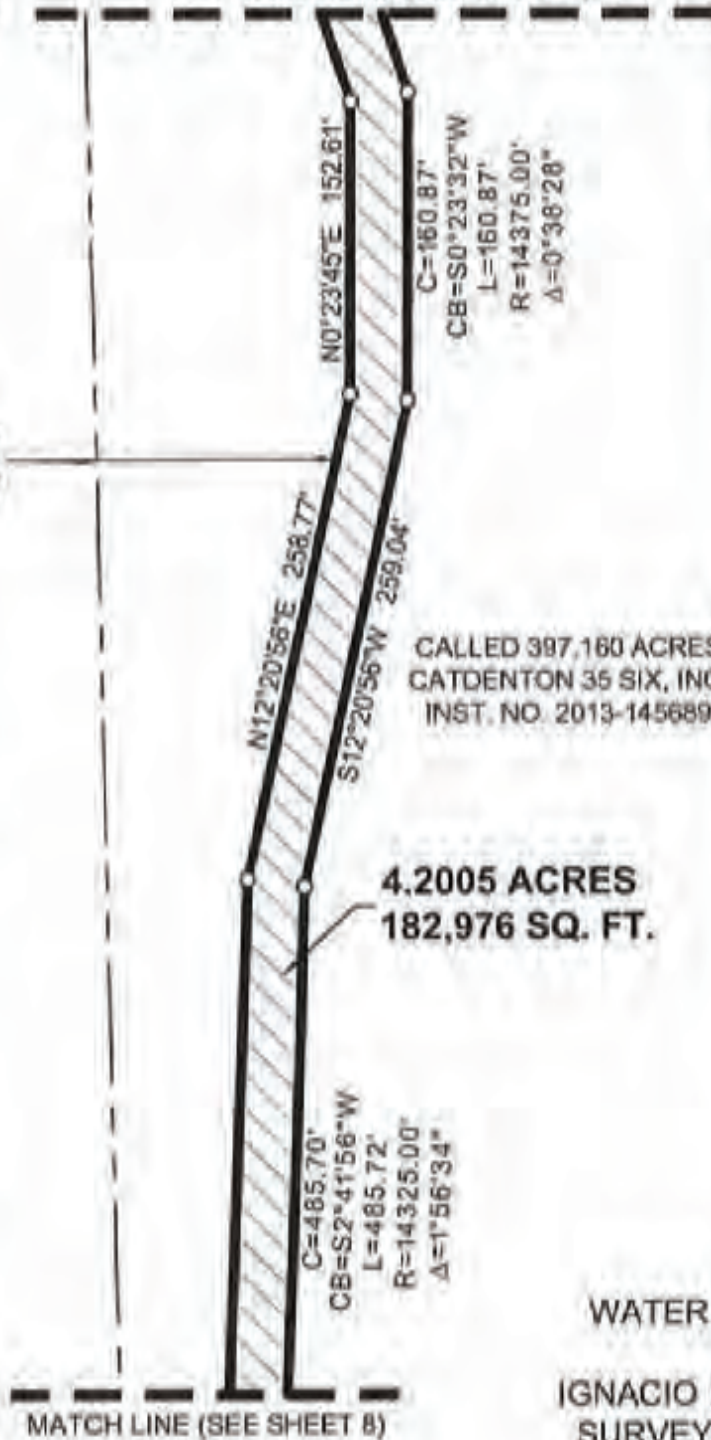
**EXHIBIT B
PARCEL 074-2 WWE**



PROPOSED TxDOT
RIGHT-OF-WAY
ACQUISITION

INTERSTATE HIGHWAY NO. 35
(A VARIABLE WIDTH RIGHT-OF-WAY)

MATCH LINE (SEE SHEET 8)



LINE TABLE

NO.	BEARING	LENGTH
L1	N88°53'12"E	88.25'
L2	N88°53'12"E	30.00'
L3	S01°16'08"E	108.61'
L4	S30°11'37"E	76.90'
L5	S01°09'36"E	150.97'
L6	S44°33'16"E	21.70'
L7	S01°07'44"E	66.92'
L8	S42°18'43"W	21.91'
L9	S21°10'06"E	167.40'
L10	S35°17'53"E	90.02'
L11	S56°52'13"E	96.33'
L12	S13°51'06"E	63.76'
L13	S31°05'25"W	20.00'
L14	N58°54'35"W	67.33'
L15	N31°34'57"E	28.84'
L16	N58°52'13"W	79.68'
L17	N35°17'53"W	99.45'
L18	N21°10'05"W	166.42'
L19	N90°00'00"W	47.84'
L20	N01°08'48"W	10.09'
L21	S89°37'12"W	20.43'
L22	N01°18'06"W	100.00'

**WATER AND WASTEWATER
EASEMENT**
IGNACIO DE-LOS-SANTOS COY
SURVEY, ABSTRACT NO. 212,
S. JOHNSON SURVEY
ABSTRACT NO. 683
ALEXANDER WHITE SURVEY
ABSTRACT NO. 1406
DENTON COUNTY, TEXAS

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRF = IRON ROD FOUND
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET

Kimley»Horn

201 Cherry Street, Ltd 11, # 1300
Fort Worth, Texas 76102
Tel. No. (817) 336-9511
www.kimley-horn.com

Date	Client	Checked by	Date	Created by	Sheet No.
1-16-10	CRG	JDW	10/20/02	061924045	7 OF 12

**EXHIBIT B
PARCEL 074-2 WWE**

MATCH LINE (SEE SHEET 7)



PROPOSED TXDOT
RIGHT-OF-WAY
ACQUISITION

INTERSTATE HIGHWAY NO. 35
(A VARIABLE WIDTH RIGHT-OF-WAY)



N2°23'15\"/>

C=237.54'
CB=S3°10'48\"/>

**4.2005 ACRES
182,976 SQ. FT.**

CALLED 397,160 ACRES
CATDENTON 36 SIX, INC.
INST. NO. 2013-146689

**WATER AND WASTEWATER
EASEMENT**
IGNACIO DE-LOS-SANTOS COY
SURVEY, ABSTRACT NO. 212,
S. JOHNSON SURVEY
ABSTRACT NO. 683
ALEXANDER WHITE SURVEY
ABSTRACT NO. 1406
DENTON COUNTY, TEXAS

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRF = IRON ROD FOUND
- IRSC = 5/8\"/>

Kimley»Horn

901 Cherry Street, Unit 11, # 1200
Fort Worth, Texas 76102 FIRM # 16194040 Tel. No. (817) 335-8211
www.kimley-horn.com

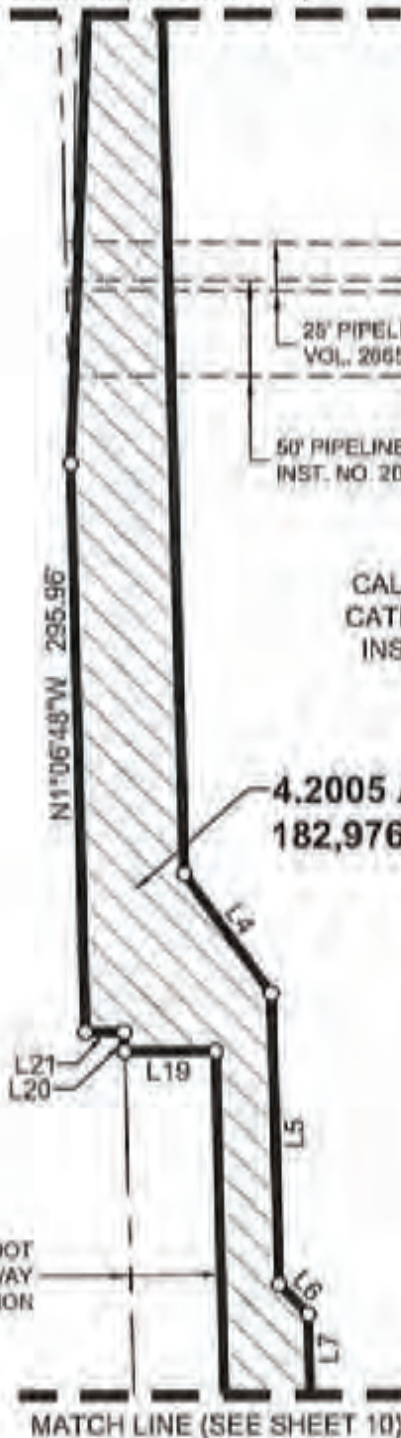
Drawn	Checked	Date	Drawn No.	Sheet No.
CRG	JGW	1/27/2013	001024043	4 OF 13

**EXHIBIT B
PARCEL 074-2 WWE**



MATCH LINE (SEE SHEET 8)

INTERSTATE HIGHWAY NO. 35
(A VARIABLE WIDTH RIGHT-OF-WAY)



25' PIPELINE EASEMENT
VOL. 2065, PG. 787

50' PIPELINE EASEMENT
INST. NO. 200900087176

CALLED 397.160 ACRES
CATDENTON 35 SIX, INC.
INST. NO. 2013-145689

**4.2005 ACRES
182,976 SQ. FT.**

PROPOSED TxDOT
RIGHT-OF-WAY
ACQUISITION

MATCH LINE (SEE SHEET 10)

**WATER AND WASTEWATER
EASEMENT**
IGNACIO DE-LOS-SANTOS COY
SURVEY, ABSTRACT NO. 212,
S. JOHNSON SURVEY
ABSTRACT NO. 683
ALEXANDER WHITE SURVEY
ABSTRACT NO. 1406
DENTON COUNTY, TEXAS

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRF = IRON ROD FOUND
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET

Kimley»Horn

901 Cherry Street, Suite 11, # 1300
Fort Worth, Texas 76102 FIRM # 1619840 Tel. No. (817) 528-0511
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	CFC	JDW	10/2/2022	05102403	5 OF 12

**EXHIBIT B
PARCEL 074-2 WWE**



MATCH LINE (SEE SHEET 9)

STATE OF TEXAS
RIGHT-OF-WAY
EASEMENT
VOL. 418, PG. 78

PROPOSED TXDOT
RIGHT-OF-WAY
ACQUISITION

CALLED 397.160 ACRES
CATDENTON 35 SIX, INC.
INST. NO. 2013-145889

**INTERSTATE
HIGHWAY NO. 35**
(A VARIABLE WIDTH RIGHT-OF-WAY)

**4.2005 ACRES
182,976 SQ. FT.**

WATERLINE EASEMENT
INST. NO. 1997-69142

8" PIPELINE EASEMENT
VOL. 5428, PG. 4395

**WATER AND WASTEWATER
EASEMENT
IGNACIO DE-LOS-SANTOS COY
SURVEY, ABSTRACT NO. 212,
S. JOHNSON SURVEY
ABSTRACT NO. 683
ALEXANDER WHITE SURVEY
ABSTRACT NO. 1406
DENTON COUNTY, TEXAS**

MATCH LINE (SEE SHEET 11)

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRF = IRON ROD FOUND
- IRBC = 5/8" IRON ROD W/ "KHA" CAP SET

Kimley»Horn

501 Cherry Street, Suite 11, # 1390
Fort Worth, Texas 76102
Tel. No. (817) 335-6511
FIRM # 1818660
www.kimley-horn.com

Scale	Drawn By	Checked By	Date	Project No.	Sheet No.
1" = 100'	CRG	JDW	10/19/02	061124048	10-CP-12

**EXHIBIT B
PARCEL 074-2 WWE**



MATCH LINE (SEE SHEET 10)



**4.2005 ACRES
182,976 SQ. FT.**

CALLED 397.160 ACRES
CATDENTON 35 SIX, INC.
INST. NO. 2013-145689

5' PIPELINE EASEMENT
VOL. 5428, PG. 4399

S58°64'35"E 1054.24'

**U.S. HIGHWAY NO. 77
(NORTH ELM STREET)**
(A VARIABLE WIDTH RIGHT-OF-WAY)

MATCH LINE (SEE SHEET 12)

LOT 1, BLOCK A
DENTON TRAVEL CENTER
ADDITION, PHASE 1
(INST. NO. 2009-21)

TA OPERATING LLC
INST. NO. 2015-03681

**WATER AND WASTEWATER
EASEMENT**
IGNACIO DE-LOS-SANTOS COY
SURVEY, ABSTRACT NO. 212,
S. JOHNSON SURVEY
ABSTRACT NO. 683
ALEXANDER WHITE SURVEY
ABSTRACT NO. 1406
DENTON COUNTY, TEXAS

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRP = IRON ROD FOUND
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET

Kimley»Horn

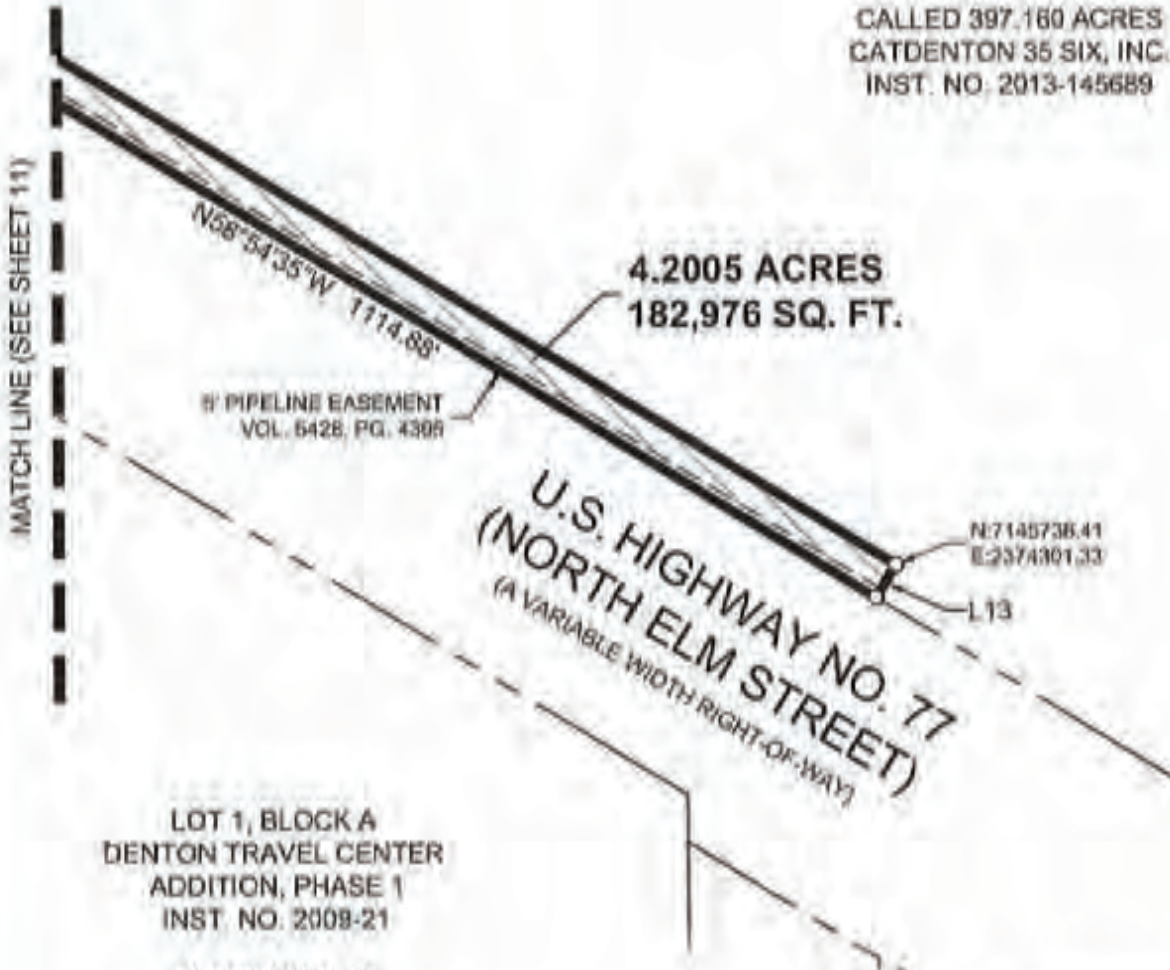
881 Cherry Street, Unit 11, # 1300 Fort Worth, Texas 76102 FIRM # 10184060 Tel: (817) 535-0911 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	CHG	JRW	1/27/2022	001024643	11 OF 12

**EXHIBIT B
PARCEL 074-2 WWE**



CALLED 397.160 ACRES
CATDENTON 35 SIX, INC.
INST. NO. 2013-145689



LOT 1, BLOCK A
DENTON TRAVEL CENTER
ADDITION, PHASE 1
INST. NO. 2009-21

TA OPERATING LLC
INST. NO. 2015-63681

**WATER AND WASTEWATER
EASEMENT**
IGNACIO DE-LOS-SANTOS COY
SURVEY, ABSTRACT NO. 212,
S. JOHNSON SURVEY
ABSTRACT NO. 683
ALEXANDER WHITE SURVEY
ABSTRACT NO. 1406
DENTON COUNTY, TEXAS

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRF = IRON ROD FOUND
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET

Kimley»Horn

301 Cherry Street, Suite 111, #1301 Fort Worth, Texas 76102 Phone: (817) 335-4511 Fax: (817) 335-4511 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	CRG	JGW	10/10/22	061024015	12 OF 12

U00017637

TxDOT Highway Project Number:

0195-02-074

TxDOT Parcel 08

RCSJ 0195-02-079

From: US77/Barthold Dr.

To: Milam Rd

Utility Longitudinal Stations:

Sta 2280+10 RT to Sta 2331+22 RT

Existing Easement

Instrument Number

DOC# 1997-072075 & DOC# 1997-071534

BEING 1.2399 & 1.6080 ACRES IN
THE JOHN AYERS SURVEY A-2,
THE IGNACIO DE-LOS-SANTOS COY SURVEY A-212
BEING PART OF A 934.575 ACRE TRACT
CATDENTON 35, INC.
CITY OF DENTON, DENTON COUNTY, TEXAS

072075

WATER LINE EASEMENT

THE STATE OF TEXAS §
 § KNOW ALL MEN BY THESE PRESENTS:
 COUNTY OF DENTON §

That RANCHO VISTA DEVELOPMENT COMPANY, a Delaware corporation, of 1601 Elm Street, Suite 3400, Dallas, Dallas County, Texas 75201 ("Grantor"), in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration in hand paid by the CITY OF DENTON, TEXAS ("Grantee"), the receipt of which is hereby acknowledged, does hereby grant, bargain, sell and convey unto Grantee an easement and right-of-way for the purposes of operating, repairing, and maintaining one underground water transmission line for the transportation of water ("Water Line") in, upon, and across the following described property of Grantor situated in Denton County, Texas, I. Coy Survey, Abstract No. 212, to wit:

SEE ATTACHED "EXHIBIT D" FOR A METES AND BOUNDS
 DESCRIPTION OF PERMANENT WATER LINE EASEMENT AND
 "EXHIBIT F" FOR A DRAWING OF "EXHIBIT D."

In addition to the Water Line easement set forth on Exhibit "A", Grantee is hereby granted a temporary construction easement for the initial construction of said Water Line described as follows:

SEE ATTACHED "EXHIBIT E" FOR A METES AND BOUNDS
 DESCRIPTION OF THE TEMPORARY CONSTRUCTION EASEMENT AND
 "EXHIBIT F" FOR A DRAWING OF "EXHIBIT E."

Upon conclusion of said Water Line installation, the temporary construction easement shall terminate.

Grantee shall have the right to remove trees and brush located upon the right-of-way which will interfere with Grantee's Water Line thereon (but only if necessary for construction or maintenance of the Water Line). Grantee, its successors and assigns, are specifically restricted from building or causing or permitting to be built any building, gates, or other structures above ground upon the Water Line easement. The initial construction of the Water Line will be handled pursuant to a letter agreement to be entered into by Grantor and Grantee prior to such construction. If Grantee must cut a fence, Grantee must, prior to such cutting, install a temporary fence so as to secure Grantor's property and prevent the escape of cattle or stock through the fence cut. Upon termination of the work which necessitated the fence cut, Grantee shall remove the temporary fences, and, at its option, either restore the fences to their original condition or install gates on those locations where fences cross the Water Line. Further,

Grantee shall promptly close and lock (if applicable) all gates which Grantee uses in its operations hereunder, to prevent the escape of cattle or stock through any open gate.

This Water Line easement is granted upon the condition, and Grantee, for itself and on behalf of its successors and assigns, agrees that it will at all times during and after any work performed in connection with the construction, reconstruction, relocation or repair of the said Water Line, restore and repair the said premises and appurtenances of Grantor including any lands, roads, structures, fences, pastures, terraces, contours, streams, ponds or drainage ditches, now or hereinafter located on the above described property to the condition in which same were found before such work was undertaken, and to immediately pay Grantor for injuries to or death of livestock caused by Grantee's activities conducted hereunder. Grantee hereby agrees that in the use of the rights and privileges herein granted, the Grantee will not create a nuisance.

Grantor shall bury the Water Line at least four feet (4') beneath the surface of the earth. Grantee shall place signs on all fence crossings to indicate the presence of and direction of the Water Line.

This grant of easement is for right-of-way purposes only, and this instrument does not convey any other interest or rights in said land or in any oil, gas, gravel, or other minerals or water rights therein, thereunder or thereon.

The rights and privileges herein granted may not be assigned or transferred in whole or in part without the prior approval and written consent of Grantor.

Grantee hereby agrees to include a provision in all its contracts with contractors performing work as contemplated hereby, whereby such contractors shall indemnify and hold harmless Grantor, and its affiliates, from any loss which is due to or arises from any cause and is associated in whole or in part with any operations performed by such contractor, its agents, contractors, officers, employees, representatives and subcontractors, under the contract, a breach of the contract, or any activity or omission arising out of performance or non-performance of the contract. As used in this paragraph, "loss" includes any and all losses, damages, liabilities, claims, demands, actions, suits, judgments, causes of action, penalties, fines, costs and expenses of any nature whatsoever, including reasonable attorneys' fees and court costs, which may result from injury to or death of any person and/or damage to or loss or destruction of any property whatsoever.

TO HAVE AND TO HOLD the rights herein granted unto the Grantee for so long and only so long as the easement described in Exhibit "A" is used for the purposes herein set forth and in accordance with the provisions hereof; and when said premises shall cease to be used for such purposes or the provisions have not been met for a period of one hundred eighty (180) days, then and thereupon this grant shall terminate. Upon termination of this easement, all facilities, appurtenances or improvements remaining upon Grantor's property shall, upon request of Grantor, be removed by and at the expense of Grantee.

IN WITNESS WHEREOF, Grantor has hereunto set its hand, this the 25th day of September, 1997.

Grantor: RANCHO VISTA DEVELOPMENT COMPANY
By: [Signature]
Donald D. Dillard
Title: Vice President

ACCEPTED this 29th day of September, 1997, for the City of Denton, Texas (Resolution No. 91-073).
By: [Signature]
Roger N. Wilkinson, Right-of-Way Agent

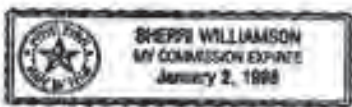
ACKNOWLEDGMENT

THE STATE OF TEXAS §
§
COUNTY OF Dallas §

This instrument was acknowledged before me on September 25, 1997, by Donald D. Dillard, Vice President of Rancho Vista Development Company, a Delaware corporation, on behalf of said corporation.

My commission expires: 1-2-98

[Signature]
Notary Public in and for
The State of Texas



After recording return to:
Attn: Roger N. Wilkinson
City of Denton, Texas
221 N. Elm
Denton, TX 76201

FOR ALAN PLUMMER, PARCEL NO. 1615
UPPER TRINITY REGIONAL WATER
DISTRICT, SANGER WATER LINE
DENTON TO SANGER, TEXAS

EXHIBIT "D"
PERMANENT WATER LINE EASEMENT
I. COY SURVEY, A-212
DENTON COUNTY, TEXAS

SITUATED in Denton County, Texas and being a strip of land out of the I. Coy Survey, Abstract No. 212, said strip being out of a 572.09 acre tract of land conveyed to Rancho Vista Development Co. as described on Page 478 of the deed as recorded in Volume 2695, Page 465 of the Deed Records of Denton County, Texas (D.R.D.C.T.). said strip of land being herein described as a proposed 20 foot wide Permanent Water Line Easement and being herein more particularly described by metes and bounds as follows:

BEGINNING at a point on the westerly property line of the said Rancho Vista tract and on the existing easterly right-of-way line of Interstate Highway No. 35 at the survey line between the S. L. Johnson Survey, Abstract No. 683 and the said I. Coy Survey;

THENCE, North 01 degree 30 minutes 11 seconds West, along the westerly property line of the said Rancho Vista tract and along the said existing easterly right-of-way line of Interstate Highway No. 35, 2911.68 feet to a point;

THENCE, North 88 degrees 27 minutes 14 seconds East, along a northerly property line of the said Rancho Vista tract and along a southerly right-of-way line of the said Highway I-35, 300.00 feet to a point;

THENCE, North 01 degree 31 minutes 10 seconds West, along the westerly property line of the said Rancho Vista tract and along the easterly right-of-way line of the said Highway I-35, 129.70 feet to a point;

THENCE, North 88 degrees 21 minutes 40 seconds East, along a northerly property line of the said Rancho Vista tract and along a southerly right-of-way line of the said Highway I-35 at Ganzer Road, 20.00 feet to a point;

THENCE, South 01 degree 31 minutes 10 seconds East 149.73 feet to a point;

THENCE, South 88 degrees 27 minutes 14 seconds West 300.00 feet to a point;

THENCE, South 01 degree 30 minutes 11 seconds East 2892.22 feet to a point on the survey line between the said I. Coy Survey and the S. L. Johnson Survey, Abstract No. 683;

THENCE, West, along the said survey line, 20.01 feet to the POINT OF BEGINNING.

The proposed Permanent Water Line Easement being herein described contains 1.6343 acres (66,833 square feet) of land, more or less.

TO ALL PARTIES INTERESTED IN TITLE TO THE PREMISES SURVEYED, I DO HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION WAS PREPARED FROM PUBLIC RECORDS AND FROM AN ACTUAL AND ACCURATE SURVEY UPON THE GROUND AND THAT SAME IS TRUE AND CORRECT.

Company Name: Spooner and Associates, Inc.

By: Shaun Spooner
Shaun Spooner

Registered Professional Land Surveyor,
Texas No. 4183

Date of Survey 8-09-86



FOR ALAN PLUMMER, PARCEL NO. 181
UPPER TRINITY REGIONAL WATER
DISTRICT, SANGER WATER LINE
DENTON TO SANGER, TEXAS

EXHIBIT "E"
TEMPORARY CONSTRUCTION EASEMENT
I. COY SURVEY, A-212
DENTON COUNTY, TEXAS

SITUATED in Denton County, Texas and being a strip of land out of the I. Coy Survey, Abstract No. 212, said strip being out of a 572.09 acre tract of land conveyed to Rancho Vista Development Co. as described on Page 478 of the deed as recorded in Volume 2695, Page 465 of the Deed Records of Denton County, Texas (D.R.D.C.T.), said strip of land being herein described as a proposed 20 foot wide Temporary Construction Easement and being herein more particularly described by notes and bounds as follows:

BEGINNING at a point on the survey line between the S. L. Johnson Survey, Abstract No. 683 and the said I. Coy Survey, said point being located East 20.01 feet from the westerly property line of the said Rancho Vista tract;

THENCE, North 01 degree 30 minutes 11 seconds West 2892.22 feet to a point;

THENCE, North 88 degrees 27 minutes 14 seconds East 300.00 feet to a point;

THENCE, North 01 degree 31 minutes 10 seconds West 149.75 feet to a point on a northerly property line of the said Rancho Vista tract at Ganser Road;

THENCE, North 88 degrees 21 minutes 40 seconds East, along the said northerly property line, 20.00 feet to a point;

THENCE, South 01 degree 31 minutes 10 seconds East 169.76 feet to a point;

THENCE, South 88 degrees 27 minutes 14 seconds West 300.01 feet to a point;

THENCE, South 01 degree 30 minutes 11 seconds East 2872.76 feet to a point on the said survey line between the I. Coy Survey and the S. L. Johnson Survey;

THENCE, West, along the said survey line, 20.01 feet to the POINT OF BEGINNING.

The proposed Temporary Construction Easement being herein described contains 1.5346 acres (66,845 square feet) of land, more or less.

TO ALL PARTIES INTERESTED IN TITLE TO THE PREMISES SURVEYED, I DO HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION WAS PREPARED FROM PUBLIC RECORDS AND FROM AN ACTUAL AND ACCURATE SURVEY UPON THE GROUND AND THAT SAME IS TRUE AND CORRECT.

Company Name: Spooner and Associates, Inc.

By: Shaun Spooner
Shaun Spooner

Registered Professional Land Surveyor,
Texas No. 4183

Date of Survey 8-09-96



SURVEY: I. COY, A-212
 LOCATION: DENTON COUNTY, TEXAS
 WHOLE PROPERTY AREA: 572.09 AC.
 PERMANENT WATER LINE ESMT.: 1.5343 AC.
 TEMPORARY CONSTRUCTION ESMT.: 1.5346 AC.

PARCEL 181B FOR ALAN PLUMMER

SANGER WATER LINE
 DENTON TO SANGER, TEXAS

UPPER TRINITY
 REGIONAL WATER DISTRICT

DRAWING OF EXHIBITS "D" & "E"

EXHIBIT "F"

JOHN AYERS SURVEY
 ABSTRACT NO. 2

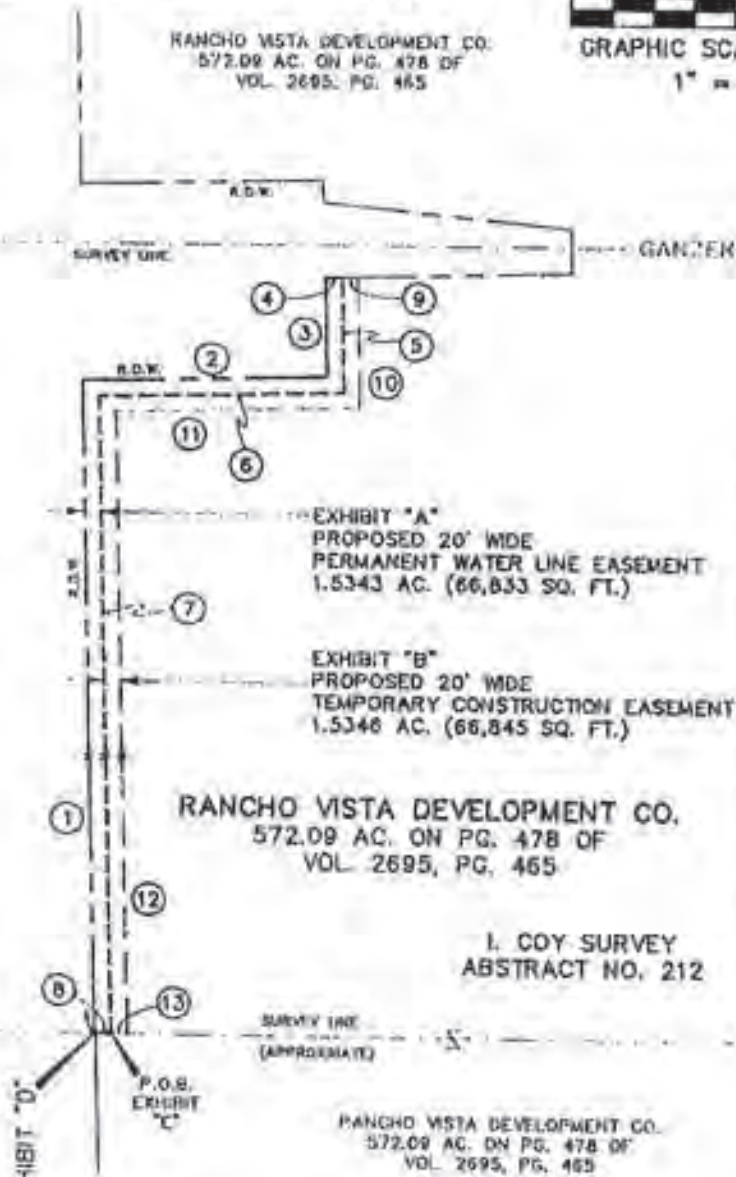
0 200' 400'

RANCHO VISTA DEVELOPMENT CO.
 572.09 AC. ON PG. 478 OF
 VOL. 2695, PG. 465

GRAPHIC SCALE IN FEET
 1" = 200'



INTERSTATE HIGHWAY 35



LINE TABLE

	BEARING	DISTANCE
①	N01°30'11"W	2911.68'
②	N88°27'14"E	300.00'
③	N01°31'10"W	129.70'
④	N88°21'40"E	20.00'
⑤	S01°31'10"E	149.73'
⑥	S88°27'14"W	300.00'
⑦	S01°30'11"E	2892.22'
⑧	WEST	20.01'
⑨	N88°21'40"E	20.00'
⑩	S01°31'10"E	169.76'
⑪	S88°27'14"W	300.01'
⑫	S01°30'11"E	2872.76'
⑬	WEST	20.01'

RANCHO VISTA DEVELOPMENT CO.
 572.09 AC. ON PG. 478 OF
 VOL. 2695, PG. 465

I. COY SURVEY
 ABSTRACT NO. 212

RANCHO VISTA DEVELOPMENT CO.
 572.09 AC. ON PG. 478 OF
 VOL. 2695, PG. 465

S. L. JOHNSON SURVEY
 ABSTRACT NO. 683

SPOONER & ASSOC.
 REGISTERED PROFESSIONAL
 LAND SURVEYORS



Shaun Spooner



352 HURST BLVD.
 HURST, TX 76053
 (817) 282-8981

JOB NO.: 491-1-96
 DATE: 8-09-96
 COGO FILE: 491-SANG
 ACAD FILE: 491-181
 DRAWN BY: S.G.S.
 COMPUTED BY: S.G.S.
 CHECKED BY: S.G.S.

Return To.

City Of Denton
Engineering & Transportation Dept.
221 North Elm Street
Denton, Texas 76201
Attention: Roger N. Wilkinson

Filed for Record in:
DENTON COUNTY, TX
TRANGABLE TIM HODGES/COUNTY
CLERK

On Oct 18 1997
At 2:59pm

map/hwp # 97-00070075
Doc/Type : EAS
Recording: 15.00
Doc/Sheet : 6.00
Receipt #: 32939
Deputy SHELLY

WATER LINE EASEMENT

071534

THE STATE OF TEXAS §
 COUNTY OF DENTON § KNOW ALL MEN BY THESE PRESENTS:
 §

That RANCHO VISTA DEVELOPMENT COMPANY, a Delaware corporation, of 1601 Elm Street, Suite 3400, Dallas, Dallas County, Texas 75201 ("Grantor"), in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration in hand paid by the City of DENTON, TEXAS ("Grantee"), the receipt of which is hereby acknowledged, does hereby grant, bargain, sell and convey unto Grantee an easement and right-of-way for the purposes of operating, repairing, and maintaining one underground water transmission line for the transportation of water ("Water Line") in, upon, and across the following described property of Grantor situated in Denton County, Texas, J. Ayers Survey, Abstract No. 2, to wit:

SEE ATTACHED "EXHIBIT G" FOR A METES AND BOUNDS
 DESCRIPTION OF PERMANENT WATER LINE EASEMENT AND
 "EXHIBIT I" FOR A DRAWING OF "EXHIBIT G."

In addition to the Water Line easement set forth on Exhibit "A", Grantee is hereby granted a temporary construction easement for the initial construction of said Water Line described as follows:

SEE ATTACHED "EXHIBIT H" FOR A METES AND BOUNDS
 DESCRIPTION OF THE TEMPORARY CONSTRUCTION EASEMENT AND
 "EXHIBIT I" FOR A DRAWING OF "EXHIBIT H."

Upon conclusion of said Water Line installation, the temporary construction easement shall terminate.

Grantee shall have the right to remove trees and brush located upon the right-of-way which will interfere with Grantee's Water Line thereon (but only if necessary for construction or maintenance of the Water Line). Grantee, its successors and assigns, are specifically restricted from building or causing or permitting to be built any building, gates, or other structures above ground upon the Water Line easement. The initial construction of the Water Line will be handled pursuant to a letter agreement to be entered into by Grantor and Grantee prior to such construction. If Grantee must cut a fence, Grantee must, prior to such cutting, install a temporary fence so as to secure Grantor's property and prevent the escape of cattle or stock through the fence cut. Upon termination of the work which necessitated the fence cut, Grantee shall remove the temporary fences, and, at its option, either restore the fences to their original condition or install gates on those locations where fences cross the Water Line. Further,

Grantee shall promptly close and lock (if applicable) all gates which Grantee uses in its operations hereunder, to prevent the escape of cattle or stock through any open gate.

This Water Line easement is granted upon the condition, and Grantee, for itself and on behalf of its successors and assigns, agrees that it will at all times during and after any work performed in connection with the construction, reconstruction, relocation or repair of the said Water Line, restore and repair the said premises and appurtenances of Grantor including any lands, roads, structures, fences, pastures, terraces, contours, streams, ponds or drainage ditches, now or hereinafter located on the above described property to the condition in which same were found before such work was undertaken, and to immediately pay Grantor for injuries to or death of livestock caused by Grantee's activities conducted hereunder. Grantee hereby agrees that in the use of the rights and privileges herein granted, the Grantee will not create a nuisance.

Grantor shall bury the Water Line at least four feet (4') beneath the surface of the earth. Grantee shall place signs on all fence crossings to indicate the presence of and direction of the Water Line.

This grant of easement is for right-of-way purposes only, and this instrument does not convey any other interest or rights in said land or in any oil, gas, gravel, or other minerals or water rights therein, thereunder or thereon.

The rights and privileges herein granted may not be assigned or transferred in whole or in part without the prior approval and written consent of Grantor.

Grantee hereby agrees to include a provision in all its contracts with contractors performing work as contemplated hereby, whereby such contractors shall indemnify and hold harmless Grantor, and its affiliates, from any loss which is due to or arises from any cause and is associated in whole or in part with any operations performed by such contractor, its agents, contractors, officers, employees, representatives and subcontractors, under the contract, a breach of the contract, or any activity or omission arising out of performance or non-performance of the contract. As used in this paragraph, "loss" includes any and all losses, damages, liabilities, claims, demands, actions, suits, judgments, causes of action, penalties, fines, costs and expenses of any nature whatsoever, including reasonable attorneys' fees and court costs, which may result from injury to or death of any person and/or damage to or loss or destruction of any property whatsoever.

FOR ALAN PLUMMER, PARCEL NO. 1811
UPPER TRINITY REGIONAL WATER
DISTRICT, SANGER WATER LINE
DENTON TO SANGER, TEXAS

EXHIBIT "G"
PERMANENT WATER LINE EASEMENT
JOHN AYERS SURVEY, A-2
DENTON COUNTY, TEXAS

SITUATED in Denton County, Texas and being a strip of land out of the John Ayers Survey, Abstract No. 2, said strip being out of a 672.09 acre tract of land conveyed to Rancho Vista Development Co. as described on Page 478 of the deed as recorded in Volume 2695, Page 465 of the Deed Records of Denton County, Texas (D.R.D.C.T.), said strip of land being herein described as a proposed 20 foot wide Permanent Water Line Easement and being herein more particularly described by metes and bounds as follows:

BEGINNING at the northwest property corner of the said Rancho Vista tract, said point also being the southwest property corner of a tract of land conveyed to Emma Jo Harris by deed as recorded in Volume 3312, Page 588 of the D.R.D.C.T., said point also being on the existing easterly right-of-way line of Interstate Highway No. 35;

THENCE, North 89 degrees 22 minutes 54 seconds East, along the northerly property line of the said Rancho Vista tract and along the southerly property line of the said Harris tract, 20.00 feet to a point;

THENCE, South 00 degrees 00 minutes 51 seconds East 1825.02 feet to a point at the beginning of a curve to the left whose center bears North 89 degrees 58 minutes 45 seconds East 11290.76 feet;

THENCE, in a southerly direction along the said curve, through a central angle of 01 degree 37 minutes 01 second and an arc length of 318.64 feet to a point;

THENCE, South 01 degree 17 minutes 36 seconds East 466.37 feet to a point;

THENCE, North 88 degrees 23 minutes 09 seconds East 297.07 feet to a point;

THENCE, South 01 degree 31 minutes 10 seconds East 62.75 feet to a point on a southerly property line of the said Rancho Vista tract and on a northerly right-of-way line of the said Interstate Highway No. 35 at Ganzer Road;

THENCE, North 84 degrees 11 minutes 25 seconds West, along the said property line and along the said right-of-way line, 21.46 feet to a point;

THENCE, the following courses along the general westerly property line of the said Rancho Vista tract and along the general easterly right-of-way line of the said Highway I-35:

THENCE, North 01 degree 08 minutes 00 seconds West 29.98 feet to a point;

THENCE, South 88 degrees 23 minutes 09 seconds West 296.07 feet to a point;

THENCE, North 01 degree 17 minutes 36 seconds West 486.40 feet to a point at the beginning of a curve to the right whose center bears North 89 degrees 15 minutes 44 seconds East 11310.76 feet;

THENCE, in a northerly direction along the said curve, through a central angle of 01 degree 37 minutes 01 second and an arc length of 319.20 feet to a point;

THENCE, North 00 degrees 00 minutes 51 seconds West 1824.82 feet to the POINT OF BEGINNING,

The proposed Permanent Water Line Easement being herein described contains 1.3593 acres (59,212 square feet) of land, more or less.

TO ALL PARTIES INTERESTED IN TITLE TO THE PREMISES SURVEYED, I DO HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION WAS PREPARED FROM PUBLIC RECORDS AND FROM AN ACTUAL AND ACCURATE SURVEY UPON THE GROUND AND THAT SAME IS TRUE AND CORRECT.

Company Name: Spooner and Associates, Inc.

By: Shaun Spooner
Shaun Spooner



Registered Professional Land Surveyor, Texas No. 4183 Date of Survey 8-09-96

FOR ALAN PLUMMER, PARCEL NO. 181A
UPPER TRINITY REGIONAL WATER
DISTRICT, SANGER WATER LINE
DENTON TO SANGER, TEXAS

EXHIBIT "H"
TEMPORARY CONSTRUCTION EASEMENT
JOHN AYERS SURVEY, A-2
DENTON COUNTY, TEXAS

SITUATED in Denton County, Texas and being a strip of land out of the John Ayers Survey, Abstract No. 2, said strip being out of a 572.09 acre tract of land conveyed to Rancho Vista Development Co. as described on Page 478 of the deed as recorded in Volume 2695, Page 465 of the Deed Records of Denton County, Texas (D.R.D.C.T.), said strip of land being herein described as a proposed 20 foot wide Temporary Construction Easement and being herein more particularly described by metes and bounds as follows:

BEGINNING at a point on the northerly property line of the said Rancho Vista tract, said point being located North 89 degrees 22 minutes 54 seconds East 20.00 feet from it's northwest property corner;

THENCE, North 89 degrees 22 minutes 54 seconds East, along the northerly property line of the said Rancho Vista tract, 20.00 feet to a point;

THENCE, South 00 degrees 00 minutes 51 seconds East 1825.21 feet to a point at the beginning of a curve to the left whose center bears North 89 degrees 52 minutes 45 seconds East 11270.76 feet;

THENCE, in a southerly direction along the said curve, through a central angle of 01 degree 37 minutes 01 second and an arc length of 318.07 feet to a point;

THENCE, South 01 degree 17 minutes 36 seconds East 446.33 feet to a point;

THENCE, North 88 degrees 23 minutes 09 seconds East 296.98 feet to a point;

THENCE, South 01 degree 31 minutes 10 seconds East 75.36 feet to a point on a southerly property line of the said Rancho Vista tract at Clunzer Road;

THENCE, North 84 degrees 11 minutes 20 seconds West, along the said property line, 20.16 feet to a point;

THENCE, North 01 degree 31 minutes 10 seconds West 62.75 feet to a point;

THENCE, South 85 degrees 23 minutes 09 seconds West 297.07 feet to a point;

THENCE, North 01 degree 17 minutes 36 seconds West 466.37 feet to a point at the beginning of a curve to the right whose center bears North 88 degrees 15 minutes 44 seconds East 11290.76 feet;

THENCE, in a northerly direction along the said curve, through a central angle of 01 degree 37 minutes 01 second and an arc length of 318.64 feet to a point;

THENCE, North 00 degrees 00 minutes 51 seconds West 1825.02 feet to the POINT OF BEGINNING.

The proposed Temporary Construction Easement being herein described contains 1.3596 acres (69,220 square feet) of land, more or less.

TO ALL PARTIES INTERESTED IN TITLE TO THE PREMISES SURVEYED, I DO HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION WAS PREPARED FROM PUBLIC RECORDS AND FROM AN ACTUAL AND ACCURATE SURVEY UPON THE GROUND AND THAT SAME IS TRUE AND CORRECT.

Company Name: Spooner and Associates, Inc.

By: Shaun Spooner
Shaun Spooner

Registered Professional Land Surveyor,
Texas No. 4183

Date of Survey: 8-09-96



SURVEY: J. AYERS, A--2
 LOCATION: DENTON COUNTY, TEXAS
 WHOLE PROPERTY AREA: 572.09 AC.
 PERMANENT WATER LINE ESMT.: 1.3593 AC.
 TEMPORARY CONSTRUCTION ESMT.: 1.3595 AC.

PARCEL 181C FOR ALAN PLUMMER

SANGER WATER LINE
 DENTON TO SANGER, TEXAS

UPPER TRINITY
 REGIONAL WATER DISTRICT

DRAWING OF EXHIBITS "G" & "H"

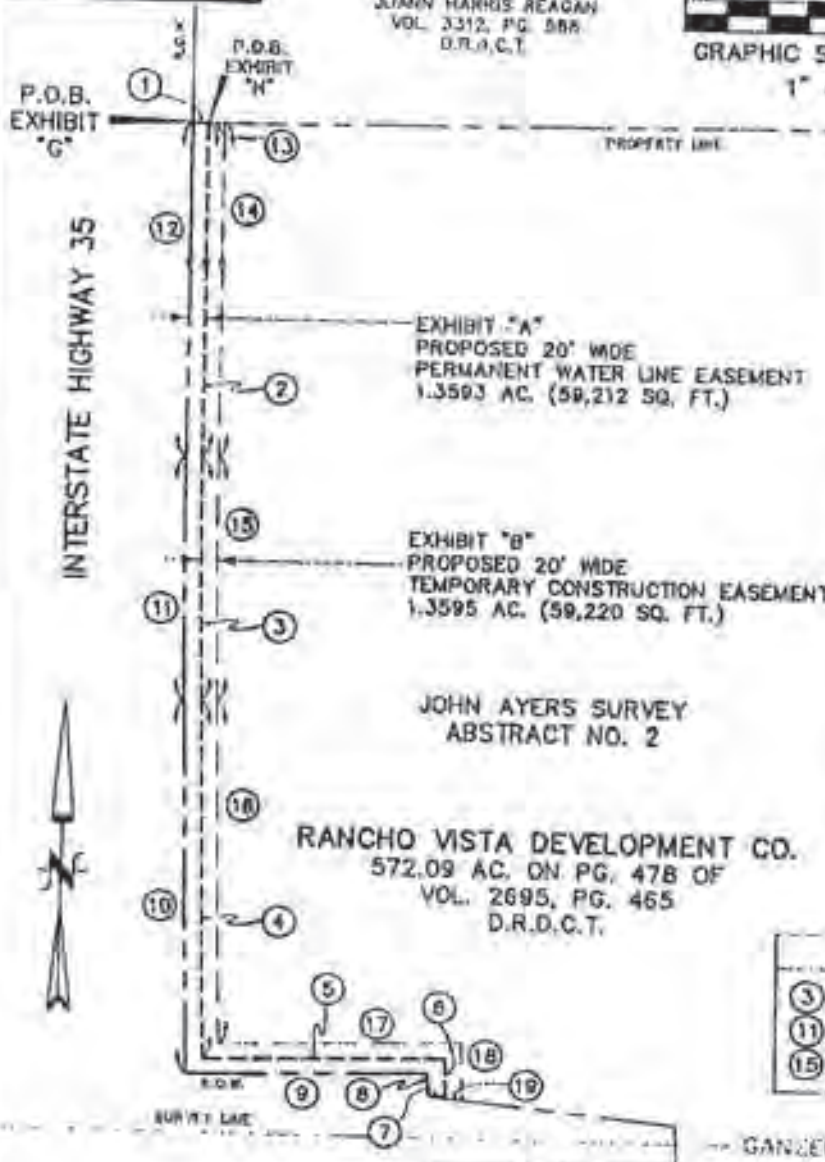
EXHIBIT "I"

FAYMA JO HARRIS
 GREG HARRIS
 JOANN HARRIS REAGAN
 VOL. 3312, PG. 588
 D.R.D.C.T.

0 200' 400'

GRAPHIC SCALE IN FEET

1" = 200'



LINE TABLE

BEARING	DISTANCE
①	N89°22'54"E 20.00'
②	S00°00'51"E 1825.02'
④	S01°17'36"E 466.33'
⑤	N88°23'09"E 297.07'
⑥	S01°31'10"E 52.75'
⑦	N84°11'25"W 21.48'
⑧	N01°08'00"W 29.98'
⑨	S88°23'09"W 296.07'
⑩	N01°17'36"W 486.40'
⑫	N00°00'51"W 1824.82'
⑬	N89°22'54"E 20.00'
⑭	S00°00'51"E 1825.21'
⑯	S01°17'36"E 446.33'
⑰	N88°23'09"E 296.99'
⑱	S01°31'10"E 75.36'
⑲	N84°11'25"W 20.16'

CURVE TABLE

DELTA	RADIUS	LENGTH
③	D1°37'01"	11290.76' 318.64'
⑪	D1°37'01"	11310.76' 319.20'
⑮	D1°37'01"	11270.76' 318.07'

JOHN AYERS SURVEY
 ABSTRACT NO. 2

RANCHO VISTA DEVELOPMENT CO.
 572.09 AC. ON PG. 478 OF
 VOL. 2695, PG. 465
 D.R.D.C.T.

I. COY SURVEY
 ABSTRACT NO. 212

RANCHO VISTA DEVELOPMENT CO.
 572.09 AC. ON PG. 478 OF
 VOL. 2695, PG. 465

SPOONER & ASSOC.
 REGISTERED PROFESSIONAL
 LAND SURVEYORS



Shaun Spooner



352 HURST BLVD.
 HURST, TX 76053
 (817) 282-6981

JOB NO.: 491-1-96
 DATE: 8-09-96
 COGO FILE: 491-SANG
 ACAD FILE: 491-181
 DRAWN BY: S.G.S.
 COMPUTED BY: S.G.S.
 CHECKED BY: S.G.S.

Return To:

City Of Denton
Engineering & Transportation Dept.
221 North Elm Street
Denton, Texas 76201
Attention: Roger N. Wilkinson

Filed for Record in:
DENTON COUNTY, TX
HONORABLE TIM HODGES/COUNTY
CLERK

On Oct 08 1997
At 4:02pm

Doc/Num : 97-R0071534
Doc/Type : EAS
Recording: 15.00
Doc/Agst : 6.00
Receipt #: 32686
Deputy - SHELLEY

**EXHIBIT A
PARCEL 074-8 WWE**

**LEGAL DESCRIPTION (CONTINUED)
WATER AND WASTEWATER EASEMENT**

THENCE North $0^{\circ}15'42''$ East, a distance of 1364.00 feet to a point at the beginning of a non-tangent curve to the right having a central angle of $2^{\circ}31'17''$, a radius of 13905.00 feet, a chord bearing and distance of North $3^{\circ}44'53''$ East, 611.85 feet;

THENCE in a northeasterly direction, with said curve to the right, an arc distance of 611.90 feet to a point at the beginning of a reverse curve to the left having a central angle of $2^{\circ}11'03''$, a radius of 14295.00 feet, a chord bearing and distance of North $3^{\circ}55'00''$ East, 544.90 feet;

THENCE in a northeasterly direction, with said curve to the left, an arc distance of 544.94 feet to a point for corner;

THENCE North $10^{\circ}35'23''$ East, a distance of 74.04 feet to the **POINT OF BEGINNING** and containing 54,008 square feet or 1.2399 acres of land, more or less.

TRACT 2

COMMENCING at the northwest corner of a called 397.160 acre tract described in the General Warranty Deed to Caldenton 35 Six, Inc., recorded in Instrument No. 2013-145689 Official Public Records, Denton County, Texas and being in the east right-of-way line of Interstate Highway No. 35 (a variable width right-of-way);

THENCE North $88^{\circ}53'12''$ East, along the north line of the said called 397.160 acre tract, a distance of 86.25 feet, to the **POINT OF BEGINNING**;

THENCE North $1^{\circ}18'08''$ West, departing the said north line, a distance of 1239.51 feet to a point for corner;

THENCE North $24^{\circ}20'19''$ East, a distance of 138.65 feet to a point for corner;

THENCE North $0^{\circ}57'04''$ West, a distance of 519.52 feet to a point for corner;

THENCE North $16^{\circ}41'25''$ West, a distance of 154.75 feet to a point for corner;

THENCE North $0^{\circ}23'39''$ East, a distance of 179.77 feet to a point for corner, being in the south right-of-way line of Ganzer Road (a variable width right-of-way);

THENCE North $88^{\circ}55'11''$ East, along the said south right-of-way line, a distance of 39.99 feet to a 5/8-inch iron rod with "KHA" cap set for corner.

CONTINUED ON SHEET 3

**WATER AND WASTEWATER
EASEMENT
JOHN AYERS SURVEY
ABSTRACT NO. 2
IGNACIO DE-LOS-SANTOS
COY SURVEY
ABSTRACT NO. 212
DENTON COUNTY, TEXAS**

Kimley»Horn

881 Cherry Street, Unit 11, # 1300
Fort Worth, Texas 76102 FIRM # 1819406

Tel. No. (817) 336-6511
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Drawn No.	Sheet No.
N/A	CRG	JEW	1/26/2022	08102403	3 OF 10

**EXHIBIT A
PARCEL 074-8 WWE**

**LEGAL DESCRIPTION (CONTINUED)
WATER AND WASTEWATER EASEMENT**

THENCE South 0°23'14" West, departing the said south right-of-way line, a distance of 174.80 feet to a point for corner;

- THENCE** South 16°41'25" East, a distance of 154.58 feet to a point for corner;
- THENCE** South 0°21'47" East, a distance of 5.79 feet to a point for corner;
- THENCE** South 23°14'17" West, a distance of 25.30 feet to a point for corner;
- THENCE** South 0°44'10" East, a distance of 273.07 feet to a point for corner;
- THENCE** South 1°18'08" East, a distance of 229.46 feet to a point for corner;
- THENCE** South 24°20'19" West, a distance of 138.65 feet to a point for corner;

THENCE South 1°18'08" East, a distance of 1232.78 feet to a 5/8-inch iron rod with "KHA" cap set for corner, being in the said north line of the called 397.160 acre tract;

THENCE South 88°53'12" West, along the said north line, a distance of 30.00 feet to the **POINT OF BEGINNING** and containing 70,043 square feet or 1.6080 acres of land, more or less.

NOTES

Bearing system based on the Texas Coordinate System of 1983(2011 adjustment), North Central Zone (4202). A survey plat of even survey date herewith accompanies this metes & bounds description.

The undersigned, Registered Professional Land Surveyor, hereby certifies that the foregoing description accurately sets out the metes and bounds of the easement tract.

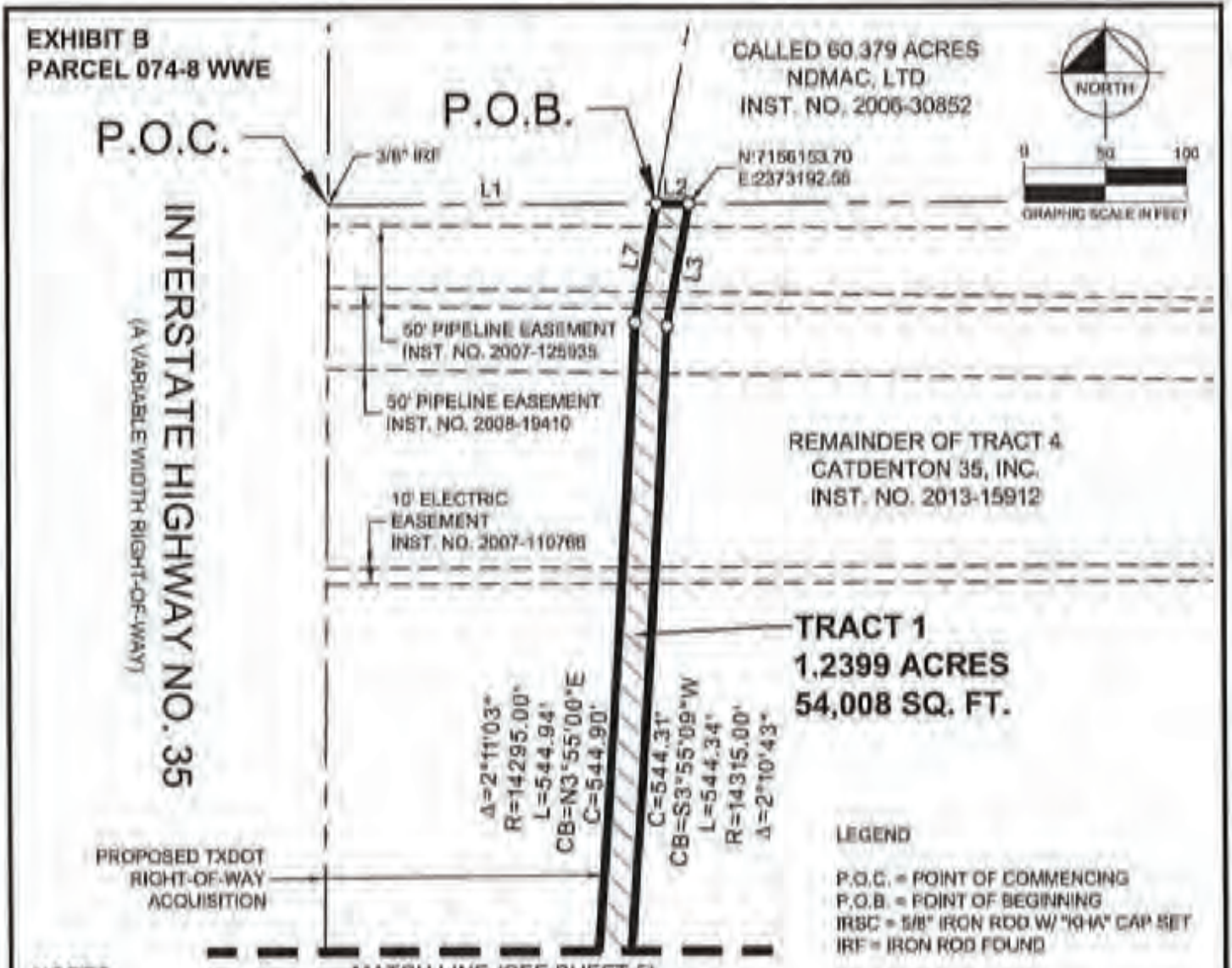
**WATER AND WASTEWATER
EASEMENT
JOHN AYERS SURVEY
ABSTRACT NO. 2
IGNACIO DE-LOS-SANTOS
COY SURVEY
ABSTRACT NO. 212
DENTON COUNTY, TEXAS**

J.D.W. 2/15/22
JOSHUA D. WARGO
 REGISTERED PROFESSIONAL
 LAND SURVEYOR NO. 6391
 801 CHERRY STREET
 UNIT 11 SUITE 1300
 FORT WORTH, TEXAS 76102
 PH. 817-335-6511
 josh.wargo@kimley-horn.com



Kimley»Horn
 801 Cherry Street, Unit 11, # 1300 Fort Worth, Texas 76102 FIRM # 19194046 Tel. No. (817) 335-8911 www.kimley-horn.com

Scale: N/A	Drawn by: CRG	Checked by: JW	Date: 1/26/2022	Project No.: 201024043	Sheet No.: 3 of 10
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NOTES

Bearing system based on the Texas Coordinate System of 1983 (2011 adjustment), North Central Zone (4202). Coordinates have been scaled to surface values using a surface adjustment factor of 1.000150630. A metes and bounds description of even survey date herewith accompanies this survey plat.

The undersigned, Registered Professional Land Surveyor, hereby certifies that this survey plat accurately sets out the metes and bounds of the easement tract.

**WATER AND WASTEWATER
EASEMENT
JOHN AYERS SURVEY
ABSTRACT NO. 2
IGNACIO DE-LOS-SANTOS
COY SURVEY
ABSTRACT NO. 212
DENTON COUNTY, TEXAS**

J.D.W. 2/15/22
JOSHUA D. WARGO
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Kimley»Horn

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 Fort Worth, Texas 76101 FIRM # 1018210 Tel. No. (817) 335-0511
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Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	CSG	JOW	1/26/2022	06122043	4 of 10

EXHIBIT B
PARCEL 074-8 WWE

MATCH LINE (SEE SHEET 4)



INTERSTATE HIGHWAY NO. 35
(A VARIABLE WIDTH RIGHT-OF-WAY)

PROPOSED TxDOT
RIGHT-OF-WAY
ACQUISITION

TRACT 1
1.2399 ACRES
54,008 SQ. FT.

REMAINDER OF TRACT 4
CATDENTON 35, INC.
INST. NO. 2013-15912

$\Delta=2^{\circ}31'17''$
 $R=13905.00'$
 $L=611.90'$
 $CB=N3^{\circ}44'53''E$
 $C=611.65'$

$C=610.58'$
 $CB=S3^{\circ}44'56''W$
 $L=610.63'$
 $R=13885.00'$
 $\Delta=2^{\circ}31'11''$

LINE TABLE		
NO.	BEARING	LENGTH
L1	N89°52'35"E	203.11'
L2	N89°52'35"E	20.35'
L3	S10°35'23"W	76.47'
L4	S22°45'56"E	104.85'
L5	S88°57'50"W	27.43'
L6	N44°11'22"W	48.03'
L7	N10°35'23"E	74.04'
L8	N88°53'12"E	86.25'
L9	N88°55'11"E	30.99'
L10	S00°21'47"E	5.79'
L11	S23°14'17"W	25.30'
L12	S88°53'12"W	30.00'

MATCH LINE (SEE SHEET B)

**WATER AND WASTEWATER
EASEMENT**
JOHN AYERS SURVEY
ABSTRACT NO. 2
IGNACIO DE-LOS-SANTOS
COY SURVEY
ABSTRACT NO. 212
DENTON COUNTY, TEXAS

LEGEND

P.O.C. = POINT OF COMMENCING
P.O.B. = POINT OF BEGINNING
IRSC = 5/8" IRON ROD W/ "KHA" CAP SET
IRF = IRON ROD FOUND

Kimley»Horn

201 Cherry Street, Unit 11, # 1500
Fort Worth, Texas 76102
FIRM # 10194040
Tel. No. (817) 335-8511
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	CHD	JOW	1/26/2022	001024843	5 of 10

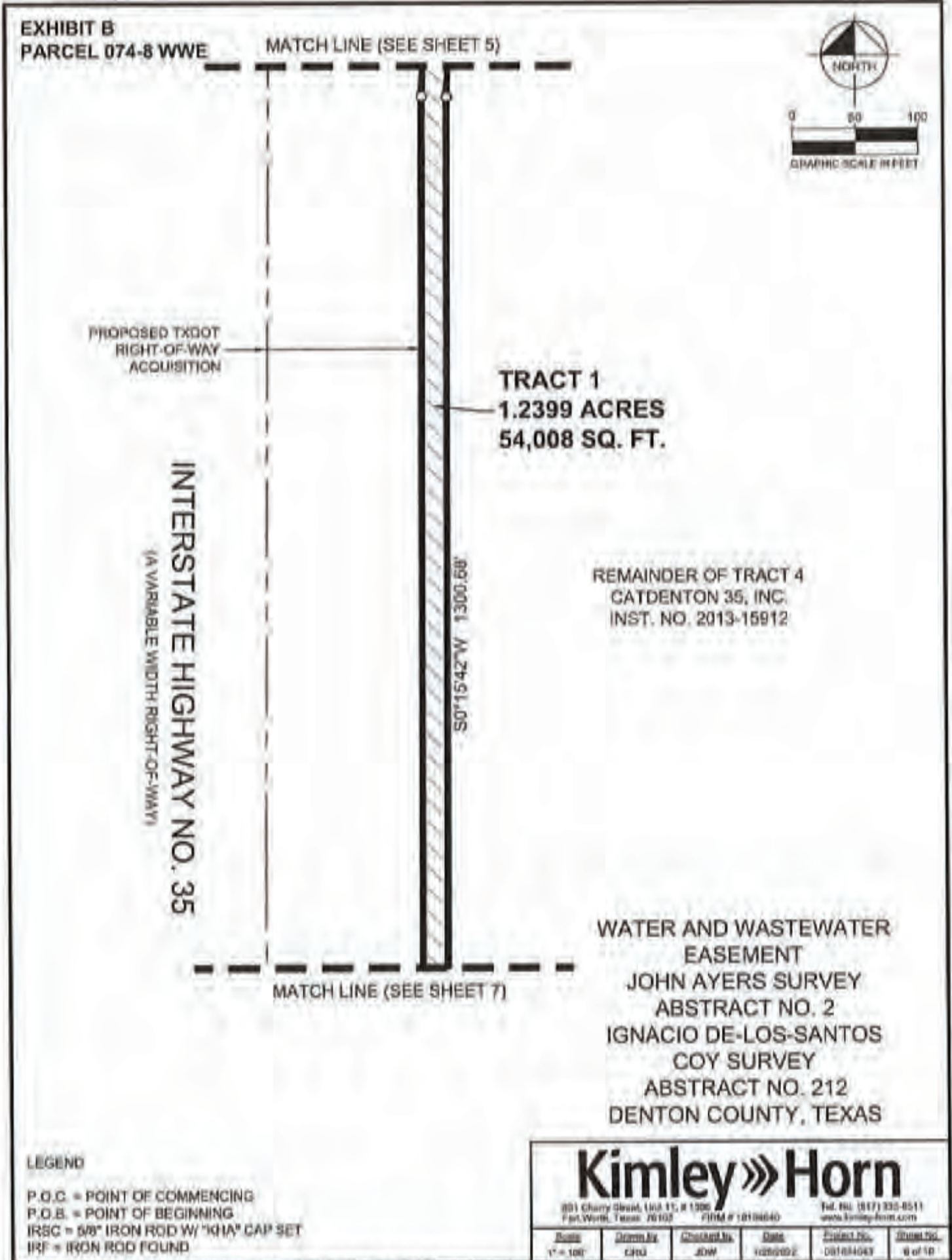


EXHIBIT B
PARCEL 074-8 WWE

MATCH LINE (SEE SHEET 5)



PROPOSED TxDOT
RIGHT-OF-WAY
ACQUISITION

INTERSTATE HIGHWAY NO. 35
 (A VARIABLE WIDTH RIGHT-OF-WAY)

TRACT 1
1.2399 ACRES
54,008 SQ. FT.

S0°15'42" W 1300.68'

REMAINDER OF TRACT 4
CATDENTON 35, INC.
INST. NO. 2013-15912

MATCH LINE (SEE SHEET 7)

**WATER AND WASTEWATER
EASEMENT**
JOHN AYERS SURVEY
ABSTRACT NO. 2
IGNACIO DE-LOS-SANTOS
COY SURVEY
ABSTRACT NO. 212
DENTON COUNTY, TEXAS

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET
- IRF = IRON ROD FOUND

Kimley»Horn

801 Cherry Street, Suite 111, # 1300 Fort Worth, Texas 76102 Phone: (817) 333-8511 Fax: (817) 333-8511 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	CRJ	JDW	10/25/02	08184043	8 of 10

**EXHIBIT B
PARCEL 074-8 WWE**



MATCH LINE (SEE SHEET 6)

REMAINDER OF TRACT 4
CATDENTON 35, INC.
INST. NO. 2013-15B12

PROPOSED TXDOT
RIGHT-OF-WAY
ACQUISITION

INTERSTATE HIGHWAY NO. 35
(A VARIABLE WIDTH RIGHT-OF-WAY)

TRACT 1
1.2399 ACRES
54,008 SQ. FT.

N0°15'42"E 1364.00'

IRSC
N:7153528.78
E:2373136.06

**WATER AND WASTEWATER
EASEMENT**
JOHN AYERS SURVEY
ABSTRACT NO. 2
IGNACIO DE-LOS-SANTOS
COY SURVEY
ABSTRACT NO. 212
DENTON COUNTY, TEXAS

GANZER ROAD
(A VARIABLE WIDTH RIGHT-OF-WAY)

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET
- IRF = IRON ROD FOUND

Kimley»Horn

301 Cherry Street, Unit 11, # 100
Fort Worth, Texas 76102 FIRM # 16194840 Tel. (817) 335-0511
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Scale	Drawn By	Checked By	Date	Project No.	Sheet No.
1" = 100'	CRG	JDW	10/20/22	08182403	7 of 18

**EXHIBIT B
PARCEL 074-8 WWE**



MATCH LINE (SEE SHEET 9)

INTERSTATE HIGHWAY NO. 35
(A VARIABLE WIDTH RIGHT-OF-WAY)

**TRACT 2
1.6080 ACRES
70,043 SQ. FT.**

REMAINDER OF TRACT 4
CATDENTON 35, INC.
INST. NO. 2013-15912

PROPOSED TXDOT
RIGHT-OF-WAY
ACQUISITION

P.O.B.
P.O.C.

N1°18'08"W 1239.51'

IRSC
N: 7191056.01
E: 2373128.55

CALLLED 397.160 ACRES
CATDENTON 35 SIX, INC.
INST. NO. 2013-145689

**WATER AND WASTEWATER
EASEMENT
JOHN AYERS SURVEY
ABSTRACT NO. 2
IGNACIO DE-LOS-SANTOS
COY SURVEY
ABSTRACT NO. 212
DENTON COUNTY, TEXAS**

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET
- IRF = IRON ROD FOUND

Kimley»Horn

901 Cherry Street, Suite 11, # 1301
Fort Worth, Texas 76102
Phone: (817) 335-9811
www.kimley-horn.com

Scale	Drawn By	Checked By	Date	Project No.	Sheet No.
1" = 100'	CRG	JCW	1/26/2023	06102403	8 of 10

**EXHIBIT B
PARCEL 074-8 WWE**

MATCH LINE (SEE SHEET 10)



RIGHT-OF-WAY
EASEMENT
VOL. 425, PG. 266

INTERSTATE HIGHWAY NO. 35
(A VARIABLE WIDTH RIGHT-OF-WAY)

REMAINDER OF TRACT 4
CATDENTON 35, INC.
INST. NO. 2013-15912

**TRACT 2
1.6080 ACRES
70,043 SQ. FT.**

PROPOSED TXDOT
RIGHT-OF-WAY
ACQUISITION

MATCH LINE (SEE SHEET 8)

**WATER AND WASTEWATER
EASEMENT
JOHN AYERS SURVEY
ABSTRACT NO. 2
IGNACIO DE-LOS-SANTOS
COY SURVEY
ABSTRACT NO. 212
DENTON COUNTY, TEXAS**

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET
- IRF = IRON ROD FOUND

Kimley»Horn

801 Cherry Street, Suite 11, P 1500
Ft. Worth, Texas 76102 FIRM # 1816640

Tel. No. (817) 339-8511
www.kimley-horn.com

Scale	Designed By	Checked By	Date	Project No.	Sheet No.
1" = 100'	CRG	JWV	10/26/2022	061024043	8 of 10

**EXHIBIT B
PARCEL 074-B WWE**



GANZER ROAD
(A VARIABLE WIDTH RIGHT-OF-WAY)

INTERSTATE HIGHWAY NO. 35
(A VARIABLE WIDTH RIGHT-OF-WAY)

IRSC
N: 7153268.14
E: 2373115.68

REMAINDER OF TRACT 4
CATDENTON 35, INC.
INST. NO. 2013-15912

TRACT 2
1.6080 ACRES
70,043 SQ. FT.

RIGHT-OF-WAY
EASEMENT
VOL. 425, PG. 266

RIGHT-OF-WAY
EASEMENT
VOL. 425, PG. 266

PROPOSED TxDOT
RIGHT-OF-WAY
ACQUISITION

**WATER AND WASTEWATER
EASEMENT**
JOHN AYERS SURVEY
ABSTRACT NO. 2
IGNACIO DE-LOS-SANTOS
COY SURVEY
ABSTRACT NO. 212
DENTON COUNTY, TEXAS

MATCH LINE (SEE SHEET 9)

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET
- IRF = IRON ROD FOUND

Kimley»Horn

501 Cherry Street, 11th Fl., #1300
Fort Worth, Texas, 76102 Firm # 1016698 Tel: (817) 335-8511
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	CRG	JGW	1/28/2022	061024843	10 of 10

U00017637

TxDOT Highway Project Number:

0195-02-074

TxDOT Parcel 11

RCSJ 0195-02-079

From: US77/Barthold Dr.

To: Milam Rd

Utility Longitudinal Stations:

Sta 2331+22 RT to Sta 2352+43 RT

Existing Easement

Instrument Number

DOC# 1997-059180

BEING 0.9867 & 0.1028 ACRES IN
THE JOHN AYERS SURVEY A-2, BEING PART OF A
58.823 & 80.379 ACRE TRACT
NDMAC, LTD.

CITY OF DENTON, DENTON COUNTY, TEXAS

EASEMENT

059180

THE STATE OF TEXAS, §
COUNTY OF DENTON §

KNOW ALL MEN BY THESE PRESENTS:

That Emma Jo Harris, Greg Harris, and Joan Harris Regan of Denton County, Texas in consideration of the sum one dollar (\$1.00) and no cents and other good and valuable consideration in hand paid by the City of Denton, Texas, receipt of which is hereby acknowledged, do by these presents grant, bargain, sell and convey unto the City of Denton the free and uninterrupted use, liberty and privilege of passage in, along, upon and across the following described property, owned by them, situated in Denton County, Texas in the J. Ayers Survey, Abstract No. 2.

SEE ATTACHED "EXHIBIT A" FOR DESCRIPTION OF PERMANENT WATER LINE EASEMENT AND "EXHIBIT C" FOR ILLUSTRATION

And it is further agreed that the said City of Denton, Texas in consideration of the benefits above set out, will ~~remove~~ from the property above described, such fences, buildings and other obstructions as may be now be found upon said property.

For the purpose of constructing, reconstructing, installing, repairing, and perpetually maintaining a WATER LINE and appurtenances in, along, upon and across said premises, with the right and privilege at all times of the grantee herein, his or its agents, employees, workmen and representatives having ingress, egress, and regress in, along, upon and across said premises for the purpose of making additions to, improvements on and repairs to said WATER LINE facilities or any part thereof.

In addition to the permanent water line easement the City of Denton is hereby granted a temporary construction easement for the initial construction of said WATER LINE described as follows:

SEE ATTACHED "EXHIBIT B" FOR DESCRIPTION OF TEMPORARY CONSTRUCTION EASEMENT AND "EXHIBIT C" FOR ILLUSTRATION

UPON conclusion of said WATER LINE installation the temporary construction easement shall terminate.

TO HAVE AND TO HOLD unto the said City of Denton, Texas as aforesaid for the purposes aforesaid the premises above described.

Witness our hands, this the 21st day of August, A.D. 1997.

Emma Jo Harris
Emma Jo Harris

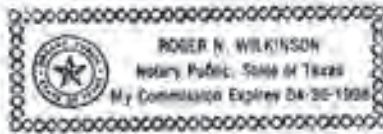
Greg Harris
Greg Harris

Joan Harris Regan
Joan Harris Regan

ACKNOWLEDGMENT

THE STATE OF Texas §
COUNTY OF Denton §

This instrument was acknowledged before me on August 21, 1997 by Emma Jo Harris.



Roger N. Wilkinson
Notary Public, in and for the State of Tx
My Commission Expires 4-20-98

ACKNOWLEDGMENT

THE STATE OF TX §
COUNTY OF Denton §

This instrument was acknowledged before me on August 19, 1997 by Greg Harris.



Doreen Payton
Notary Public, in and for the State of Tx
My Commission Expires 8-4-98

ACKNOWLEDGMENT

THE STATE OF AZ §
COUNTY OF MARICOPA §
This instrument was acknowledged before me on August 13, 1997 by Joan Harris Regan.



Paula T. Valverde
Notary Public, in and for the State of AZ
My Commission Expires 3-23-99

Accepted this 21st day of August, 1997 for the City of Denton, Texas (Resolution No. 91-073).

BY: Roger N. Wilkinson
Roger N. Wilkinson
Right-of-Way Agent

FOR ALAN PLUMMER, PARCEL NO. 182
UPPER TRINITY REGIONAL WATER
DISTRICT, SANGER WATER LINE
DENTON TO SANGER, TEXAS

EXHIBIT "A"
PERMANENT WATER LINE EASEMENT
J. AYERS SURVEY, A-2
DENTON COUNTY, TEXAS

SITUATED in Denton County, Texas and being a strip of land out of the J. Ayers Survey, Abstract No. 2, said strip being out of a 119.2046 acre tract of land conveyed to Emma Jo Harris, Greg Harris, and Joan Harris Reagan (Harris tract) by deed as recorded in Volume 3312, Page 588 of the Deed Records of Denton County, Texas (D.R.D.C.T.), said strip of land being herein described as a proposed 20 foot wide Permanent Water Line Easement and being herein more particularly described by metes and bounds as follows:

BEGINNING at the southwest property corner of the said Harris tract, said point also being the northwest property corner of a tract of land conveyed to Rancho Vista Development Co. by deed recorded in Volume 2695, Page 465 of the D.R.D.C.T., said point also being on the existing easterly right-of-way line of Interstate Highway No. 35;

THENCE, North 00 degrees 08 minutes 52 seconds East along the westerly property line of the said Harris tract and along the said right-of-way line 2124.89 feet to a point at the northwest property corner of the said Harris tract, said point also being at the southwest property corner of tract of land conveyed to the Musket Corporation by deed as recorded in Volume 1630, Page 42 of the D.R.D.C.T.;

THENCE, South 89 degrees 54 minutes 24 seconds East, along the northerly property line of the said Harris tract and along southerly property line of said Musket tract 20.00 feet to a point;

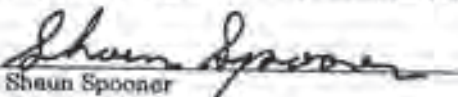
THENCE, South 00 degrees 08 minutes 52 seconds West, 2124.64 feet to a point on the southerly property line of the said Harris tract and on the northerly property line of said Rancho Vista tract;

THENCE, South 89 degrees 22 minutes 54 seconds West along the said property lines 20.00 feet to the POINT OF BEGINNING.

The proposed Permanent Water Line Easement being herein described contains 0.9756 acres (42,495 square feet) of land, more or less.

TO ALL PARTIES INTERESTED IN TITLE TO THE PREMISES SURVEYED, I DO HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION WAS PREPARED FROM PUBLIC RECORDS AND FROM AN ACTUAL AND ACCURATE SURVEY UPON THE GROUND AND THAT SAME IS TRUE AND CORRECT.

Company Name: Spooner and Associates, Inc.

By: 
Shaun Spooner



Registered Professional Land Surveyor,
Texas No. 4183
Date of Survey 8-12-96

FOR ALAN PLUMMER, PARCEL NO. 182
UPPER TRINITY REGIONAL WATER
DISTRICT, SANGER WATER LINE
DENTON TO SANGER, TEXAS

EXHIBIT "B"
TEMPORARY CONSTRUCTION EASEMENT
J. AYERS SURVEY, A-2
DENTON COUNTY, TEXAS

SITUATED in Denton County, Texas and being a strip of land out of the J. Ayers Survey, Abstract No. 2, said strip being out of a 119,2046 acre tract of land conveyed to Emma Jo Harris, Greg Harris, and Joan Harris Reagan (Harris tract) by deed as recorded in Volume 8312, Page 688 of the Deed Records of Denton County, Texas (D.R.D.C.T.), said strip of land being herein described as a proposed 20 foot wide Temporary Construction Easement and being herein more particularly described by notes and bounds as follows:

BEGINNING at a point on the southerly property line of the said Harris tract, said point being North 89 degrees 22 minutes 54 seconds East 20.00 feet from the southwest property corner of the said Harris tract;

THENCE, North 00 degrees 08 minutes 52 seconds East 2124.64 feet to a point on the northerly property line of the said Harris tract;

THENCE, South 89 degrees 54 minutes 24 seconds East, along the northerly property line of the said Harris tract 20.00 feet to a point;

THENCE, South 00 degrees 08 minutes 52 seconds West, 2124.37 feet to a point on the southerly property line of the said Harris tract;

THENCE, South 89 degrees 22 minutes 54 seconds West along the southerly property line of the said Harris tract 20.00 feet to the POINT OF BEGINNING.

The proposed Temporary Construction Easement being herein described contains 0.9754 acres (42,490 square feet) of land, more or less.

TO ALL PARTIES INTERESTED IN TITLE TO THE PREMISES SURVEYED, I DO HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION WAS PREPARED FROM PUBLIC RECORDS AND FROM AN ACTUAL AND ACCURATE SURVEY UPON THE GROUND AND THAT SAME IS TRUE AND CORRECT.

Company Name: Spooner and Associates, Inc.

By: Shaun Spooner
Shaun Spooner



Registered Professional Land Surveyor,
Texas No. 4183 Date of Survey 8-12-98

SURVEY: JOHN AYERS SURVEY, A-2
LOCATION: DENTON COUNTY, TEXAS
WHOLE PROPERTY AREA: 119.2046 AC.
PERMANENT WATER LINE ESMT.: 0.9756 AC.
TEMPORARY CONSTRUCTION ESMT.: 0.9754 AC.

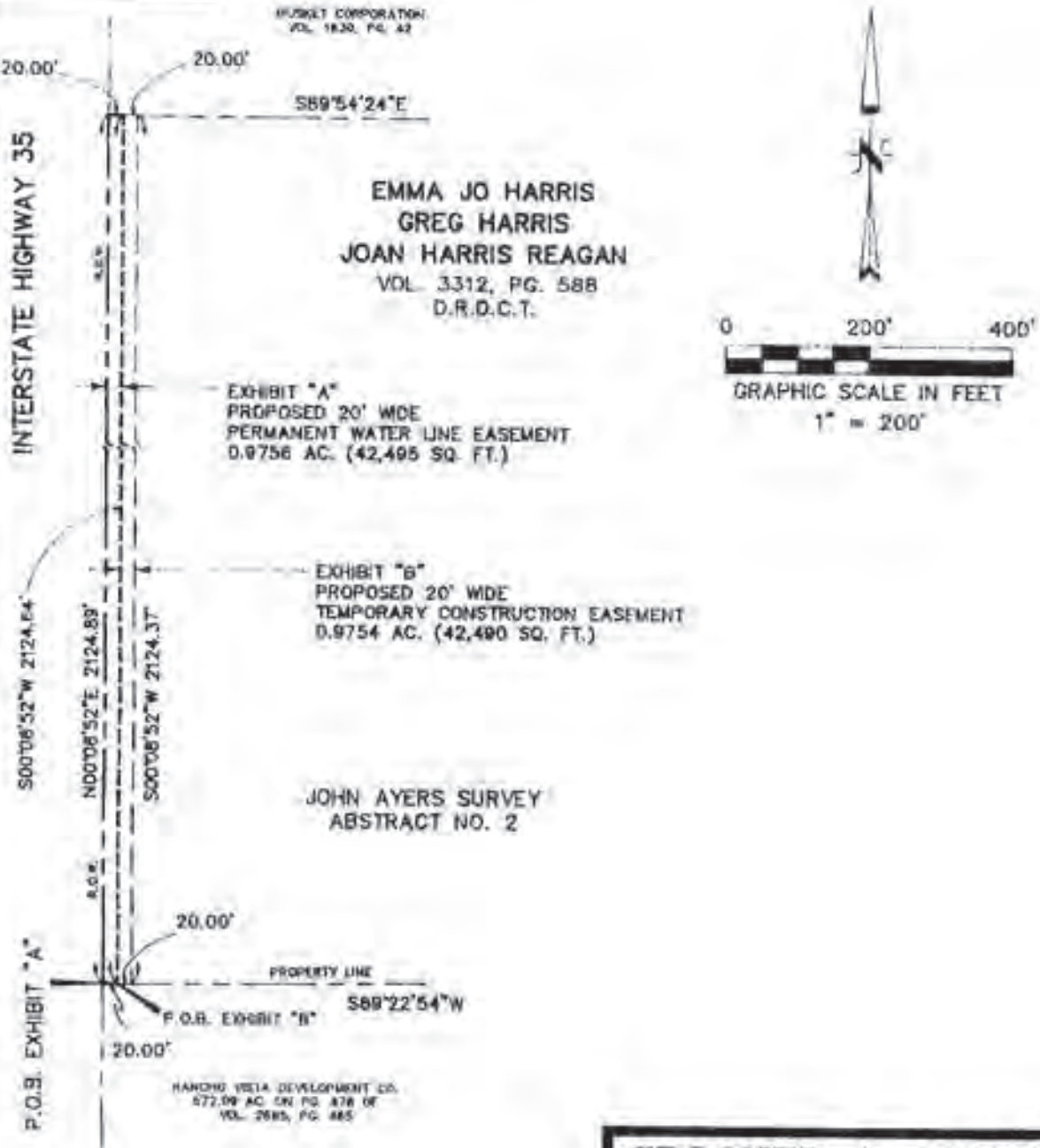
PARCEL 182 FOR ALAN PLUMMER

SANGER WATER LINE
DENTON TO SANGER, TEXAS

DRAWING OF EXHIBITS "A" & "B"

UPPER TRINITY
REGIONAL WATER DISTRICT

EXHIBIT "C"



SPOONER & ASSOC.
REGISTERED PROFESSIONAL
LAND SURVEYORS



Shaun D. Spooner



352 HURST BLVD.
HURST, TX 76053
(817) 262-6961

JOB NO.: 491-1-96
DATE: 8-12-96
COGO FILE: 491-SANG
ACAD FILE: 491-182
DRAWN BY: L.W.G.
COMPUTED BY: S.G.S.
CHECKED BY: S.G.S.

Return To:

City Of Denton
Engineering & Transportation Dept.
221 North Elm Street
Denton, Texas 76201
Attention: Roger N. Wilkinson

Filed for Record in:
DENTON COUNTY, TX
HONORABLE TIM HODGES/COUNTY
CLERK

On Aug 27 1997
At 8:35am

Doc/How : 97-R00591AB
Doc/Type : EAS
Recording: 12.00
Doc/Pgnt : 6.00
Receipt #: 27751
Deputy - BRANDIE

EXHIBIT A
PARCEL 074-11 WWE

LEGAL DESCRIPTION
WATER AND WASTEWATER EASEMENT

BEING a 42,982 square foot (0.9887 acre) tract of land (Tract 1) and a 4,478 square foot (0.1028 acre) tract of land (Tract 2) situated in the John Ayers Survey, Abstract No. 2, Denton County, Texas, and being part of a called 58.823 acre tract of land described in the Special Warranty Deed to NDMAC, Ltd., recorded in Instrument No. 2008-87393, Official Public Records, Denton County, Texas, and being part of a called 60.379 acre tract of land, described in the Special Warranty Deed to NDMAC, Ltd., recorded in Instrument No. 2006-30852, said Official Public Records, and being more particularly described as follows:

TRACT 1

COMMENCING at the westernmost northwest corner of the said called 58.823 acre tract, and being in the east right-of-way line of Interstate Highway No. 35 (a variable width right-of-way), from which a 5/8-inch iron rod found bears South 89°31'58" East, a distance of 1.04 feet;

THENCE South 89°31'58" East, along the westernmost north line of the said called 58.823 acre tract, a distance of 291.97 feet to a 5/8-inch iron rod with "TXDOT" cap found, being the **POINT OF BEGINNING**;

THENCE South 89°31'58" East, continuing along the said north line, a distance of 27.71 feet to a point at the beginning of a non-tangent curve to the left having a central angle of 2°04'02", a radius of 1217.00 feet, a chord bearing and distance of South 25°15'35" West, 43.91 feet;

THENCE in a southwesterly direction, departing the said north line, and along said curve to the left, an arc distance of 43.81 feet to a point for corner;

THENCE South 0°50'14" West, a distance of 705.95 feet to a point for corner;

THENCE South 10°05'30" West, a distance of 404.18 feet to a point for corner;

THENCE South 0°50'14" West, a distance of 421.41 feet to a point for corner;

THENCE South 10°26'32" East, a distance of 203.77 feet to a point at the beginning of a non-tangent curve to the right having a central angle of 0°30'50", a radius of 14360.02 feet, a chord bearing and distance of South 1°21'04" West, 128.78 feet;

THENCE in a southwesterly direction, with said curve to the right, an arc distance of 128.78 feet to a point for corner;

THENCE South 10°35'23" West, a distance of 232.62 feet to a point for corner, being in the south line of the said called 60.379 acre tract;

THENCE South 89°52'35" West, along the said south line, a distance of 20.35 feet to a point for corner, from which a 3/8-inch iron rod found for the southwest corner of the said called 60.379 acre tract, and being in the said east right-of-way line of Interstate Highway No. 35 bears South 89°52'35" West, a distance of 203.11 feet;

CONTINUED ON SHEET 2

J.D. Wargo 2/15/22
JOSHUA D. WARGO
 REGISTERED PROFESSIONAL
 LAND SURVEYOR NO. 6391
 801 CHERRY STREET
 UNIT 11 SUITE 1300
 FORT WORTH, TEXAS 76102
 PH. 817-335-6511
 josh.wargo@kimley-horn.com



**WATER AND WASTEWATER
 EASEMENT**
JOHN AYERS SURVEY
ABSTRACT NO. 2
DENTON COUNTY, TEXAS

Kimley»Horn

801 Cherry Street, Unit 11, S 1300
 Fort Worth, Texas 76102 FIRM # 1619426

Tel. No. (817) 335-6511
 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
As Shown	CRD	JWV	1/27/2022	061024043	1 OF 2

EXHIBIT A
PARCEL 074-11 WWE

LEGAL DESCRIPTION (CONTINUED)
WATER AND WASTEWATER EASEMENT

THENCE North 10°35'23" East, departing the said south line, a distance of 234.83 feet to a point for corner;

THENCE North 1°21'07" East, a distance of 125.01 feet to a point for corner;

THENCE North 10°26'32" West, a distance of 203.72 feet to a point for corner;

THENCE North 0°50'14" East, a distance of 425.01 feet to a point for corner;

THENCE North 10°05'30" East, a distance of 404.18 feet to a point for corner;

THENCE North 0°50'14" East, a distance of 721.01 feet to a point at the beginning of a non-tangent curve to the right having a central angle of 1°10'13", a radius of 1242.00 feet, a chord bearing and distance of North 25°09'05" East, 25.37 feet;

THENCE in a northeasterly direction with said curve to the right, an arc distance of 25.37 feet to the **POINT OF BEGINNING** and containing 42,982 square feet or 0.9867 acres of land, more or less.

TRACT 2

BEGINNING at the northernmost northwest corner of the said called 58.823 acre tract, and being in the south right-of-way line of F.M. Road 3163 (Milam Road) (a variable width right-of-way);

THENCE North 89°45'14" East, along the said south right-of-way line, a distance of 35.00 feet to a 5/8-inch iron rod with "KHA" cap set for corner;

THENCE South 0°37'40" West, departing the said south right-of-way line, a distance of 127.99 feet to a point for corner;

THENCE South 89°57'36" West, a distance of 35.00 feet to a 5/8-inch iron rod with "KHA" cap set for corner, being in the northernmost west line of the said called 58.823 acre tract;

THENCE North 0°37'40" East, along the said northernmost west line, a distance of 127.87 feet to the **POINT OF BEGINNING** and containing 4,478 square feet or 0.1028 acres of land, more or less.

NOTES

Bearing system based on the Texas Coordinate System of 1983(2011 adjustment), North Central Zone (4202). A survey plat of even survey date herewith accompanies this metes & bounds description.

The undersigned, Registered Professional Land Surveyor, hereby certifies that the foregoing description accurately sets out the metes and bounds of the easement tract.

J.D. Wargo 2/15/22
JOSHUA D. WARGO
 REGISTERED PROFESSIONAL
 LAND SURVEYOR NO. 6391
 801 CHERRY STREET
 UNIT 11 SUITE 1300
 FORT WORTH, TEXAS 76102
 PH. 817-335-6511
 josh.wargo@kimley-horn.com

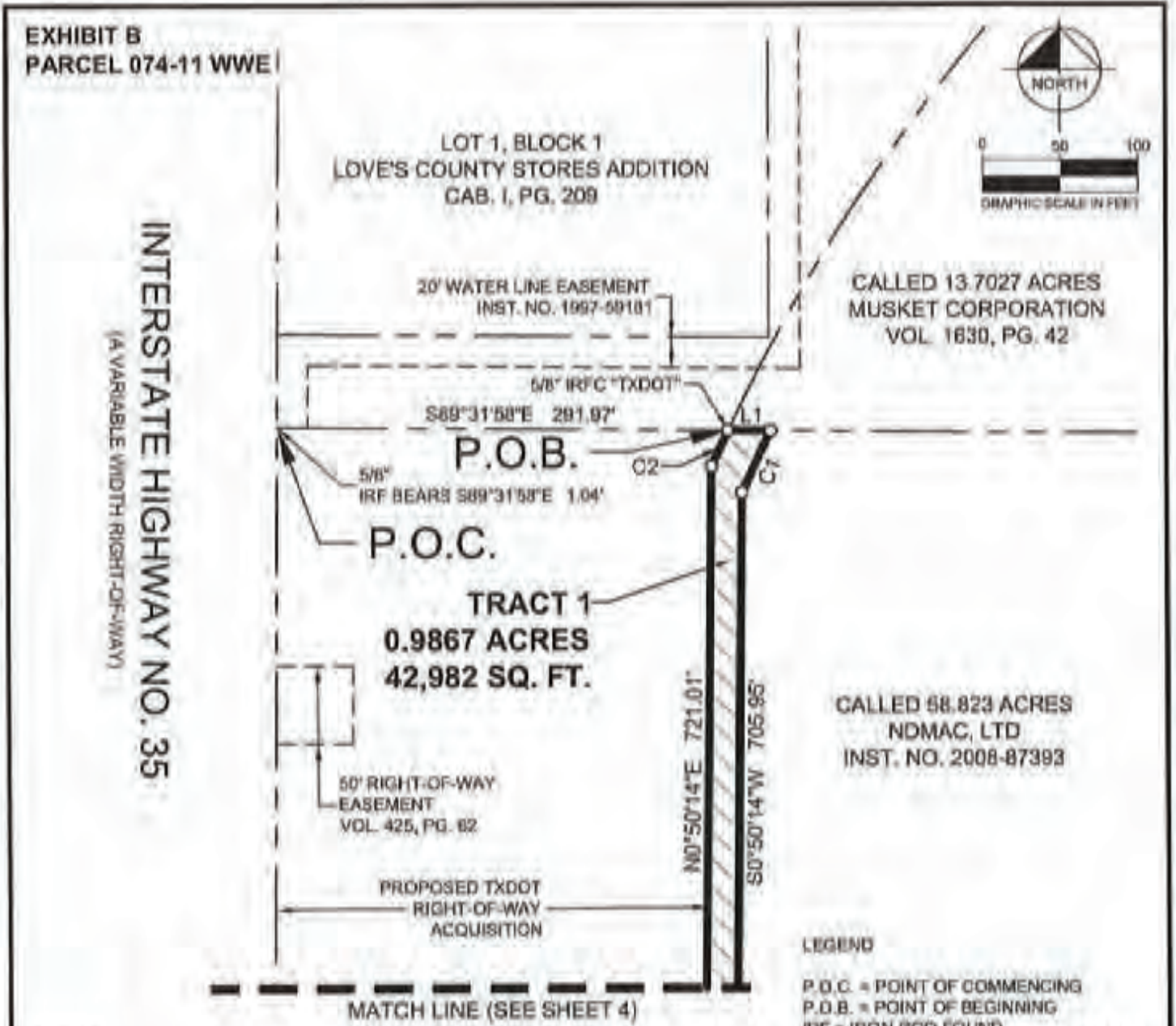


**WATER AND WASTEWATER
 EASEMENT**
JOHN AYERS SURVEY
ABSTRACT NO. 2
DENTON COUNTY, TEXAS

Kimley»Horn

801 Cherry Street, Unit 11, # 1300
 Fort Worth, Texas 76102
 TEL: 817-335-6511
 FAX: 817-335-6512
 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Printed by	Sheet No.
N/A	CRG	JW	1/27/2022	SB1889MS	2 OF 1



NOTES

Bearing system based on the Texas Coordinate System of 1983 (2011 adjustment), North Central Zone (4202). Coordinates have been scaled to surface values using a surface adjustment factor of 1.000150630. A metes and bounds description of even survey date herewith accompanies this survey plat.

The undersigned, Registered Professional Land Surveyor, hereby certifies that this survey plat accurately sets out the metes and bounds of the easement tract.

J.D.W. 2/15/22
JOSHUA D. WARGO
 REGISTERED PROFESSIONAL
 LAND SURVEYOR NO. 6391
 801 CHERRY STREET
 UNIT 11 SUITE 1300
 FORT WORTH, TEXAS 76102
 PH. 817-335-6511
 josh.wargo@kimley-horn.com



**WATER AND WASTEWATER
 EASEMENT**
JOHN AYERS SURVEY
ABSTRACT NO. 2
DENTON COUNTY, TEXAS

Kimley»Horn

801 Cherry Street, Unit 11, P 7300 Fort Worth, Texas 76102 FIRM # 1819640 Tel. No. (817) 335-6511 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Printed by	Sheet No.
1" = 100'	CRD	JRW	10/7/2022	091194043	3 OF 7

**EXHIBIT B
PARCEL 074-11 WWE**

MATCH LINE (SEE SHEET 3)



INTERSTATE HIGHWAY NO. 35
(A VARIABLE WIDTH RIGHT-OF-WAY)

PROPOSED TXDOT
RIGHT-OF-WAY
ACQUISITION

TRACT 1
0.9867 ACRES
42,982 SQ. FT.

CALLED 58.823 ACRES
NDMAC, LTD
INST. NO. 2008-87393

N10°05'30"E 404.18'
S10°05'30"W 404.18'

CALLED 60.379 ACRES
NDMAC, LTD
INST. NO. 2008-30852

MATCH LINE (SEE SHEET 5)

**WATER AND WASTEWATER
EASEMENT**
JOHN AYERS SURVEY
ABSTRACT NO. 2
DENTON COUNTY, TEXAS

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRF = IRON ROD FOUND
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET

Kimley»Horn

801 Cherry Street, Suite 11, # 1300 Fort Worth, Texas 76102 FIRM # 1818640 Tel. No. (817) 343-0011 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Printed by	Sheet No.
1" = 100'	CRS	JRW	10/7/09	DB18M044	4 OF 7

EXHIBIT B
PARCEL 074-11 WWE

MATCH LINE (SEE SHEET 4)



INTERSTATE HIGHWAY NO. 35
(A VARIABLE WIDTH RIGHT-OF-WAY)

TRACT 1
0.9867 ACRES
42,982 SQ. FT.

CALLED 60,379 ACRES
NDMAC, LTD
INST. NO. 2006-30852

PROPOSED TXDOT
RIGHT-OF-WAY
ACQUISITION



MATCH LINE (SEE SHEET 6)

**WATER AND WASTEWATER
EASEMENT**
JOHN AYERS SURVEY
ABSTRACT NO. 2
DENTON COUNTY, TEXAS

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRF = IRON ROD FOUND
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET

Kimley»Horn

801 Cherry Street, Suite 1100 • P.O. Box 1018048
Fort Worth, Texas 76102 • Phone # 817-335-8811
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	CRD	JEW	10/1/09	06102408	5 OF 7

**EXHIBIT B
PARCEL 074-11 WWE**



MATCH LINE (SEE SHEET 5)

**TRACT 1
0.9867 ACRES
42,982 SQ. FT.**

$\Delta=0^{\circ}30'50''$
 $R=14360.02'$
 $L=128.78'$
 $CB=S1^{\circ}21'04''W$
 $C=128.78'$

CALLED 60.379 ACRES
 NDMAC, LTD
 INST. NO. 2006-30852

INTERSTATE HIGHWAY NO. 35
 (A VARIABLE WIDTH RIGHT-OF-WAY)

PROPOSED TxDOT
 RIGHT-OF-WAY
 ACQUISITION

3/8" IRF

S88°52'35"W
 203.11'

50' PIPELINE EASEMENT
 INST. NO. 2007-125935

50' PIPELINE EASEMENT
 INST. NO. 2008-19410

REMAINDER OF TRACT 4
 CATDENTON 35, INC.
 INST. NO. 2013-15912

10' ELECTRIC
 EASEMENT
 INST. NO. 2007-110760

$N10^{\circ}35'23''E$ 234.83'
 $S10^{\circ}35'23''W$ 232.62'

N:7156153.70
 E:2373192.50

L2

**WATER AND WASTEWATER
 EASEMENT
 JOHN AYERS SURVEY
 ABSTRACT NO. 2
 DENTON COUNTY, TEXAS**

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRF = IRON ROD FOUND
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET

Kimley»Horn

501 Cherry Street, Unit 11, # 1300
 Fort Worth, Texas 76102 FIRM # 10194840

Tel No: (817) 330-1011
 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	CRD	JDW	10/27/2022	061026043	6 OF 7

**EXHIBIT B
PARCEL 074-11 WWE**



**F.M. ROAD 3163
(MILAM ROAD)
(A 120 FOOT RIGHT-OF-WAY)**

IRSC
N:7158039.28
E:2374429.15

PROPOSED TXDOT
RIGHT-OF-WAY
ACQUISITION

P.O.B.

**TRACT 2
0.1028 ACRES
4,478 SQ. FT.**

IRSC
N:7158907.28
E:2374392.73

CALLED 10 ACRES
KAL CRAWFORD
INST. NO. 2020-166096

CALLED 58.823 ACRES
NDMAC, LTD
INST. NO. 2008-87393

LINE TABLE		
NO.	BEARING	LENGTH
L1	S89°31'58"E	27.71'
L2	S89°52'38"W	20.35'
L3	N89°45'14"E	35.00'
L4	S00°37'40"W	127.99'
L5	S89°57'36"W	35.00'
L6	N00°37'40"E	127.87'

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	2°04'02"	1217.00'	43.91'	S25°15'35"W	43.91'
C2	1°10'13"	1242.00'	25.37'	N25°09'05"E	25.37'

**WATER AND WASTEWATER
EASEMENT
JOHN AYERS SURVEY
ABSTRACT NO. 2
DENTON COUNTY, TEXAS**

LEGEND

P.O.C. = POINT OF COMMENCING
P.O.B. = POINT OF BEGINNING
IRF = IRON ROD FOUND
IRSC = 5/8" IRON ROD W/ "KHA" CAP SET

Kimley»Horn

801 Cherry Street, Unit 11, #1300
Fort Worth, Texas 76102 FIRM # 10104040 Tel. No. (817) 335-8511
www.kimley-horn.com

Scale 1" = 100'	Drawn by ORG	Checked by JOW	Date 1/21/2023	Project No. 001024043	Sheet No. 7 OF 7
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U00017637

TxDOT Highway Project Number:

0195-02-074

TxDOT Parcel 14

RCSJ 0195-02-079

From: US77/Barthold Dr.

To: Milam Rd

Utility Longitudinal Stations:

Sta 2352+43 RT to Sta 2360+11 RT

Existing Easement

Instrument Number

1988-57574, 1997-59181, & 1999-113602

BEING 0.4436 ACRES IN
THE JOHN AYERS SURVEY A-2,
BEING PART OF A 13.7027 ACRE TRACT
MUSKET CORPORATION #217
CITY OF DENTON, DENTON COUNTY, TEXAS

REAL PROPERTY RECORDS

SANITARY CONTROL EASEMENT

067574

STATE OF TEXAS

KNOW ALL MEN BY THESE PRESENTS:

COUNTY OF DEVON

WHEREAS, MUSKET CORPORATION is now the owner of all that certain 13.7027 acre tract of land situated in Devon County, Texas, fully described by warranty deed recorded in Volume 1530, Page 62 Real Property Records, Devon County, Texas, and intends to drill a water well upon said property in order to ultimately serve water to customers of the Love's Country Store #217 located on the property, and

WHEREAS, the proposed well location is South 00 degrees 02 minutes 01 seconds East 150.00 feet and North 89 55 minutes 17 seconds West 150.00 feet from the northeast corner of said 13.7027 acre tract, and in order to comply with governmental laws it is necessary for restrictions to be placed upon all of that area within a 150-foot radius of said proposed well location, and Musket Corporation is the sole owner of the property within said 150-foot radius of proposed well location and have agreed to place the herein described Sanitary Control Easement restrictions upon all of such area within the 150-foot radius of the proposed water well location situated South 00 degrees 02 minutes 01 seconds East 150.00 feet and North 89 degrees 55 minutes 17 seconds West 150.00 feet from the northeast corner of said 13.7027 acre tract;

NOW, THEREFORE, for and in consideration of TEN AND NO/100 (\$10.00) DOLLARS and other good and valuable consideration to us cash in hand paid, the receipt of which is hereby acknowledged, MUSKET CORPORATION of Oklahoma City, Oklahoma, hereby imposes upon all the property within a 150-foot radius of the proposed well location situated South 00 degrees 02 minutes 01 seconds East 150.00 feet and North 89 degrees 55 minutes 17 seconds West 150.00 feet from the northeast corner of said 13.7027 acre tract, the following restrictions, and that such restrictions are a covenant running with the land and shall be binding upon all persons and other legal entities. Such Sanitary Control Easement restrictions are as follows:

1. There is prohibited the construction and/or operation of stock pens, feed lots, dump grounds, privies, tile or concrete sanitation sewers, cess pools, septic tanks, septic tank drain fields, drilling of improperly constructed water wells of any depth and all other construction or operation that could create an unsanitary condition within, upon or across the said property.
2. This Sanitation Control permits the construction of frames or buildings upon the same, provided, however, that all stock pens, feed lots, privies, tile or concrete sanitation sewers, cess pools, septic tanks, septic tank drain fields, drilling of improperly constructed wells of any depth and other construction and/or operations that could create an unsanitary condition within, upon or across the same are specifically prohibited.

Sanitary Control Easement, Page 1

3. Normal farming and ranching operations are permitted except that all livestock shall not be allowed within fifty (50) feet of the proposed well.

The above restrictions are binding upon all persons, corporations, and/or other legal entities and may be enforced by injunctive relief or by any other method available in a court of competent jurisdiction, and enforcement of such restrictions does not in any way alleviate the violator of such restrictions from damages, if any, because of the violation of the same.

Enforcement shall be proceedings at law or in equity against any person or persons violating or attempting to violate any covenant either to restrain violation or to recover damages or both.

Invalidation of any one of these covenants by judgment or court order shall not in any way affect any of the other provisions which shall remain in full force and effect.

These covenants are to run with the land and shall be binding on all parties and all persons claiming under them for a period of two (2) years from date these covenants are recorded, after which time said covenants shall be automatically extended until the use of this water well as a source of water for said 13.027 acre tract ceases.

IN WITNESS WHEREOF, the said owners have executed this instrument on this 2nd day of December, 1988.

MASSET CORPORATION
Paula Manning

STATE OF OKLAHOMA
COUNTY OF OKLAHOMA

This instrument was acknowledged before me on the 2nd day of December, 1988



Paula Manning of MASSET CORPORATION, a corporation, on behalf of said

Linda G. McDonald
Notary Public, State of Oklahoma
Linda G. McDonald
Notary's printed name
My Commission Expires: 10-29-90

Return To: Metroplex Engineering
1121 Fort Worth Drive
Denton, TX 76205

Vol 2495, Page 891

11/7

FILED FOR RECORD
88 DEC -5 PM 3:45
COUNTY CLERK
DENTON, TEXAS

057574



FILED FOR RECORD 5th DAY OF December A.D. 19 88 at 3:45 P.M.
DULY RECORDED 5th DAY OF December A.D. 19 88
BY: David Wilgo DEPUTY
MARILYN ROBINSON, COUNTY CLERK
DENTON COUNTY, TEXAS

TO HAVE AND TO HOLD unto the said City of Denton, Texas as aforesaid for the purposes aforesaid the premises above described.

Witness my hand, this the 30th day of JUNE, A.D. 1997.

MUSKET CORPORATION

BY: [Signature]
TITLE: DIRECTOR

ACKNOWLEDGMENT

THE STATE OF Oklahoma
COUNTY OF Oklahoma

This instrument was acknowledged before me on June 20, 1997
by [Signature].

[Signature]
NOTARY PUBLIC
in and for the State of Oklahoma
My Commission Expires 2-29-2000

Accepted this 17th day of July, 1997
for the City of Denton, Texas (Resolution No. 91-073).

BY: [Signature]
Roger N. Wilkinson
Right-of-Way Agent

FOR ALAN PLUMMER, PARCEL NO. 183
UPPER TRINITY REGIONAL WATER
DISTRICT, SANGER WATER LINE
DENTON TO SANGER, TEXAS

EXHIBIT 'A'
PERMANENT WATER LINE EASEMENT
J. AYERS SURVEY, A-2
DENTON COUNTY, TEXAS

SITUATED in Denton County, Texas and being a strip of land out of the J. Ayers Survey, Abstract No. 2, said strip being out of a 8.5763 acre tract of land conveyed to the Musket Corporation (Musket tract) by deed as recorded in Volume 1630, Page 42 of the Deed Records of Denton County, Texas (D.R.D.C.T.), said strip of land being herein described as a proposed 20 foot wide Permanent Water Line Easement and being herein more particularly described by metes and bounds as follows:

BEGINNING at the southwest property corner of the said Musket tract, said point also being the northwest property corner of a tract of land conveyed to Emma Jo Harris, Greg Harris, Joann Harris Reagan by deed recorded in Volume 3312, Page 588 of the D.R.D.C.T., said point also being on the existing easterly right-of-way line of Interstate Highway No. 35;

THENCE, North 00 degrees 08 minutes 52 seconds East along the westerly property line of the said Musket tract and along the said right-of-way line 60.00 feet to a point at the southwest property corner of Lot 1, Block 1 of Love's County Store Addition according to the plat as recorded in Cab. 1, Pg. 209 of the Plat Records of Denton County Texas, (P.R.D.C.T.);

THENCE, South 89 degrees 54 minutes 24 seconds East, along the northerly property line of said Musket tract and along the southerly property line of the said Lot 1, 316.23 feet to a point at the southeast property corner of said lot 1;

THENCE, North 00 degrees 07 minutes 32 seconds West, along the easterly property line of said Lot 1, and along the westerly property line of the said Musket tract, 442.22 feet to a point;

THENCE, South 89 degrees 49 minutes 26 seconds East, along a southerly property line of the said Lot 1, and along a northerly property line of said Musket tract, 165.00 feet to a point;

THENCE, North 00 degrees 10 minutes 34 seconds East, along the westerly property line of said Musket tract and along an easterly property line of the said Lot 1, 265.00 feet to a point on the northerly property line of the said Musket tract and on the southerly right-of-way line of Milam Road;

THENCE, South 89 degrees 48 minutes 08 seconds East along the said property line and along the said southerly right-of-way line, 20.00 feet to a point;

THENCE, South 00 degrees 10 minutes 34 seconds West 284.99 feet to a point;

THENCE, North 89 degrees 49 minutes 26 seconds West 154.89 feet to a point;

THENCE, South 00 degrees 07 minutes 32 seconds East 442.69 feet to a point;

THENCE, North 89 degrees 54 minutes 24 seconds West 316.33 feet to a point;

THENCE, South 00 degrees 08 minutes 26 seconds West 40.00 feet to a point being on the southerly property line of said Musket tract and on the northerly property line of said Harris tract;

THENCE, North 89 degrees 54 minutes 24 seconds West along the said property line, 20.00 feet to the POINT OF BEGINNING;

The proposed Permanent Water Line Easement being herein described contains 0.5688 acres (24,779 square feet) of land, more or less.

TO ALL PARTIES INTERESTED IN TITLE TO THE PREMISES SURVEYED, I DO HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION WAS PREPARED FROM PUBLIC RECORDS AND FROM AN ACTUAL AND ACCURATE SURVEY UPON THE GROUND AND THAT SAME IS TRUE AND CORRECT.

Company Name: Spooner and Associates, Inc.

By: Shaun Spooner
Shaun Spooner
Registered Professional Land Surveyor,
Texas No. 4183 Date of Survey 8-14-96



FOR ALAN PLUMMER, PARCEL NO. 188
UPPER TRINITY REGIONAL WATER
DISTRICT, SANGER WATER LINE
DENTON TO SANGER, TEXAS

EXHIBIT 'B'
TEMPORARY CONSTRUCTION EASEMENT
J. AYERS SURVEY, A-2
DENTON COUNTY, TEXAS

SITUATED in Denton County, Texas and being a strip of land out of the J. Ayers Survey, Abstract No. 2, said strip being out of a 8.5763 acre tract of land conveyed to the Musket Corporation (Musket tract) by deed as recorded in Volume 1630, Page 42 of the Deed Records of Denton County, Texas (D.R.D.C.T.), said strip of land being herein described as a proposed 20 foot wide Temporary Construction Easement and being herein more particularly described by metes and bounds as follows:

BEGINNING on the southerly property line of the said Musket tract, and being on the northerly property line of a tract of land conveyed to Emma Jo Harris, Greg Harris, Joann Harris Reagan by deed recorded in Volume 3312, Page 588 of the D.R.D.C.T.;

THENCE, North 00 degrees 08 minutes 26 seconds East 40.00 feet to a point;

THENCE, South 89 degrees 54 minutes 24 seconds East 316.33 feet to a point;

THENCE, North 00 degrees 07 minutes 32 seconds West 442.69 feet to a point;

THENCE, South 89 degrees 49 minutes 26 seconds East 154.89 feet to a point;

THENCE, North 00 degrees 10 minutes 34 seconds East 264.99 feet to a point on the southerly right-of-way line of Millam Road, and on the northerly property line of said Musket tract;

THENCE, South 89 degrees 48 minutes 08 seconds East along the said northerly property line and along the said southerly right-of-way line, 20.00 feet to a point;

THENCE, South 00 degrees 10 minutes 34 seconds West 304.98 feet to a point;

THENCE, North 89 degrees 49 minutes 26 seconds West 154.79 feet to a point;

THENCE, South 00 degrees 07 minutes 32 seconds East 442.66 feet to a point;

THENCE, North 89 degrees 54 minutes 24 seconds West 318.42 feet to a point;

THENCE, South 00 degrees 06 minutes 26 seconds West 20.00 feet to a point being on the southerly property line of said Musket tract and on the northerly property line of the said Harris tract;

THENCE, North 89 degrees 54 minutes 24 seconds West, along the said property lines 20.00 feet to the POINT OF BEGINNING;

The proposed Permanent Water Line Easement being herein described contains 0.5688 acres (24,778 square feet) of land, more or less.

TO ALL PARTIES INTERESTED IN TITLE TO THE PREMISES SURVEYED, I DO HEREBY CERTIFY THAT THE ABOVE LEGAL DESCRIPTION WAS PREPARED FROM PUBLIC RECORDS AND FROM AN ACTUAL AND ACCURATE SURVEY UPON THE GROUND AND THAT SAME IS TRUE AND CORRECT.

Company Name: Spooner and Associates, Inc.

By:

Shaun Spooner
Shaun Spooner

Registered Professional Land Surveyor,
Texas No. 4183 Date of Survey 8-14-96



SURVEY: JOHN AYERS SURVEY, A-2
 LOCATION: DENTON COUNTY, TEXAS
 WHOLE PROPERTY AREA: 8.5763 AC.
 PERMANENT WATER LINE ESMT.: 0.5688 AC.
 TEMPORARY CONSTRUCTION ESMT.: 0.5688 AC.

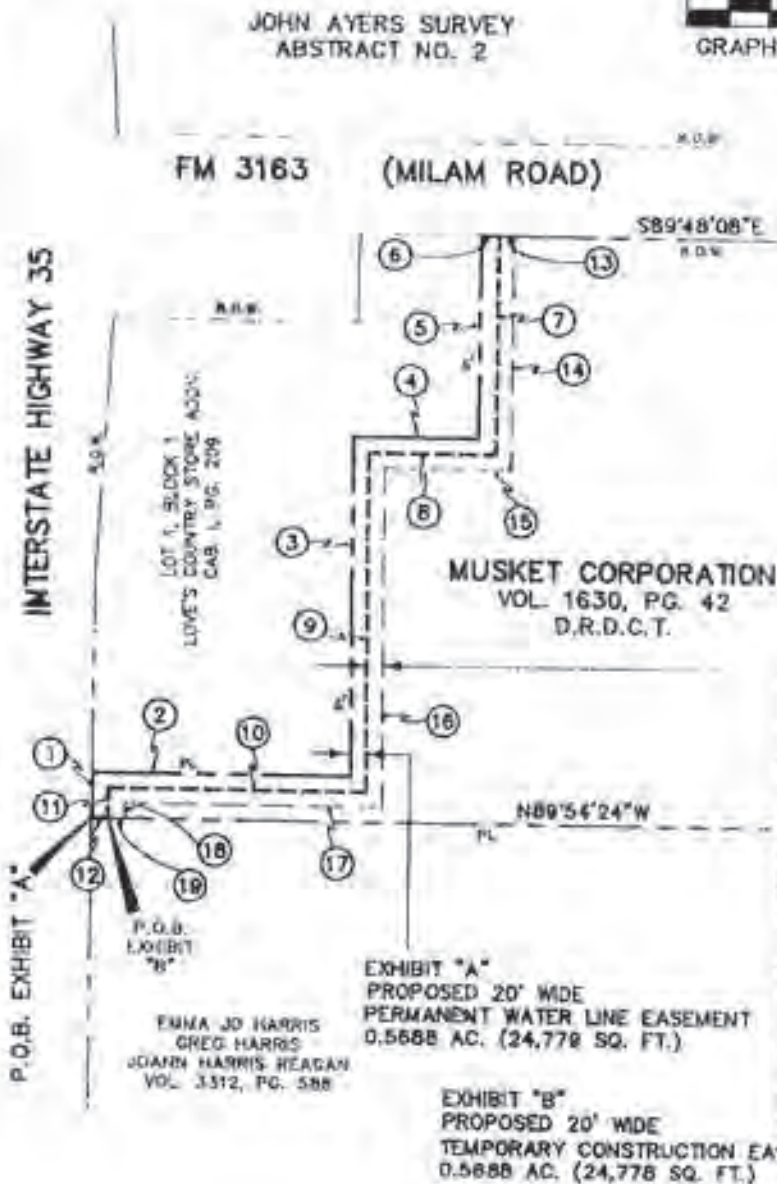
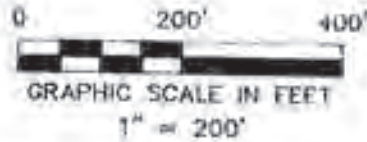
PARCEL 183 FOR ACAD PLUMMER

SANGER WATER LINE
 DENTON TO SANGER, TEXAS

UPPER TRINITY
 REGIONAL WATER DISTRICT

DRAWING OF EXHIBITS "A" & "B"

EXHIBIT "C"



LINE TABLE

BEARING	DISTANCE
①	N00°06'52"E 60.00'
②	SB89°54'24"E 316.23'
③	N00°07'32"W 442.22'
④	SB89°49'26"E 155.00'
⑤	N00°10'34"E 265.00'
⑥	SB89°48'08"E 20.00'
⑦	S00°10'34"W 284.99'
⑧	SB89°49'26"W 154.89'
⑨	S00°07'32"E 442.69'
⑩	SB89°54'24"W 316.33'
⑪	S00°08'26"W 40.00'
⑫	SB89°54'24"W 20.00'
⑬	SB89°48'08"E 20.00'
⑭	S00°10'34"W 304.98'
⑮	SB89°49'26"W 154.79'
⑯	S00°07'32"E 442.66'
⑰	SB89°54'24"W 316.42'
⑱	S00°08'26"W 20.00'
⑲	SB89°54'24"W 20.00'

EXHIBIT "A"
 PROPOSED 20' WIDE
 PERMANENT WATER LINE EASEMENT
 0.5688 AC. (24,778 SQ. FT.)

EXHIBIT "B"
 PROPOSED 20' WIDE
 TEMPORARY CONSTRUCTION EASEMENT
 0.5688 AC. (24,778 SQ. FT.)

SPOONER & ASSOC.
 REGISTERED PROFESSIONAL
 LAND SURVEYORS



JOB NO.: 491-1-96
 DATE: 8-12-96
 COGD FILE: 491-SANG
 ACAD FILE: 491-183
 DRAWN BY: L.W.G.
 COMPUTED BY: S.G.S.
 CHECKED BY: S.G.S.

Return to:

City Of Denton
Engineering & Transportation Dept.
221 North Elm Street
Denton, Texas 76201
Attention: Roger N. Wilkinson

Filed for Record in:
DENTON COUNTY, TX
HONORABLE TIM HODGES/COUNTY
CLERK

On Aug 27 1997
At 8:35am

Doc/Num : 97-R0059181
Doc/Type : E05
Recording: 13.00
Doc/Agmt : 5.00
Receipt #: 27751
Deputy - BRANDIE

4463 00896

EASEMENT

THE STATE OF TEXAS, §
 §
COUNTY OF DENTON §

KNOW ALL MEN BY THESE PRESENTS:

1136412

THAT Musket Corporation, (GRANTOR) in consideration of the sum of ONE DOLLAR AND NO CENTS (\$1.00) and other good and valuable consideration in hand paid by the City of Denton, Texas, (GRANTEE) receipt of which is hereby acknowledged, does by these presents grant, bargain, sell and convey unto the City of Denton, Texas, the free and uninterrupted use, liberty and privilege of the passage in, along, upon and across the following described property, owned by Grantor and situated in Denton County, Texas, in the John Ayers Survey, Abstract No. 2.

SEE ATTACHED EXHIBIT "A"

And it is further agreed that the Grantee in consideration of the benefits above set out, will remove from the property above described, such fences, buildings and other obstructions as may now be found upon said property.

For the purpose of constructing, reconstructing, installing, repairing, and perpetually maintaining public utilities in, along, upon and across said premises, with the right and privilege at all times of the grantee herein, his or its agents, employees, workman and representatives having ingress, egress, and regress in, along, upon and across said premises for the purpose of making additions to, improvements on and repairs to said public facilities or any part thereof.

4463 00897

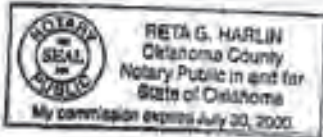
TO HAVE AND TO HOLD unto the said City of Denton, Texas as aforesaid for the purposes aforesaid the premises above described.

Witness my hand, this the 1st day of November, 1999.

Market Corporation
By: Greg Love
Greg Love
Title: President

THE STATE OF OKLAHOMA §
COUNTY OF Okla. §

This instrument was acknowledged before me on this the 1st day of Nov., 1999, by Greg Love.



Reta G. Harlin
Notary Public, in and for the State of Okla.

Accepted this the NOVEMBER 8th day of NOVEMBER 1999 for the City of Denton, Texas (Resolution No. 91-073).

BY: Paul Williamson
Paul Williamson
Right-of-Way Agent

RETURN TO: City of Denton
221 N. Elm Street
Denton, Texas 76201
ATTN: Paul Williamson

4463 00898

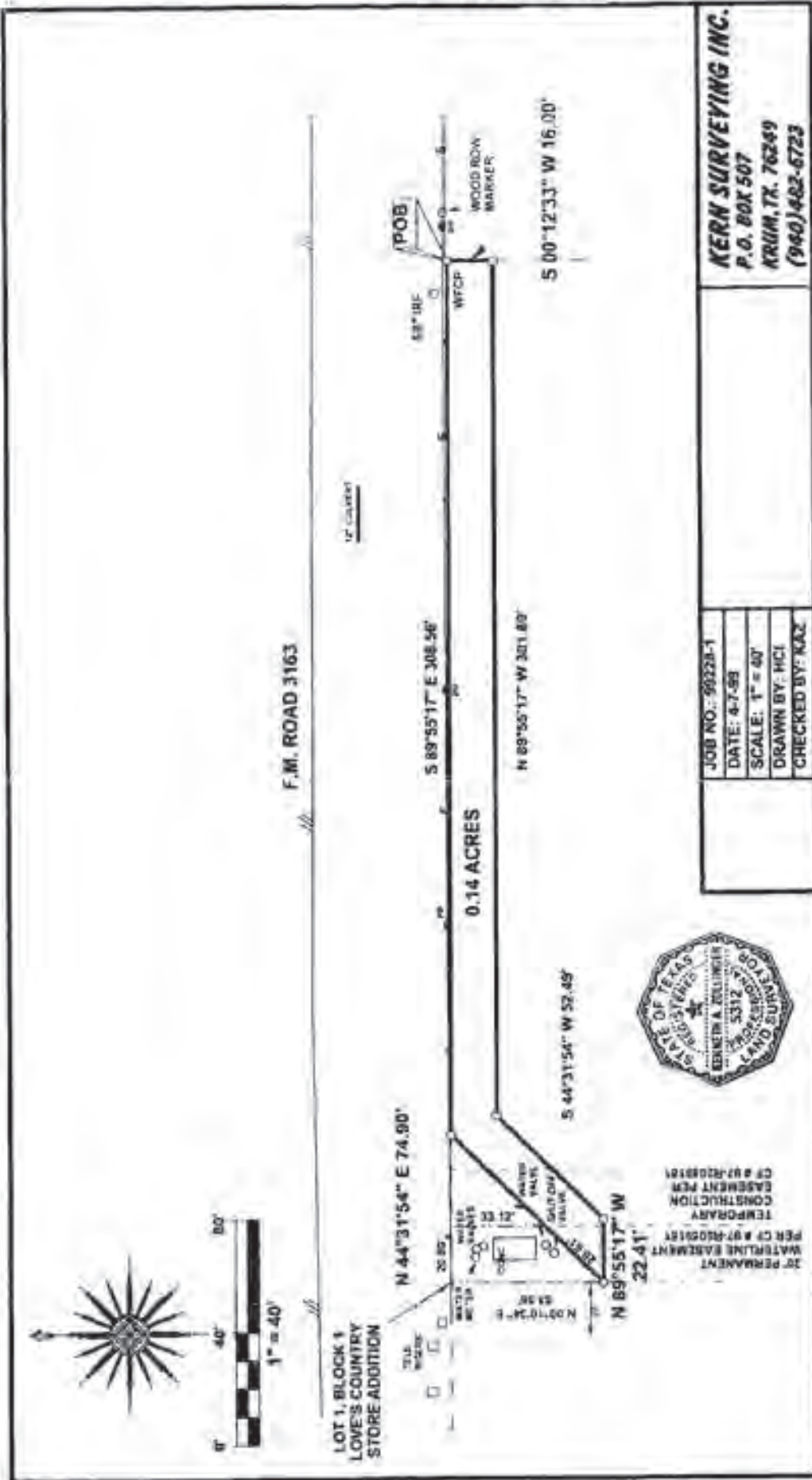
EXHIBIT "A"

16' UTILITY EASEMENT

FIELD NOTES to all that certain tract of land situated in the John Ayers Survey, Abstract # 2, Denton County, Texas and being a part of a called 13.7027 acre tract described in deed from Stuckey's Inc. To Musket Corporation recorded in Volume 1630, Page 42, Real Property Records, Denton County, Texas; the subject tract being more particularly described as follows:

BEGINNING for the Northeast corner of the herein described tract at a wood fence corner post in the South right-of-way of F.M. Road 3163 at the Northeast corner of said 13.7027 acre tract;
THENCE South 00 Degrees 12 Minutes 33 Seconds West with the East line thereof a distance of 16.00 feet to a point;
THENCE North 89 Degrees 55 Minutes 17 Seconds West a distance of 301.80 feet to a point;
THENCE South 44 Degrees 31 Minutes 54 Seconds West a distance of 52.49 feet to a point;
THENCE North 89 Degrees 55 Minutes 17 Seconds West a distance of 22.41 feet to a point;
THENCE North 44 Degrees 31 Minutes 54 Seconds East a distance of 74.90 feet to a point in the South right-of-way of said road;
THENCE South 89 Degrees 55 Minutes 17 Seconds East with the South right-of-way of said road and North line of said 13.7027 acre tract a distance of 308.56 feet to the **PLACE OF BEGINNING** and enclosing 0.14 acres of land more or less.

Prepared by Kern Surveying, Inc.
P.O. Box 507
Krum, Texas 76249



LOT 1, BLOCK 1
LOVE'S COUNTRY
STORE ADDITION

F.M. ROAD 3163

0.14 ACRES

30 PERMANENT
WATERLINE EASEMENT
PER C.P. # 97-4008181
TEMPORARY
CONSTRUCTION
EASEMENT PER
C.P. # 97-4008181



JOB NO.: 99228-1
DATE: 4-7-99
SCALE: 1" = 40'
DRAWN BY: HCI
CHECKED BY: KAZ

KERN SURVEYING INC.
P.O. BOX 507
KRUM, TX. 76249
(940) 482-6723

0463 00900

Filed for Record in:
DENTON COUNTY, TX
CYNTHIA MITCHELL, COUNTY
CLERK

On Nov 08 1999
At 11:25am

Doc/Num : 99-RB113602
Doc/Type : EAS
Recording: 11.00
Doc/Regt : 6.00
Receipt #: 44773
Deputy - Christy

EXHIBIT A
PARCEL 074-14 WWE

LEGAL DESCRIPTION
WATER AND WASTEWATER EASEMENT

BEING a 19,325 square foot (0.4436 acre) tract of land situated in the John Ayers Survey, Abstract No. 2, Denton County, Texas, and being part of a called 13.7027 acre tract of land described in the Warranty Deed to Musket Corporation, recorded in Volume 1630, Page 42, Deed Records, Denton County, Texas, and being more particularly described as follows:

COMMENCING at the southernmost southwest corner of the said called 13.7027 acre tract, and being in the east right-of-way line of Interstate Highway No. 35 (a variable width right-of-way), from which a 5/8-inch iron rod found bears South 89°31'58" East, a distance of 1.04 feet;

THENCE South 89°31'58" East, along the south line of the said called 13.7027 acre tract, a distance of 291.97 feet to the **POINT OF BEGINNING**, and being at the beginning of a curve to the right having a central angle of 36°36'27", a radius of 1242.00 feet, a chord bearing and distance of North 44°02'25" East, 780.11 feet;

THENCE in a northeasterly direction, departing the said south line, and along said curve to the right, an arc distance of 793.54 feet to a point for corner in the east line of the said called 13.7027 acre tract;

THENCE South 0°14'06" West, along the said east line, a distance of 28.37 feet to a 5/8-inch iron rod with "KHA" cap set for corner, and being at the beginning of a non-tangent curve to the left having a central angle of 35°25'33", a radius of 1217.00 feet, a chord bearing and distance of South 44°00'23" West, 740.54 feet;

THENCE in a southwesterly direction, departing the said east line, and along said curve to the left, an arc distance of 752.47 feet to a point for corner in the said south line of the called 13.7027 acre tract;

THENCE North 89°31'58" West, along the said south line, a distance of 27.71 feet to the **POINT OF BEGINNING** and containing 19,325 square feet or 0.4436 acres of land, more or less.

NOTES

Bearing system based on the Texas Coordinate System of 1983(2011 adjustment), North Central Zone (4202). A survey plat of even survey date herewith accompanies this metes & bounds description.

The undersigned, Registered Professional Land Surveyor, hereby certifies that the foregoing description accurately sets out the metes and bounds of the easement tract.

J.D. Wargo 2/11/22
JOSHUA D. WARGO
 REGISTERED PROFESSIONAL
 LAND SURVEYOR NO. 6391
 801 CHERRY STREET
 UNIT 11 SUITE 1300
 FORT WORTH, TEXAS 76102
 PH. 817-335-6511
 josh.wargo@kimley-horn.com



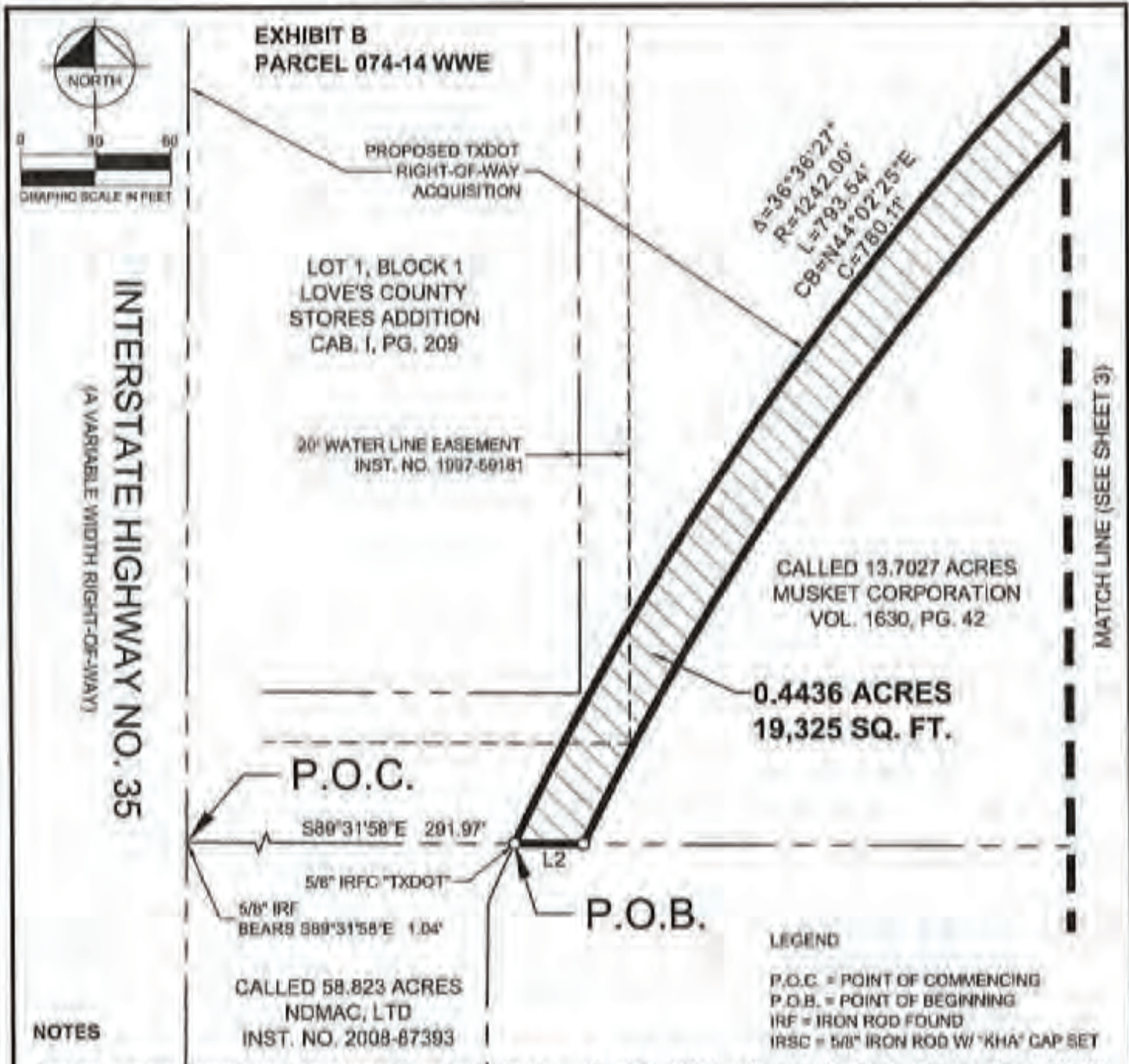
**WATER AND WASTEWATER
 EASEMENT**
JOHN AYERS SURVEY
ABSTRACT NO. 2
DENTON COUNTY, TEXAS

Kimley»Horn

801 Cherry Street, Unit 11, # 1300
 Fort Worth, Texas 76102 PRM # 10194040

Tel. (817) 335-6511
 www.kimleyhorn.com

Scale	Drawn By	Checked By	Date	Project No.	Sheet No.
N/A	CRD	JW	1/27/2022	001024040	1 OF 2



NOTES

Bearing system based on the Texas Coordinate System of 1983 (2011 adjustment), North Central Zone (4202). Coordinates have been scaled to surface values using a surface adjustment factor of 1.000150630. A metes and bounds description of even survey date herewith accompanies this survey plat.

The undersigned, Registered Professional Land Surveyor, hereby certifies that this survey plat accurately sets out the metes and bounds of the easement tract.

J.D.W. 2/11/22
JOSHUA D. WARGO
 REGISTERED PROFESSIONAL
 LAND SURVEYOR NO. 6391
 801 CHERRY STREET
 UNIT 11 SUITE 1300
 FORT WORTH, TEXAS 76102
 PH. 817-335-6511
 josh.wargo@kimley-horn.com



LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRF = IRON ROD FOUND
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET

**WATER AND WASTEWATER
 EASEMENT**

**JOHN AYERS SURVEY
 ABSTRACT NO. 2
 DENTON COUNTY, TEXAS**

Kimley»Horn

801 Cherry Street, Low 11, #1300 Fort Worth, Texas 76102 FIRM # 18184040 Tel. No. (817) 335-6511 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Sheet No.	Sheet Tot.
1" = 80'	CHS	JDW	10/2/2022	061034043	2 OF 3

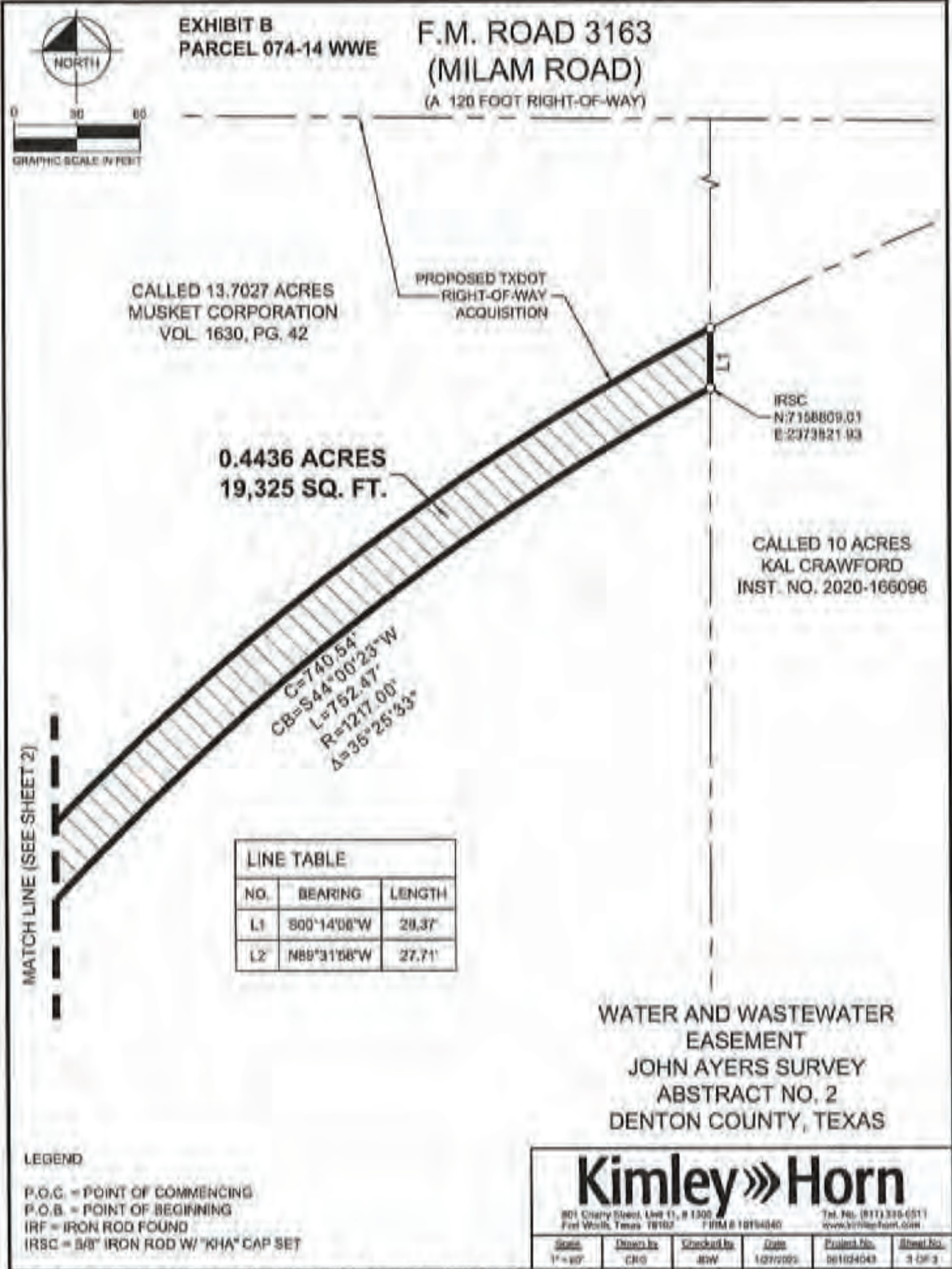


EXHIBIT B
PARCEL 074-14 WWE

F.M. ROAD 3163
(MILAM ROAD)
(A 120 FOOT RIGHT-OF-WAY)



CALLED 13.7027 ACRES
MUSKET CORPORATION
VOL. 1630, PG. 42

PROPOSED TXDOT
RIGHT-OF-WAY
ACQUISITION

0.4436 ACRES
19,325 SQ. FT.

IRSC
N:7158809.01
E:2973821.93

CALLED 10 ACRES
KAL CRAWFORD
INST. NO. 2020-166096

C=740.54'
CB=S44°00'23\"/>

MATCH LINE (SEE SHEET 2)

LINE TABLE		
NO.	BEARING	LENGTH
L1	S00°14'08\"/>	

WATER AND WASTEWATER
EASEMENT
JOHN AYERS SURVEY
ABSTRACT NO. 2
DENTON COUNTY, TEXAS

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRF = IRON ROD FOUND
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET

Kimley»Horn

801 Cherry Street, Suite 11, # 1300
Frost, Texas 76102 FIRM # 18194840 Tel. No. (817) 335-0511
www.kimleyhorn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1"=30'	CRG	JRW	10/27/2022	061024043	3 OF 3

U00017637

TxDOT Highway Project Number:

0195-02-074

TxDOT Parcel 16

RCSJ 0195-02-079

From: US77/Barthold Dr.

To: Milam Rd

Utility Longitudinal Stations:

Sta 2358+08 RT to Sta 2360+11 RT

Existing Easement

Instrument Number

2020-166096

BEING 0.3524 ACRES IN
THE JOHN AYERS SURVEY A-2,
BEING PART OF A 10 ACRE TRACT
KURT WILLIAM CRAWFORD
CITY OF DENTON, DENTON COUNTY, TEXAS

Denton County
Juli Luke
County Clerk



VG-202-2020-166096

Instrument Number: 166096

Real Property Recordings

DEED

Recorded On: October 16, 2020 02:31 PM

Number of Pages: 5

*** Examined and Charged as Follows: ***

Total Recording: \$42.00

******* THIS PAGE IS PART OF THE INSTRUMENT *******

Any provision herein which restricts the Sale, Rental or use of the described REAL PROPERTY because of color or race is invalid and unenforceable under federal law.

File Information:

Document Number: 166096
Receipt Number: 20201016000627
Recorded Date/Time: October 16, 2020 02:31 PM
User: Jessica M
Station: Station 4

Record and Return To:

KURT WILLAIM CRAWFORD
142 MAYWOOD CIR
COPPELL TX 75019



STATE OF TEXAS
COUNTY OF DENTON

I hereby certify that this Instrument was FILED in the File Number sequence on the date/time printed hereon, and was duly RECORDED in the Official Records of Denton County, Texas.

Juli Luke
County Clerk
Denton County, TX

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

**WARRANTY DEED
(10 Acres)**

STATE OF TEXAS

§

Know All Men By These Presents:

§

COUNTY OF DENTON

§

THAT Kurt William Crawford, Trustee of the William A. Crawford and Gladys H. Crawford Revocable Living Trust Share A, and Kurt William Crawford, Trustee of the William A. Crawford and Gladys H. Crawford Revocable Living Trust Share B, such trust having been established under that certain revocable trust agreement originally dated December 30, 1992, amended for the first time on April 21, 2003, for the second time on June 24, 2003, for the third time on June 9, 2015, for a fourth time on February 29, 2016, and for the fifth time on March 31, 2016 (hereinafter referred to as "Grantor"), for and in consideration of the sum of TEN and NO/100 DOLLARS (\$10.00) cash and other good and valuable consideration in hand paid by Kal Crawford, (referred to as "Grantee"), have GRANTED, SOLD and CONVEYED, and by these presents does GRANT, SELL and CONVEY unto Grantee all of Grantors' interests in and to the following real property together with all improvements situated thereon (such interest is hereinafter referred to as "Subject Property"):

All that certain lot, tract or parcel of land, lying and being situated in the County of Denton, State of Texas, and being a part of a certain 165.9 acre tract as conveyed by Deed dated December 9, 1952, from Arnold Christian Trietsch and wife, Ruby L. Trietsch to J.E. Gentsch and wife, Winnie Gentsch, as shown of record in Volume 384, Page 629 of the Deed Records of Denton County, Texas; being out of the John Ayres League and Labor Survey, Abstract No. 2 and being more particularly described as follows:

BEGINNING at a steel pin and a fence corner post in the South Boundary Line of Farm-to-Market Road No. 3136; (the width of said FM Road No. 3136 at this point being 120 feet); said point of beginning being in the East Boundary Line of a 14.426 acre tract of land as conveyed by Deed dated February 4, 1961, from J.E. Gentsch and wife, Winnie D. Gentsch, to Stuckey's Stores, Inc., as recorded in Volume 464, Page 299 of the Deed Records of Denton County, Texas;

THENCE South, 89 degrees, 12 minutes West, and parallel with the East Boundary Line of Stuckey's Stores, Inc. 14.426 acre tract, 767.00 feet, to a steel pin for corner;

THENCE North 89 degrees, 44 minutes West, and parallel to the South Boundary Line to Farm-to-Market Road 3136, 567.93 feet, to a steel pin and fence corner post for the Southeast Corner of said Stuckey's Stores, Inc., 14.426 acre tract;

THENCE North 00 degrees, 12 minutes East, along fence line and the East Boundary Line of said Stuckey's Stores, Inc. tract, 767.00 feet to point of beginning, and containing 10 acres of land.

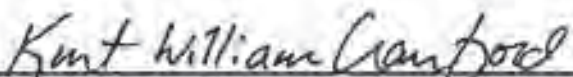
Grantor does hereby convey the Subject Property together with all rights, titles and interests of Grantor in and to any roads, easements, streets and rights-of-way within, adjoining, adjacent or contiguous to the Subject Property, and all condemnation awards, reservations and remainders, and together with each and every right, privilege, hereditament and appurtenance in anywise incident or appertaining to the Subject Property. The term Subject Property shall refer to and include the property described in this paragraph.

The conveyance made hereby, and the warranties made hereunder, are made by Grantor and accepted by Grantee subject to the following matters, to the extent same are in effect at this time: any and all restrictions, covenants, conditions, liens, encumbrances, reservations, easements, and other exceptions to title, if any, relating to the Subject Property, but only to the extent they are still in force and effect and shown of record in Denton County, Texas, and to all zoning laws, regulations and ordinances of municipal and/or other governmental or quasi-governmental authorities, if any, relating to the Subject Property and to all matters which would be revealed by an inspection and/or a current survey of the Subject Property.

TO HAVE AND TO HOLD the Subject Property, to the extent conveyed hereby, subject to the terms and provisions contained herein, together with all and singular the rights and appurtenances thereto in anywise belonging unto Grantee and such Grantee's heirs, executors, administrators, personal representatives, successors and assigns forever; and Grantor does hereby bind Grantor and Grantor's heirs, executors, administrators, personal representatives, successors and assigns to warrant and forever defend all and singular the Subject Property, to the extent conveyed hereby, unto each Grantee and Grantee's heirs, executors, administrators, personal representatives, successors and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.

EXECUTED on the 5th day of October, 2020.


Kurt William Crawford, Trustee of the William
A. Crawford and Gladys H. Crawford
Revocable Living Trust Share A


Kurt William Crawford, Trustee of the William
A. Crawford and Gladys H. Crawford
Revocable Living Trust Share B

Address of Grantees:

KURT WILLIAM CRAWFORD, TRUSTEE
142 MAYWOOD CIR
COPPELL TX 75019-4025

After Recording Return to:

KURT WILLIAM CRAWFORD, TRUSTEE
142 MAYWOOD CIR
COPPELL TX 75019-4025

STATE OF TEXAS

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COUNTY OF DALLAS

This instrument was acknowledged before me on the 5th day of October, 2020, by Kurt William Crawford, Trustee of the William A. Crawford and Gladys H. Crawford Revocable Living Trust Share A.



Reni Kirsch

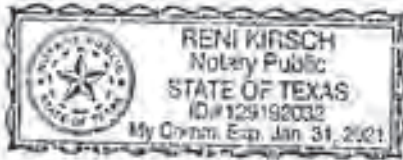
Notary Public, State of Texas

STATE OF TEXAS

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COUNTY OF DALLAS

This instrument was acknowledged before me on the 5th day of October, 2020, by Kurt William Crawford, Trustee of the William A. Crawford and Gladys H. Crawford Revocable Living Trust Share B.



Reni Kirsch

Notary Public, State of Texas

EXHIBIT A
PARCEL 074-16 WWE

LEGAL DESCRIPTION
WATER AND WASTEWATER EASEMENT

BEING a 15,352 square foot (0.3524 acre) tract of land situated in the John Ayers Survey, Abstract No. 2, Denton County, Texas, and being part of a called 10 acre tract of land described in the Warranty Deed to Kal Crawford, recorded in Instrument No. 2020-166096, Official Public Records, Denton County, Texas, and being more particularly described as follows:

COMMENCING at the northeast corner of the said called 10 acre tract, and being in the south right-of-way line of F.M. Road 3163 (Miami Road) (a 120 foot right-of-way);

THENCE South 0°37'40" West, along the east line of the said called 10 acre tract, a distance of 92.86 feet to the **POINT OF BEGINNING**;

THENCE South 0°37'40" West, continuing along the said east line, a distance of 35.00 feet to a 5/8-inch iron rod with "KHA" cap set for corner;

THENCE South 89°57'36" West, departing the said east line, a distance of 41.56 feet to a point for corner;

THENCE North 71°31'03" West, a distance of 31.48 feet to a point for corner;

THENCE South 89°57'36" West, a distance of 221.41 feet to a point at the beginning of a non-tangent curve to the left having a central angle of 14°04'34", a radius of 1217.00 feet, a chord bearing and distance of South 68°45'27" West, 298.24 feet;

THENCE in a southwesterly direction, along said curve to the left, an arc distance of 298.99 feet to a 5/8-inch iron rod with "KHA" cap set for corner, being in the west line of the said called 10 acre tract;

THENCE North 0°14'06" East, along the said west line, a distance of 26.37 feet to a point at the beginning of a non-tangent curve to the right having a central angle of 13°35'44", a radius of 1242.00 feet, a chord bearing and distance of North 69°08'30" East, 294.02 feet;

THENCE in a northeasterly direction, departing the said west line, and along said curve to the right, an arc distance of 294.71 feet to a point for corner;

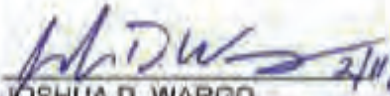
THENCE North 89°57'36" East, a distance of 296.32 feet to the **POINT OF BEGINNING** and containing 15,352 square feet or 0.3524 acres of land, more or less.

NOTES

Bearing system based on the Texas Coordinate System of 1983(2011 adjustment), North Central Zone (4202). A survey plat of even survey date herewith accompanies this metes & bounds description.

The undersigned, Registered Professional Land Surveyor, hereby certifies that the foregoing description accurately sets out the metes and bounds of the easement tract.

**WATER AND WASTEWATER
EASEMENT
JOHN AYERS SURVEY
ABSTRACT NO. 2
DENTON COUNTY, TEXAS**


JOSHUA D. WARGO
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 6391
801 CHERRY STREET
UNIT 11 SUITE 1300
FORT WORTH, TEXAS 76102
PH. 817-335-6511
josh.wargo@kimley-horn.com



Kimley»Horn

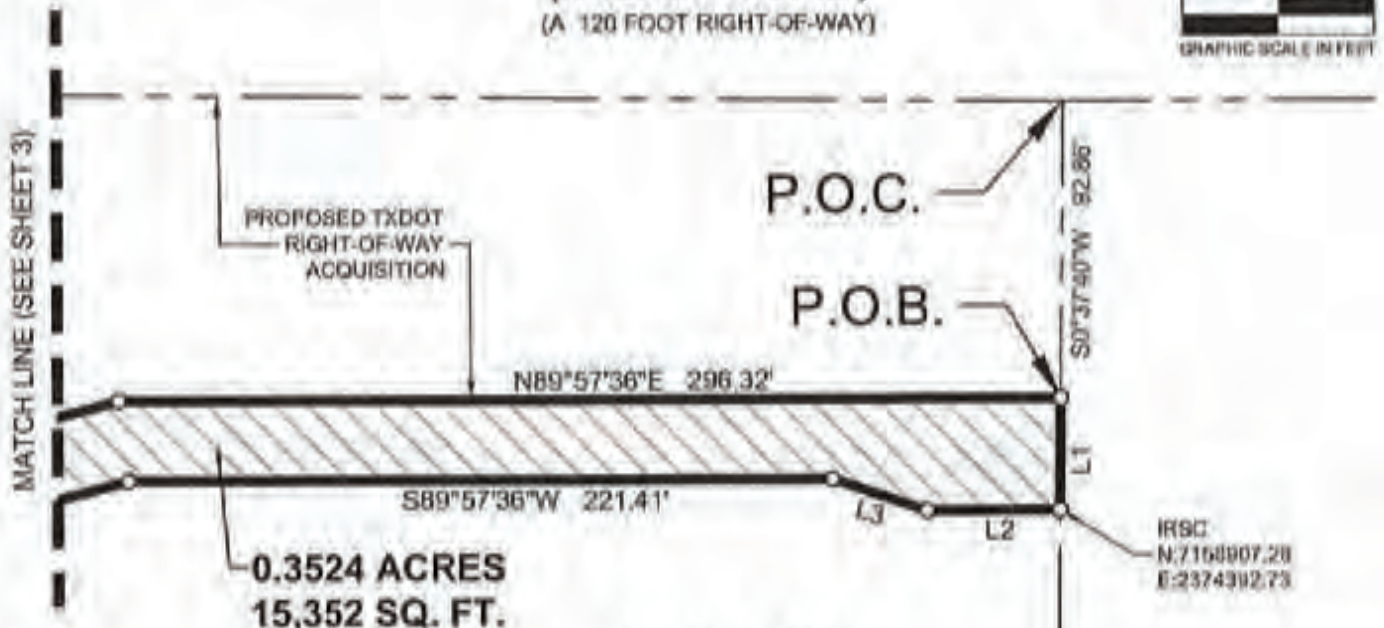
801 Cherry Street, Unit 11, # 1300
Fort Worth, Texas 76102 TWM # 10194840

Tel. No. (817) 335-6511
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	CHD	JWV	10/29/2020	001004049	1 OF 3

**EXHIBIT B
PARCEL 074-16 WWE**

**F.M. ROAD 3163
(MILAM ROAD)
(A 120 FOOT RIGHT-OF-WAY)**



**0.3524 ACRES
15,352 SQ. FT.**

CALLED 10 ACRES
KAL CRAWFORD
INST. NO. 2020-166096

CALLED 58.823 ACRES
NDMAC, LTD
INST. NO. 2008-87393

IRSC
N:7168907.28
E:2374392.73

LINE TABLE		
NO.	BEARING	LENGTH
L1	S00°37'40"W	36.00'
L2	S88°57'36"W	41.50'
L3	N71°31'03"W	31.48'
L4	N00°14'08"E	28.37'

LEGEND

P.O.C. = POINT OF COMMENCING
P.O.B. = POINT OF BEGINNING
IRSC = 5/8" IRON ROD W/ "KHA" CAP SET

NOTES

Bearing system based on the Texas Coordinate System of 1983 (2011 adjustment), North Central Zone (4202). Coordinates have been scaled to surface values using a surface adjustment factor of 1.000150630. A metes and bounds description of even survey date herewith accompanies this survey plat.

The undersigned, Registered Professional Land Surveyor, hereby certifies that this survey plat accurately sets out the metes and bounds of the easement tract.

J.D. Wargo 2/11/22
JOSHUA D. WARGO
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 6391
801 CHERRY STREET
UNIT 11 SUITE 1300
FORT WORTH, TEXAS 76102
PH. 817-335-6511
josh.wargo@kimley-horn.com



**WATER AND WASTEWATER
EASEMENT**
JOHN AYERS SURVEY
ABSTRACT NO. 2
DENTON COUNTY, TEXAS

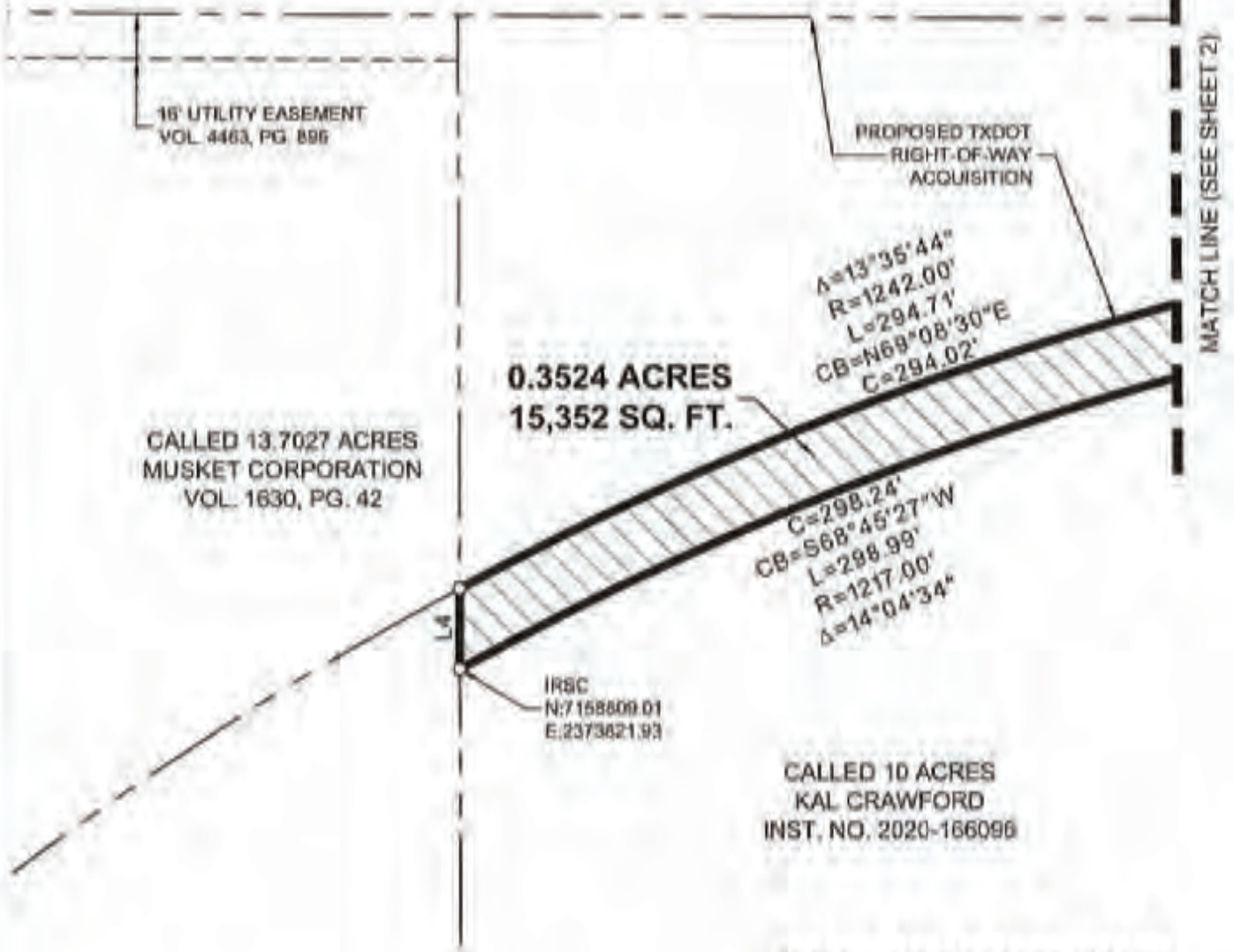
Kimley»Horn

801 Cherry Street, Unit 11, # 1300 Fort Worth, Texas 76102		FIRM # 1818546		Tel. No. (817) 335-6511 www.kimley-horn.com	
Scale	Drawn by	Checked by	Date	Drawn No.	Sheet No.
1" = 60'	CRG	JDW	10/19/22	051024048	2 OF 3

**EXHIBIT B
PARCEL 074-16 WWE**



**F.M. ROAD 3163
(MILAM ROAD)
(A 120 FOOT RIGHT-OF-WAY)**



16' UTILITY EASEMENT
VOL. 4463, PG. 896

PROPOSED TXDOT
RIGHT-OF-WAY
ACQUISITION

**0.3524 ACRES
15,352 SQ. FT.**

CALLED 13.7027 ACRES
MUSKET CORPORATION
VOL. 1630, PG. 42

$\Delta=13^{\circ}35'44''$
 $R=1242.00'$
 $L=294.71'$
 $CB=N68^{\circ}08'30''E$
 $C=294.02'$

$C=298.24'$
 $CB=S68^{\circ}45'27''W$
 $L=298.99'$
 $R=1217.00'$
 $\Delta=14^{\circ}04'34''$

IRSC
N: 7158609.01
E: 2373621.93

CALLED 10 ACRES
KAL CRAWFORD
INST. NO. 2020-166096

**WATER AND WASTEWATER
EASEMENT
JOHN AYERS SURVEY
ABSTRACT NO. 2
DENTON COUNTY, TEXAS**

LEGEND

- P.O.C. = POINT OF COMMENCING
- P.O.B. = POINT OF BEGINNING
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET

Kimley»Horn

981 Cherry Street, Suite 11, #1300 Fort Worth, Texas 76102 FIRM # 10194050 Tel: (817) 335-6811 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 80'	CHD	JOW	1/27/2023	061024H3	3 OF 3

Certificate Of Completion

Envelope Id: 2747E5F48C3D42B6AB35B03FD9236146	Status: Completed
Subject: Complete with DocuSign: U00017637_Complete SUA_City of DentonPart-1.pdf, U00017637_Complete SUA...	
Source Envelope:	
Document Pages: 216	Signatures: 5
Certificate Pages: 5	Initials: 27
AutoNav: Enabled	Envelope Originator:
Envelopeld Stamping: Enabled	Jose Olivares
Time Zone: (UTC-06:00) Central Time (US & Canada)	125 E. 11th Street
	Austin, TX 78701
	Jose.Olivares@txdot.gov
	IP Address: 204.64.21.247

Record Tracking

Status: Original	Holder: Jose Olivares	Location: DocuSign
7/31/2023 3:23:10 PM	Jose.Olivares@txdot.gov	
Security Appliance Status: Connected	Pool: StateLocal	
Storage Appliance Status: Connected	Pool: Texas Department of Transportation	Location: DocuSign

Signer Events

Sara Hensley
 Sara.Hensley@cityofdenton.com
 City Manager
 City of Denton
 Security Level: Email, Account Authentication (Optional)

Signature




Signature Adoption: Pre-selected Style
 Using IP Address: 198.49.140.10

Timestamp

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 Signed: 7/31/2023 3:51:51 PM

Electronic Record and Signature Disclosure:
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 ID: 5f539cc8-796b-401d-b6e3-eeba072b5a62

Lesley Taylor
 Lesley.Taylor@txdot.gov
 Texas Department of Transportation
 Security Level: Email, Account Authentication (Optional)




Signature Adoption: Pre-selected Style
 Using IP Address: 204.64.21.250

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 Signed: 7/31/2023 4:42:10 PM

Electronic Record and Signature Disclosure:
 Not Offered via DocuSign

Darla Payberah
 Darla.Payberah@txdot.gov
 Utility and Survey Supervisor
 TXDOT
 Security Level: Email, Account Authentication (Optional)



Signature Adoption: Pre-selected Style
 Using IP Address: 108.71.183.12
 Signed using mobile

Sent: 7/31/2023 4:42:36 PM
 Viewed: 7/31/2023 5:03:27 PM
 Signed: 7/31/2023 5:05:15 PM

Electronic Record and Signature Disclosure:
 Not Offered via DocuSign

James T. Campbell
 James.Campbell@txdot.gov
 Director or TP&D
 Texas Department of Transportation
 Security Level: Email, Account Authentication (Optional)



Signature Adoption: Uploaded Signature Image
 Using IP Address: 204.64.21.251

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 Signed: 8/1/2023 8:27:14 AM

Electronic Record and Signature Disclosure:
 Not Offered via DocuSign

Signer Events	Signature	Timestamp
John Hudspeth John.Hudspeth@txdot.gov Deputy District Engineer Texas Department of Transportation Security Level: Email, Account Authentication (Optional)	 Signature Adoption: Uploaded Signature Image Using IP Address: 204.64.21.251	Sent: 8/1/2023 8:27:35 AM Viewed: 8/2/2023 9:33:41 AM Signed: 8/2/2023 9:34:10 AM

Electronic Record and Signature Disclosure:
 Not Offered via DocuSign

In Person Signer Events	Signature	Timestamp
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Editor Delivery Events	Status	Timestamp
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Agent Delivery Events	Status	Timestamp
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Intermediary Delivery Events	Status	Timestamp
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Certified Delivery Events	Status	Timestamp
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Carbon Copy Events	Status	Timestamp
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Witness Events	Signature	Timestamp
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Notary Events	Signature	Timestamp
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Envelope Summary Events	Status	Timestamps
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Certified Delivered	Security Checked	8/2/2023 9:33:41 AM
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Completed	Security Checked	8/2/2023 9:34:10 AM

Payment Events	Status	Timestamps
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Electronic Record and Signature Disclosure
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If you decide to receive notices and disclosures from us electronically, you may at any time change your mind and tell us that thereafter you want to receive required notices and disclosures only in paper format. How you must inform us of your decision to receive future notices and disclosure in paper format and withdraw your consent to receive notices and disclosures electronically is described below.

Consequences of changing your mind

If you elect to receive required notices and disclosures only in paper format, it will slow the speed at which we can complete certain steps in transactions with you and delivering services to you because we will need first to send the required notices or disclosures to you in paper format, and then wait until we receive back from you your acknowledgment of your receipt of such paper notices or disclosures. To indicate to us that you are changing your mind, you must withdraw your consent using the DocuSign 'Withdraw Consent' form on the signing page of your DocuSign account. This will indicate to us that you have withdrawn your consent to receive required notices and disclosures electronically from us and you will no longer be able to use your DocuSign Express user account to receive required notices and consents electronically from us or to sign electronically documents from us.

All notices and disclosures will be sent to you electronically

Unless you tell us otherwise in accordance with the procedures described herein, we will provide electronically to you through your DocuSign user account all required notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you during the course of our relationship with you. To reduce the chance of you inadvertently not receiving any notice or disclosure, we prefer to provide all of the required notices and disclosures to you by the same method and to the same address that you have given us. Thus, you can receive all the disclosures and notices electronically or in paper format through the paper mail delivery system. If you do not agree with this process, please let us know as described below. Please also see the paragraph immediately above that describes the consequences of your electing not to receive delivery of the notices and disclosures electronically from us.

How to contact Texas Department of Transportation:

You may contact us to let us know of your changes as to how we may contact you electronically, to request paper copies of certain information from us, and to withdraw your prior consent to receive notices and disclosures electronically as follows:

To contact us by email send messages to: kevin.setoda@txdot.gov

To advise Texas Department of Transportation of your new e-mail address

To let us know of a change in your e-mail address where we should send notices and disclosures electronically to you, you must send an email message to us at kevin.setoda@txdot.gov and in the body of such request you must state: your previous e-mail address, your new e-mail address. We do not require any other information from you to change your email address..

In addition, you must notify DocuSign, Inc to arrange for your new email address to be reflected in your DocuSign account by following the process for changing e-mail in DocuSign.

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To request delivery from us of paper copies of the notices and disclosures previously provided by us to you electronically, you must send us an e-mail to kevin.setoda@txdot.gov and in the body of such request you must state your e-mail address, full name, US Postal address, and telephone number. We will bill you for any fees at that time, if any.

To withdraw your consent with Texas Department of Transportation

To inform us that you no longer want to receive future notices and disclosures in electronic format you may:

- i. decline to sign a document from within your DocuSign account, and on the subsequent page, select the check-box indicating you wish to withdraw your consent, or you may;
- ii. send us an e-mail to kevin.setoda@txdot.gov and in the body of such request you must state your e-mail, full name, IS Postal Address, telephone number, and account number. We do not need any other information from you to withdraw consent.. The consequences of your withdrawing consent for online documents will be that transactions may take a longer time to process..

Required hardware and software

Operating Systems:	Windows2000? or WindowsXP?
Browsers (for SENDERS):	Internet Explorer 6.0? or above
Browsers (for SIGNERS):	Internet Explorer 6.0?, Mozilla FireFox 1.0, NetScape 7.2 (or above)
Email:	Access to a valid email account
Screen Resolution:	800 x 600 minimum
Enabled Security Settings:	<ul style="list-style-type: none">• Allow per session cookies

- | | |
|--|---|
| | <ul style="list-style-type: none">• Users accessing the internet behind a Proxy Server must enable HTTP 1.1 settings via proxy connection |
|--|---|

** These minimum requirements are subject to change. If these requirements change, we will provide you with an email message at the email address we have on file for you at that time providing you with the revised hardware and software requirements, at which time you will have the right to withdraw your consent.

Acknowledging your access and consent to receive materials electronically

To confirm to us that you can access this information electronically, which will be similar to other electronic notices and disclosures that we will provide to you, please verify that you were able to read this electronic disclosure and that you also were able to print on paper or electronically save this page for your future reference and access or that you were able to e-mail this disclosure and consent to an address where you will be able to print on paper or save it for your future reference and access. Further, if you consent to receiving notices and disclosures exclusively in electronic format on the terms and conditions described above, please let us know by clicking the 'I agree' button below.

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- I can print on paper the disclosure or save or send the disclosure to a place where I can print it, for future reference and access; and
- Until or unless I notify Texas Department of Transportation as described above, I consent to receive from exclusively through electronic means all notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to me by Texas Department of Transportation during the course of my relationship with you.