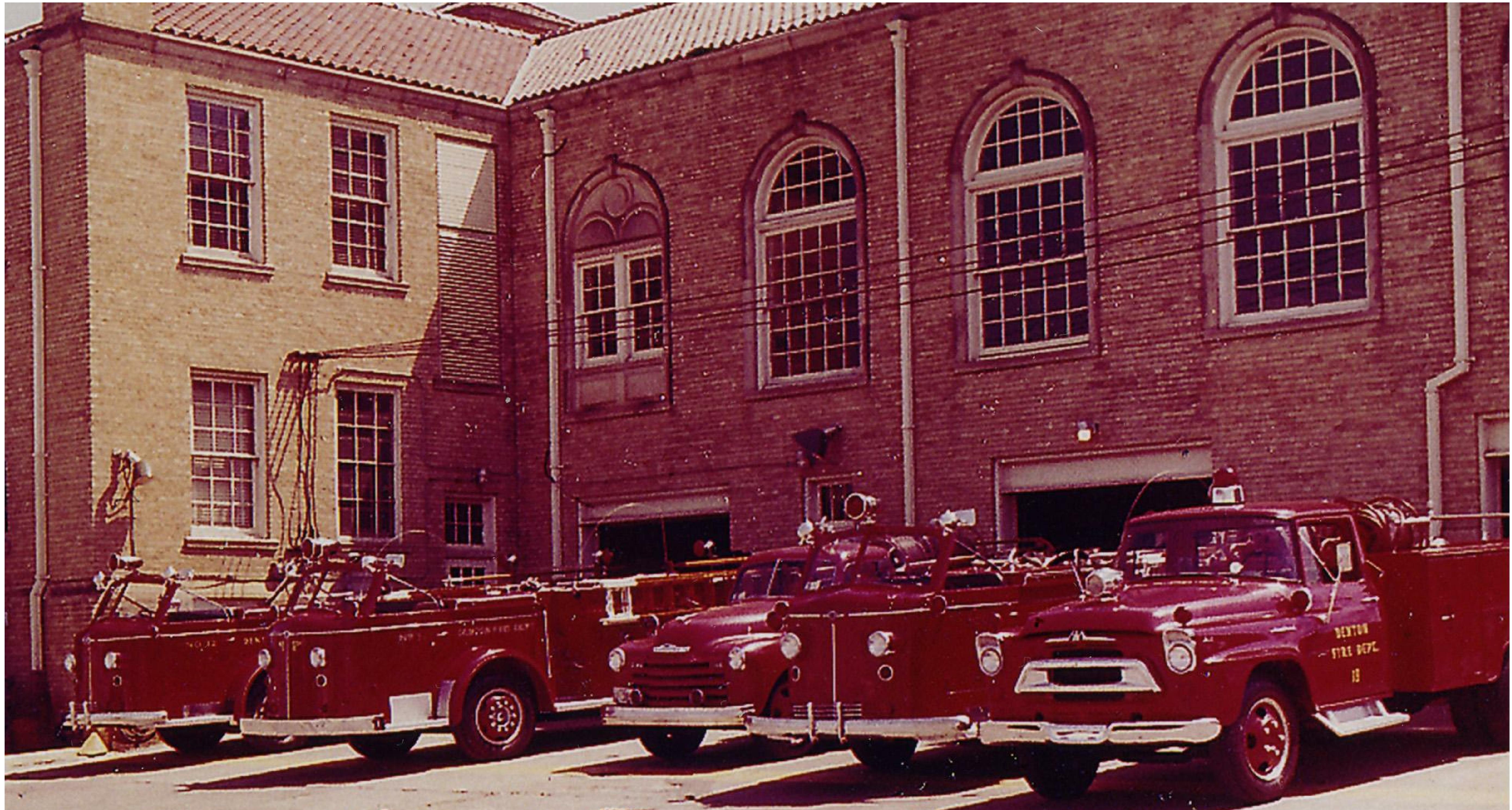


City Hall West

Selective Demolition



221 N Elm St, Denton
Texas - 76201

March 18, 2022
Issued for Owner Review

Architexas No. 2205 Date 04/14/2022

Sheet Name Cover Sheet

Sheet Number

Ao.oo

GENERAL NOTES

GENERAL DEMOLITION NOTES

- THE MAXIMUM ALLOWABLE LOADING ON THE EXISTING FLOOR STRUCTURES SHALL BE CONFIRMED WITH STRUCTURAL ENGINEER. AREAS OF THE BUILDING WHICH MAY HAVE GREATER LOADING IMPOSED ON IT BY THE CONTRACTOR'S DEMOLITION PROCEDURE SHALL BE SHORED. COORDINATE WITH STRUCTURAL.
- EXISTING STRUCTURE SHALL BE SHORED PRIOR TO COMMENCEMENT OF DEMOLITION. SECTIONS OF STRUCTURE BEING DEMOLISHED SHALL NOT BE ALLOWED TO DROP ONTO FLOOR STRUCTURE BELOW.
- SHORING SHALL TRANSFER LOADING DIRECTLY TO EXISTING LOAD BEARING MASONRY WALLS. SHORING SHALL BE DESIGNED TO SUPPORT THE FULL ANTICIPATED LOADING WITH NO BENEFIT FROM THE EXISTING STRUCTURAL FRAMING.
- EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL NOT BE DAMAGED DURING THE DEMOLITION PROCESS. PROVIDE ALL NECESSARY TEMPORARY PROTECTION.

GENERAL CONSTRUCTION NOTES

- THE WORK SHALL CONFORM WITH THE CURRENT EDITION OF THE FOLLOWING REGULATIONS - CONTRACTOR TO VERIFY CURRENT CODES. CITY ADOPTION OF 2021 TO HAPPEN IN 2022:
 - 2021 INTERNATIONAL BUILDING CODE
 - 2021 INTERNATIONAL EXISTING BUILDING CODE
 - 2021 INTERNATIONAL FIRE CODE
 - 2021 INTERNATIONAL PLUMBING CODE
 - 2021 INTERNATIONAL MECHANICAL CODE
 - 2021 INTERNATIONAL ENERGY CONSERVATION CODE
 - 2020 NATIONAL ELECTRICAL CODE
 - 2012 TEXAS ACCESSIBILITY STANDARDS
 - U.S. DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
- THE CONTRACTOR SHALL VISIT THE SITE TO REVIEW AND SURVEY EXISTING CONDITIONS TO FULLY UNDERSTAND SCOPE OF WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS AND PAY ALL APPLICATION FEES.
- IF THE CONTRACTOR PERFORMS OR PROCEEDS WITH ANY WORK, CONTRARY TO APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS WITHOUT GIVING PRIOR WRITTEN NOTICE TO THE ARCHITECT, HE/SHE SHALL ASSUME FULL RESPONSIBILITY THEREFORE AND SHALL BEAR ALL COST ATTRIBUTABLE.
- THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS PRIOR TO CONSTRUCTION AND SHALL REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION DISCOVERED AND SHALL NOT PROCEED WITH THE WORK UNTIL THE INTENT OF THE DOCUMENTS IS VERIFIED BY THE ARCHITECT.
- ALL DRAWINGS AND SPECIFICATIONS FORMING PART OF THE CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ONE WILL BE BINDING AS IF CALLED FOR BY ALL; ANY WORK SHOWN OR REFERRED TO IN ONE DOCUMENT SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DOCUMENTS.
- THE CONTRACT DOCUMENTS SHALL BE INTERPRETED WITH THE FOLLOWING ORDER OF PRECEDENCE: SPECIFICATIONS, DETAILS, ENLARGEMENTS, OVERALL DRAWINGS, AND SUBSEQUENT CLARIFICATIONS; ADDENDA SHALL OVERRIDE THE AFFECTED COMPONENTS IN ALL OF THE ABOVE. ALL VERBAL CLARIFICATIONS ARE TO BE RECORDED BY THE CONTRACTOR AND SENT TO THE ARCHITECT WITHIN SEVEN DAYS OF THE OCCURRENCE.
- INFORMATION CONTAINED ON THESE DRAWINGS WITH REGARD TO EXISTING CONDITIONS OF CONSTRUCTION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH EXISTING CONDITIONS. THIS INTERPRETATION HAS BEEN TAKEN BY FIELD MEASUREMENT AND OBSERVATION. THE ARCHITECT HAS ENDEAVORED TO IDENTIFY AS COMPLETELY AS POSSIBLE IN THE CONSTRUCTION DOCUMENTS, EXISTING ITEMS OF EQUIPMENT AND CONSTRUCTION THAT ARE REQUIRED TO BE REMOVED OR OTHERWISE DEMOLISHED. THIS INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND IS IN NO WAY INTENDED TO MEAN THAT DEMOLITION IS LIMITED ONLY TO THOSE ITEMS SPECIFICALLY IDENTIFIED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXECUTE DEMOLITION WORK AS REQUIRED TO REMOVE ELEMENTS AND SYSTEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS, ALONG WITH THEIR ASSOCIATED PARTS.
- ALL AREAS AND ITEMS INDICATING CONTRACT LIMITS AND LINES OF DEMARCACTION ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR AND ARE NOT TO BE TAKEN LITERALLY. ACTUAL CONTRACT LIMITS ARE TO BE DETERMINED PRIOR TO CONSTRUCTION BY FIELD VERIFICATION.
- EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL NOT BE DAMAGED DURING THE DEMOLITION PROCESS. PROVIDE ALL NECESSARY TEMPORARY PROTECTION.
- CONTRACTOR TO ASSIST THE ARCHITECT IN MAKING THEIR EVALUATIONS AND RECOMMENDATIONS BY PROVIDING IN A TIMELY MANNER, AT NO ADDITIONAL COST TO THE OWNER, ACCURATE AND COMPLETE DRAWINGS, SKETCHES, AND PHOTOGRAPHS, SUFFICIENT TO CLEARLY DESCRIBE DISCREPANCIES, CONFLICTS, AND CONCEALED OR OTHERWISE UNANTICIPATED CONDITIONS AFFECTING NEW CONSTRUCTION.
- SCAFFOLDING AND SHORING CANNOT BE SECURED TO EXISTING HISTORIC MATERIALS, OR CAUSE DAMAGE TO EXISTING MATERIALS.
- REINSTALL EACH ELEMENT IN ITS ORIGINAL LOCATION UNLESS NOTED OTHERWISE.
- SIZE NOTED IN CONSTRUCTION DOCUMENTS FOR ORIGINAL MATERIALS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO SUBMITTAL OF SHOP DRAWINGS. MATCH EXACT SIZES AND PROFILES OF ORIGINAL ELEMENTS.
- FIELD VERIFICATIONS OF EXISTING CONDITIONS RELATED TO SPECIFIC PORTIONS OF THE WORK SHALL BE UNDERTAKEN IN ADVANCE TO ALLOW FOR THE TIMELY IDENTIFICATION OF EXISTING CONDITIONS THAT MAY AFFECT THE SCHEDULED INSTALLATION OF NEW WORK AS DESIGNED AND DETAILED, AND TO AVOID UNDUE AND UNREASONABLE DELAYS TO THE PROJECT SHOULD SUCH CONDITIONS BE DISCOVERED. TIMELY IDENTIFICATION OF SUCH CONDITIONS SHALL PROVIDE FOR A MINIMUM PERIOD OF 10 (TEN) WORKING DAYS DURING WHICH TIME THE ARCHITECT WILL EVALUATE THE CONDITION AND MAKE RECOMMENDATIONS FOR ACCOMMODATING NEW WORK.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL EQUIPMENT MANUFACTURER'S ROUGH-IN REQUIREMENTS.
- EXISTING UTILITY SERVICES ARE TO REMAIN, BE PROTECTED, AND/OR TO BE OPERATIONAL DURING DEMOLITION AND CONSTRUCTION. REFERENCE RELEVANT MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. CONTRACTOR TO BE RESPONSIBLE FOR PROTECTION OF AND RESTORATION OF SERVICES, AS WELL AS PROVISION OF TEMPORARY UTILITY SERVICES.
- NOTIFY CITY OF DENTON WHEN IT IS NECESSARY TO AFFECT UTILITIES BEFORE PROCEEDING WITH THE WORK. ALL EXISTING UTILITIES MUST BE CHECKED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK. ANY DAMAGES RESULTING FROM LACK OF COMPLIANCE WITH THE PROVISIONS SHOULD BE CORRECTED BY THE CONTRACTOR AT HIS OR HER OWN EXPENSE.



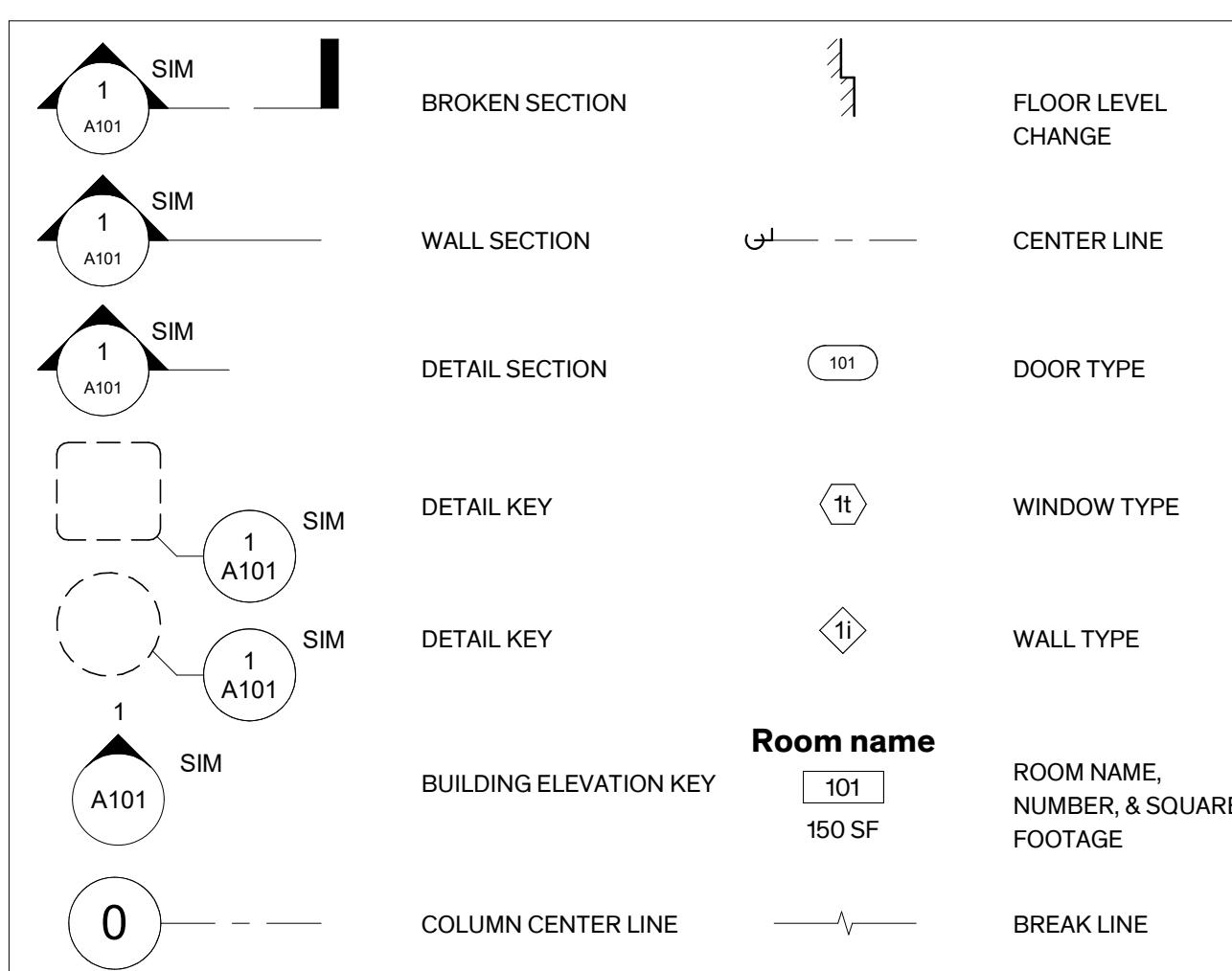
CAST STONE SURROUND @ DOOR 101

ALTERATES

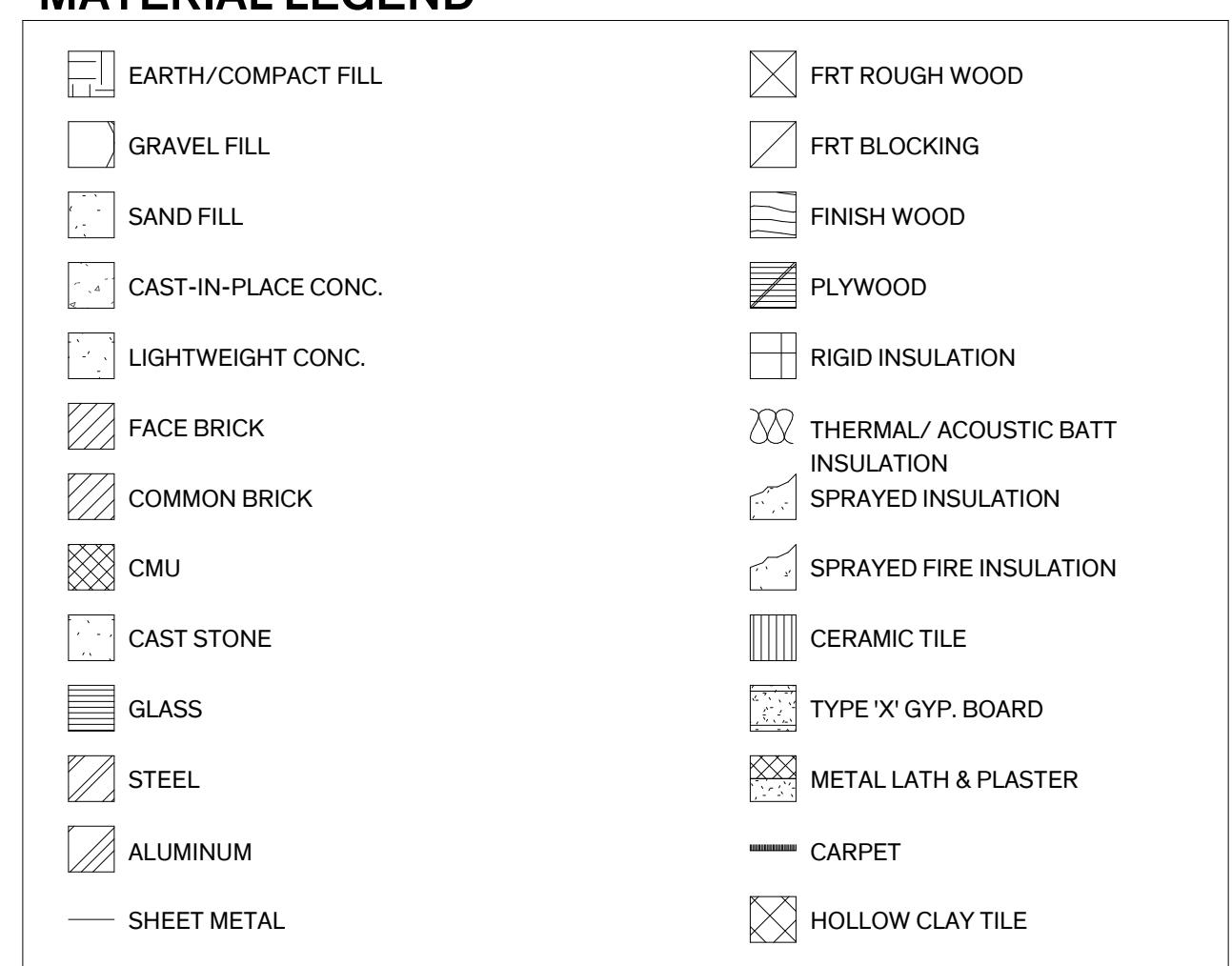
ALTERNATE NO.1

BASE BID: NO WORK AT NORTH ELEVATOR ADDITION.
ALTERNATE 1: REMOVE NORTH ELEVATOR ADDITION, ELEVATOR & EQUIPMENT. RECONSTRUCT MASONRY OPENINGS TO MATCH ADJACENT. PROVIDE METAL CLAD WOOD WINDOWS & CAST STONE PANELS TO MATCH ADJACENT.

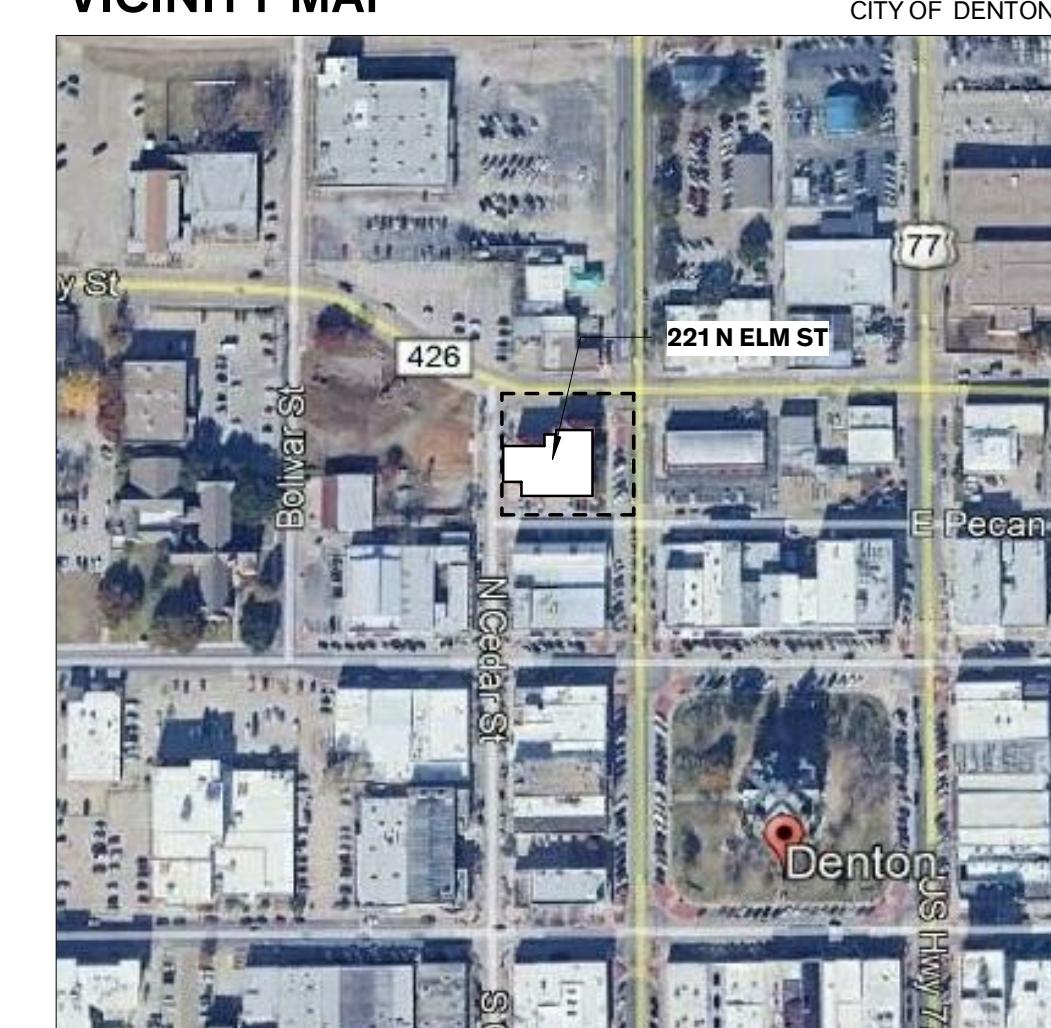
SYMBOL LEGEND



MATERIAL LEGEND



VICINITY MAP



STREET MAP



PROJECT MEMBERS

OWNER
CITY OF DENTON
FACILITIES DEPARTMENT
869 WOODROW LANE
DENTON, TEXAS 76205

PROJECT MANAGER
PEAK PROGRAM VALUE, LLC
4450 ARAPOHUE STE. 100
BOULDER, CO 80303
CONTACT: RAMON GUARDADO
T (817) 800-5791

STRUCTURE
RLG
12001 N. CENTRAL EXPRESSWAY
STE. 300
DALLAS, TEXAS 75243
T (214) 739-8100

ARCHITECT
ARCHITEXAS - ARCHITECTURE,
PLANNING & HISTORIC
PRESERVATION, INC.
1907 MARILLA STREET, 2ND FLOOR
DALLAS, TEXAS 75201
T (214) 748-4561
F (214) 748-4241

MEP
MEPCE
2928 STORY ROAD WEST
LAS COLINAS, TEXAS 75038
T (972) 870-9060

SCOPE OF WORK - DESCRIPTION

Demolition of non-historic infill structure & partitions, non-historic finishes, plumbing fixtures & piping, mechanical system, & lighting.

SHEET INDEX

D3.01	Alternate No. 1	MECHANICAL
D3.06	Bell Tower Elevations	S2.2 Details Narrative
A0.00	Cover Sheet	S2.3 Level B Topping Narrative
		M0.01 Mechanical General Notes and Legends
		M1.01 Mechanical Levels A & B Demo Floor Plan
		M1.02 Mechanical Levels C & D Demo Floor Plan
		M1.03 Mechanical Level E Demo Floor Plan
		M1.04 Mechanical Level F Demo Floor Plan
		M2.01 Mechanical Levels A & B Floor Plan
		M2.02 Mechanical Levels C & D Floor Plan
		PLUMBING
		M2.03 Mechanical Level E Floor Plan
		M2.04 Mechanical Level F Floor Plan
		P0.01 Plumbing General Notes and Legend
		P1.01 Plumbing Levels A & B Demo Floor Plan
		P1.02 Plumbing Levels C & D Demo Floor Plan
		P1.03 Plumbing Level E Demo Floor Plan
		ELECTRICAL
		P1.04 Plumbing Level F Demo Floor Plan
		E0.01 Electrical General Notes and Legend
		E1.01 Electrical Levels A & B Demo Floor Plan
		E1.02 Electrical Levels C & D Demo Floor Plan
		E1.03 Electrical Level E Demo Floor Plan
		FIRE PROTECTION
		E1.04 Electrical Level F Demo Floor Plan
		FP1.01 Fire Protection Levels A & B Demo Floor Plan
		FP1.02 Fire Protection Levels C & D Demo Floor Plan
		FP1.03 Fire Protection Level E Demo Floor Plan
		FP1.04 Fire Protection Level F Demo Floor Plan
		FP2.01 Fire Protection Levels A & B Floor Plan
		FP2.02 Fire Protection Levels C & D Floor Plan
		FP2.03 Fire Protection Level E Floor Plan
		FP2.04 Fire Protection Level F Floor Plan

PROJECT INFORMATION

PROJECT DESCRIPTION
DEMOLITION OF NON-HISTORIC INFILL STRUCTURE & PARTITIONS, NON-HISTORIC FINISHES, PLUMBING FIXTURES & PIPING, MECHANICAL SYSTEM, & LIGHTING.

TDLR REGISTRATION
NOT REQUIRED. WORK IS CONSIDERED MAINTENANCE & DOES NOT INCLUDE TAS SCOPING. BUILDING WILL NOT BE OCCUPIABLE AFTER DEMOLITION.

RECORDED TEXAS LANDMARK
SCOPE OF WORK HAS BEEN APPROVED BY THE TEXAS HISTORICAL COMMISSION (THC). ALL DEViations FROM THE SCOPE TO BE REVIEWED BY THE THC.

CONSTRUCTION CLASSIFICATION
TYPE III-B, BUILDING IS CURRENTLY NOT OCCUPIED

FUTURE USE GROUP CLASSIFICATIONS
BUSINESS
ASSEMBLY
STORAGE

BUILDING AREA
GROSS BUILDING AREA 26,154 GSF

BUILDING HEIGHT
OVERALL BUILDING HEIGHT 3 STORIES W/ PARTIAL BASEMENT

Denton City Hall West

221 N Elm St, Denton, TX

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REVISION HISTORY

Owner Review
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Craig H. Melde
TX Registration No. 9409

Architexas No. 2205 Date 04/14/2022

Sheet Name Project Information

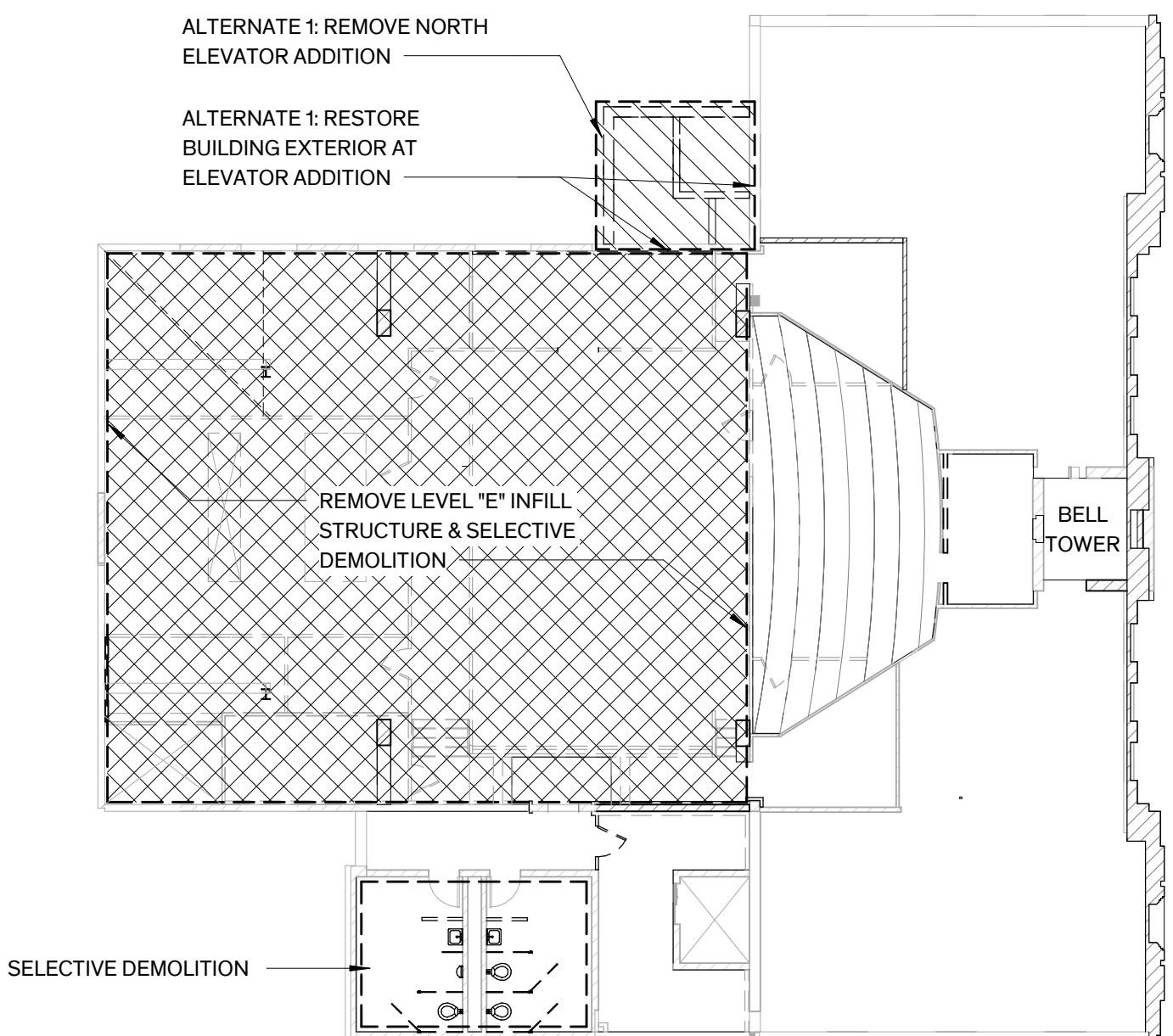
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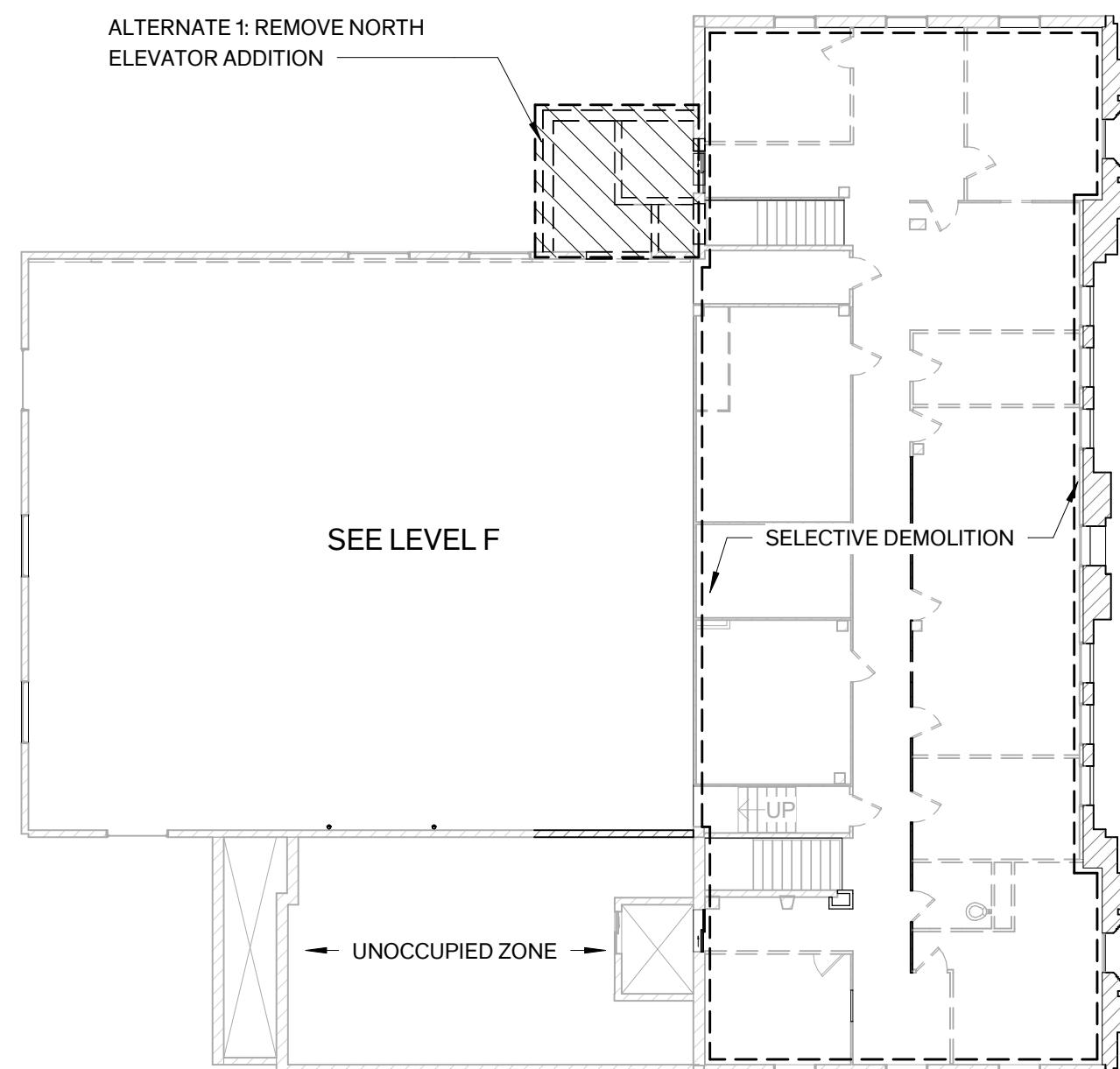
GENERAL NOTE

- SCOPE OF WORK DESCRIPTION

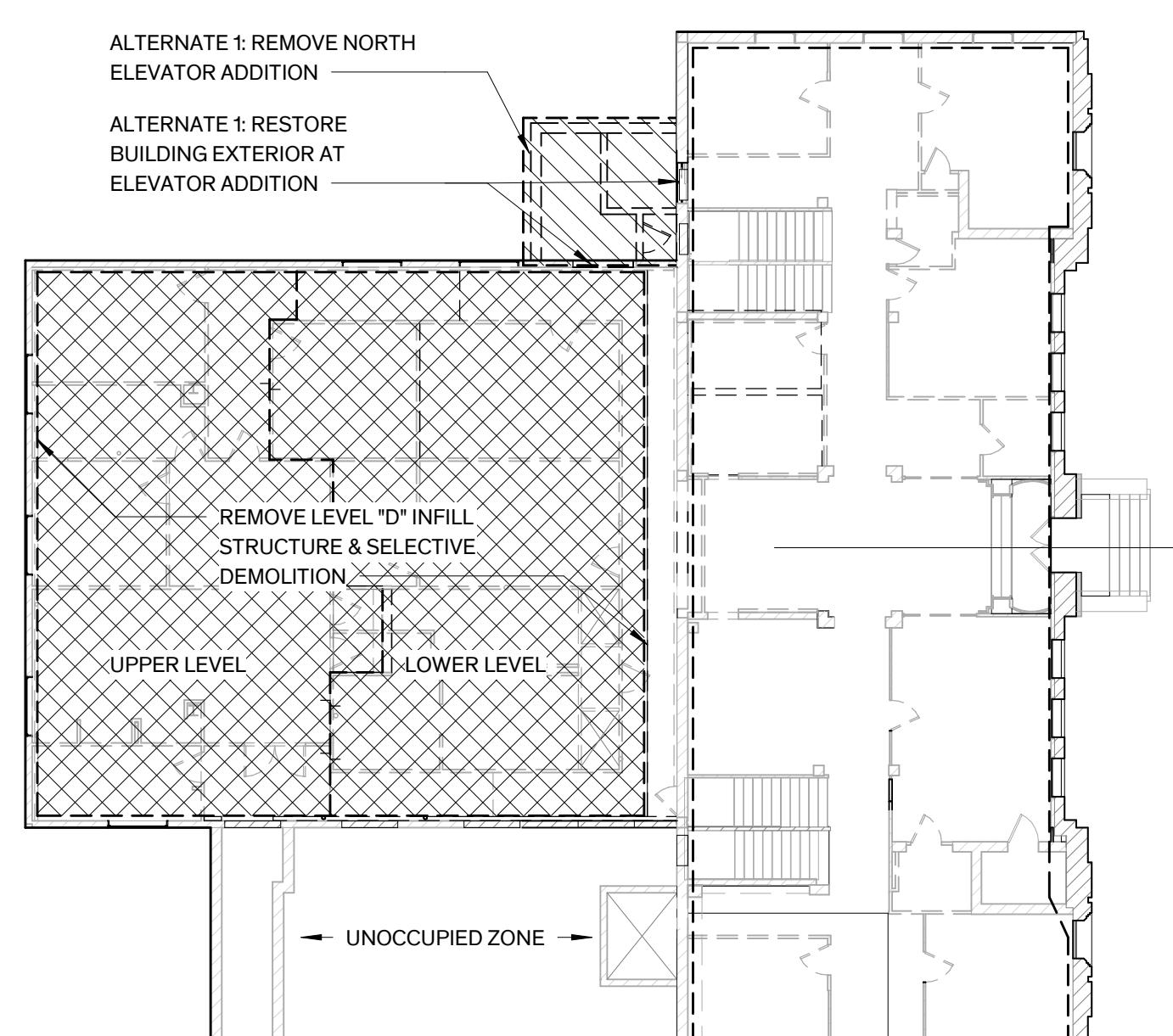
Demolition of non-historic infill structure & partition, non-historic finishes, plumbing fixtures & piping, mechanical system, & lighting.



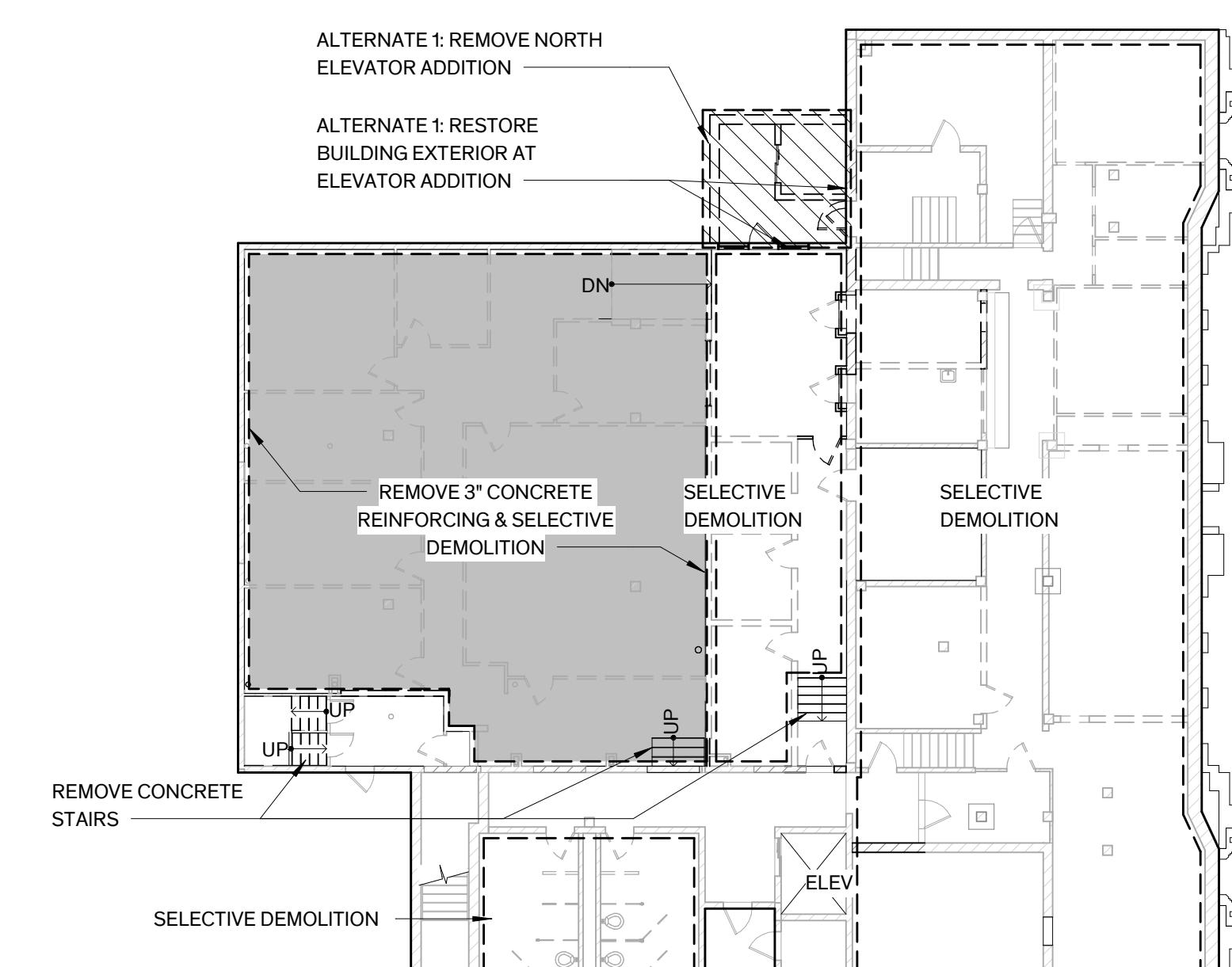
4 Level F Scope Diagram
1/16" = 1'-0"



2 Level E Scope Diagram
1/16" = 1'-0"



3 Levels C & D Scope Diagram
1/16" = 1'-0"



1 Level A & B Scope Diagram
1/16" = 1'-0"

Denton City Hall West

221 N Elm St, Denton, TX

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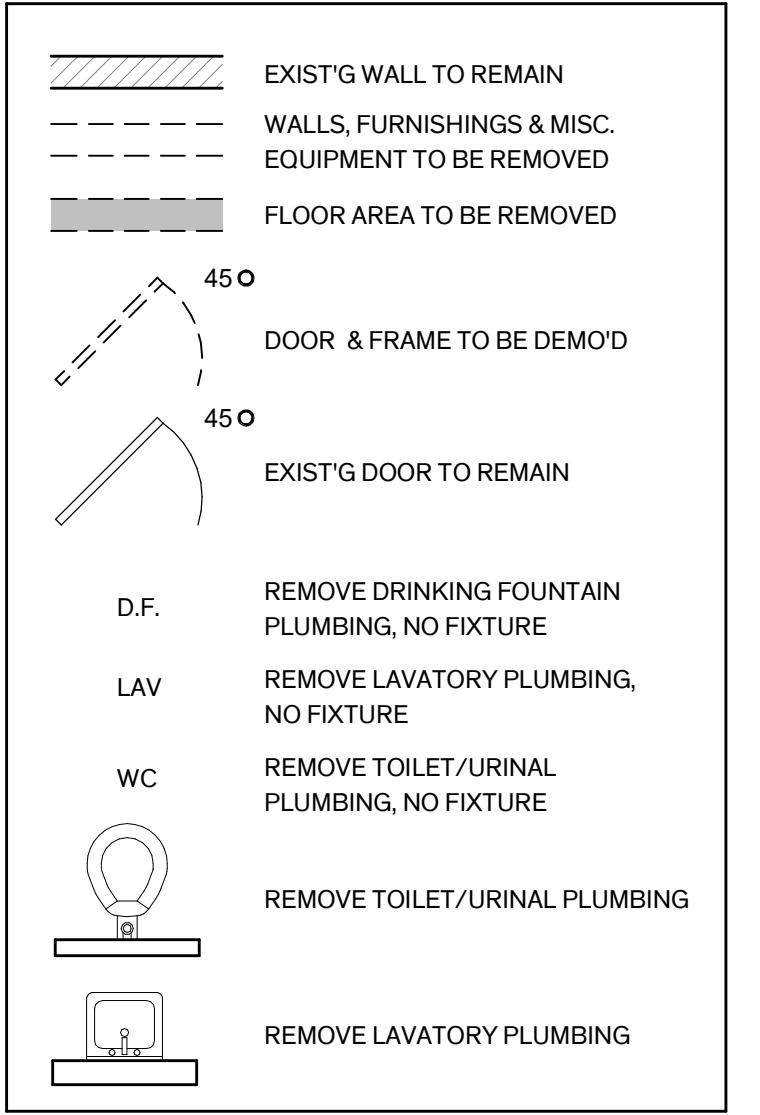
Architexas No. 2205 Date 04/14/2022

Sheet Name Project Scope Diagram

Sheet Number

A0.02

LEGEND



GENERAL NOTES

GENERAL

1. CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO DESIGNATED ON-SITE LOCATION AS INSTRUCTED BY OWNER, TYP.
2. CONTRACTOR IS TO RETAIN HISTORIC MATERIAL UNCOVERED DURING SELECTIVE DEMOLITION FOR ARCHITECT TO REVIEW.
3. REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.

PROTECTION

1. PROTECT HISTORIC INTERIOR FINISHES AND ELEMENTS SCHEDULED TO REMAIN DURING SELECTIVE DEMOLITION PROCESS. DAMAGE TO EXISTING FINISH SURFACES BY THE CONTRACTOR SHALL BE CORRECTED IN KIND AT NO ADDITIONAL EXPENSE TO THE COUNTY.
2. REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY AND MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION AND CONSTRUCTION DEBRIS AND EQUIPMENT.
3. PROTECT LEVEL C LOBBY ORIGINAL FINISHES, LIGHT FIXTURES AND CROWN MOULDING. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD

WALLS

1. REMOVE AND DISCARD MASONRY OR STUD WALLS AND ASSOCIATED FASTENERS WHERE INDICATED ON THE DRAWINGS. PROTECT EXISTING CONCRETE FLOOR WITH INTEGRAL COVE BASE.
2. CAREFULLY REMOVE NON-ORIGINAL WALL FINISHES AND ASSOCIATED FURRING WITHOUT CAUSING DAMAGE TO ORIGINAL SURFACES BEYOND.
3. REMOVE METAL FURRING AND FASTENERS FROM INTERIOR SURFACE OF EXTERIOR WALLS. ASSUME CONDITION AT ALL EXTERIOR WALLS.

EL CORTE

1. EXISTING CONCRETE FLOORING:
 - A. PROTECT HISTORIC EXPOSED CONCRETE WITH INTEGRAL BLACK BORDER AND COVED WALL BASE.
 - B. REMOVE EXISTING CONCRETE SLAB WHERE INDICATED ON THE DRAWINGS. ORIGINAL CONCRETE FLOOR AND STRUCTURE TO REMAIN. RE: STRUCTURE FOR EXTENT OF INFILL FLOORS TO BE REMOVED.
2. MOSAIC TILE FLOORS & WAINSCOT
 - A. REMOVE ALL TILE FLOORS AND WAINSCOT FROM PREVIOUS RESTROOM LOCATIONS.
 - B. PROTECT HISTORIC TILE IN LOBBY.
3. FLOOR REMOVAL:
 - A. REMOVE NON-ORIGINAL CONCRETE FLOOR AND METAL STRUCTURE WHERE INDICATED IN PLAN. IDENTIFY EXTENT OF INFILL FLOOR IN THE FIELD & PROTECT ORIGINAL CONCRETE FLOOR DURING REMOVAL.
 - B. PROVIDE TEMPORARY FALL PROTECTION AT FLOOR OPENINGS AS REQ'D.

DOORS 8 WINDOWS

1. REMOVE EXISTING INTERIOR DOORS AND FRAMES AS INDICATED ON DRAWINGS. ALL DOORS ARE FROM 1980 - 1990S RENOVATIONS, WOOD VENEER WITH HOLLOW METAL FRAME.
2. SELECT NON-HISTORIC DOORS & FRAMES TO REMAIN FOR SAFETY DUE TO CHANGE IN FLOOR LEVELS. REFER TO DRAWINGS FOR SPECIFIC LOCATIONS.
3. EXTERIOR DOORS TO REMAIN UNLESS NOTED OTHERWISE (NOTE ALT. 1).
4. HISTORIC VAULT DOORS ARE TO REMAIN AND PROTECT DURING CONSTRUCTION.

ELEVATOR

1. ALT. 1 - REMOVE EXIST'G NORTH ELEVATOR ADDITION, SUPPORT SYSTEMS, CONCRETE PIT, EQUIPMENT & PIPING, ETC. COORDINATE MEP AND STRUCTURAL FOR REMOVAL

MECHANICAL ELECTRICAL PLUMBING

1. REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS. RE: MEP
2. REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE. RE: PLUMBING
3. WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1 INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
4. REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS. RE: MEP FOR EQUIPMENT TO REMAIN. RE: ELEC.
5. REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.
6. TURN GAS SERVICE OFF & REMOVE GAS LINES TO OUTSIDE OF BUILDING.

Denton City Hall West

221 N Elm St, Denton, T

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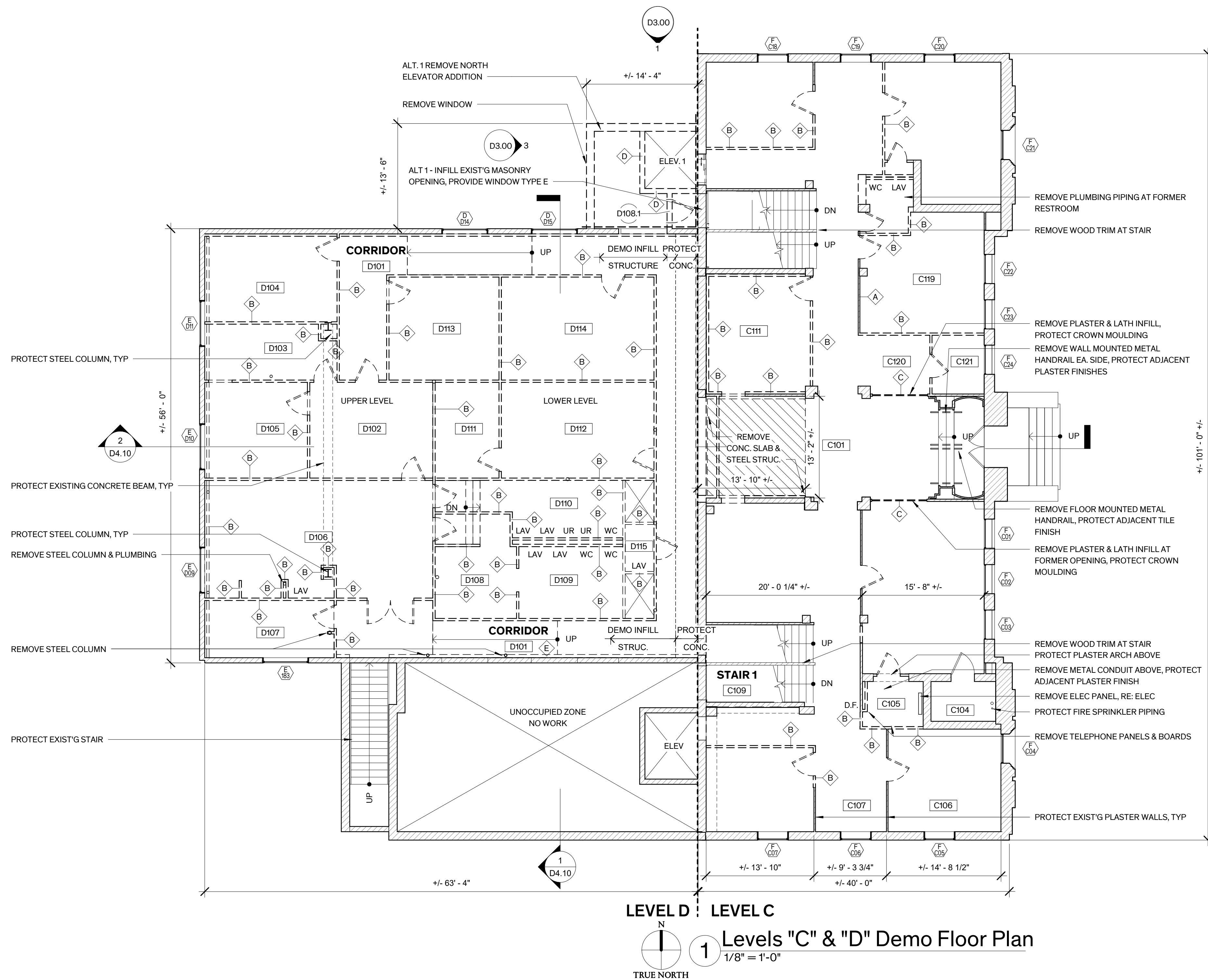
Owner Review

Craig H. Melde
TX Registration No. 9409

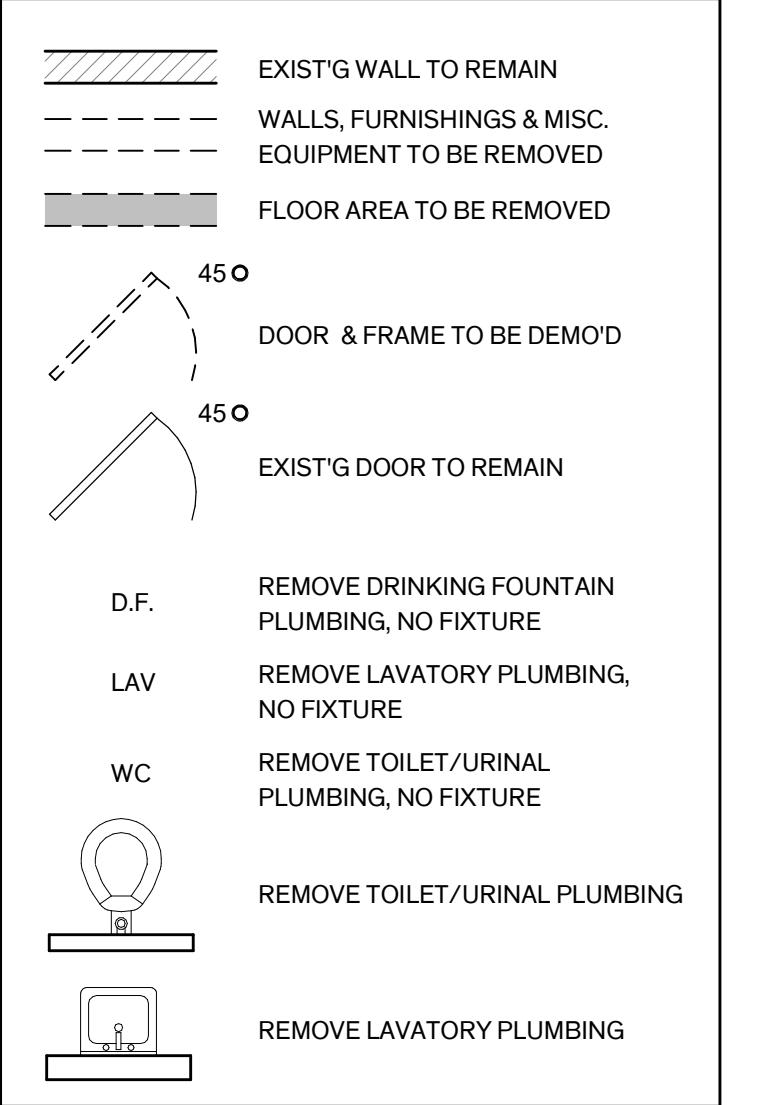
Architexas No.
2205

Sheet Name
Levels C & D Demo Floor Plan

Sheet Number



LEGEND



GENERAL NOTES

GENERAL

- CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO DESIGNATED ON-SITE LOCATION AS INSTRUCTED BY OWNER, TYP.
- CONTRACTOR IS TO RETAIN HISTORIC MATERIAL UNCOVERED DURING SELECTIVE DEMOLITION FOR ARCHITECT TO REVIEW.
- REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.

PROTECTION

- PROTECT HISTORIC INTERIOR FINISHES AND ELEMENTS SCHEDULED TO REMAIN DURING SELECTIVE DEMOLITION PROCESS. DAMAGE TO EXISTING FINISH SURFACES BY THE CONTRACTOR SHALL BE CORRECTED IN KIND AT NO ADDITIONAL EXPENSE TO THE COUNTY.
- REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY AND MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION AND CONSTRUCTION DEBRIS AND EQUIPMENT.
- PROTECT LEVEL C LOBBY ORIGINAL FINISHES, LIGHT FIXTURES AND CROWN MOULDING. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD

WALLS

- REMOVE AND DISCARD MASONRY OR STUD WALLS AND ASSOCIATED FASTENERS WHERE INDICATED ON THE DRAWINGS. PROTECT EXISTING CONCRETE FLOOR WITH INTEGRAL COVE BASE.
- CAREFULLY REMOVE NON-ORIGINAL WALL FINISHES AND ASSOCIATED FURRING WITHOUT CAUSING DAMAGE TO ORIGINAL SURFACES BEYOND.
- REMOVE METAL FURRING AND FASTENERS FROM INTERIOR SURFACE OF EXTERIOR WALLS. ASSUME CONDITION AT ALL EXTERIOR WALLS.

FLOORS

- EXISTING CONCRETE FLOORING:
 - PROTECT HISTORIC EXPOSED CONCRETE WITH INTEGRAL BLACK BORDER AND COVED WALL BASE.
 - REMOVE EXISTING CONCRETE SLAB WHERE INDICATED ON THE DRAWINGS. ORIGINAL CONCRETE FLOOR AND STRUCTURE TO REMAIN. RE: STRUCTURE FOR EXTENT OF INFILL FLOORS TO BE REMOVED.
- MOSAIC TILE FLOORS & WAINSCOT
 - REMOVE ALL TILE FLOORS AND WAINSCOT FROM PREVIOUS RESTROOM LOCATIONS.
 - PROTECT HISTORIC TILE IN LOBBY.
- FLOOR REMOVAL:
 - REMOVE NON-ORIGINAL CONCRETE FLOOR AND METAL STRUCTURE WHERE INDICATED IN PLAN. IDENTIFY EXTENT OF INFILL FLOOR IN THE FIELD & PROTECT ORIGINAL CONCRETE FLOOR DURING REMOVAL.
 - PROVIDE TEMPORARY FALL PROTECTION AT FLOOR OPENINGS AS REQ'D.

DOORS & WINDOWS

- REMOVE EXISTING INTERIOR DOORS AND FRAMES AS INDICATED ON DRAWINGS. ALL DOORS ARE FROM 1980 - 1990S RENOVATIONS, WOOD VENEER WITH HOLLOW METAL FRAME.
- SELECT NON-HISTORIC DOORS & FRAMES TO REMAIN FOR SAFETY DUE TO CHANGE IN FLOOR LEVELS. REFER TO DRAWINGS FOR SPECIFIC LOCATIONS.
- EXTERIOR DOORS TO REMAIN UNLESS NOTED OTHERWISE (NOTE ALT. 1).
- HISTORIC VAULT DOORS ARE TO REMAIN AND PROTECT DURING CONSTRUCTION.

ELEVATOR

- ALT. 1 - REMOVE EXIST'G NORTH ELEVATOR ADDITION, SUPPORT SYSTEMS, CONCRETE PIT, EQUIPMENT & PIPING, ETC. COORDINATE MEP AND STRUCTURAL FOR REMOVAL

MECHANICAL, ELECTRICAL, PLUMBING

- REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS. RE: MEP
- REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE. RE: PLUMBING WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
- REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS. RE: MEP FOR EQUIPMENT TO REMAIN. RE: ELEC.
- REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.
- TURN GAS SERVICE OFF & REMOVE GAS LINES TO OUTSIDE OF BUILDING.

Denton City Hall West

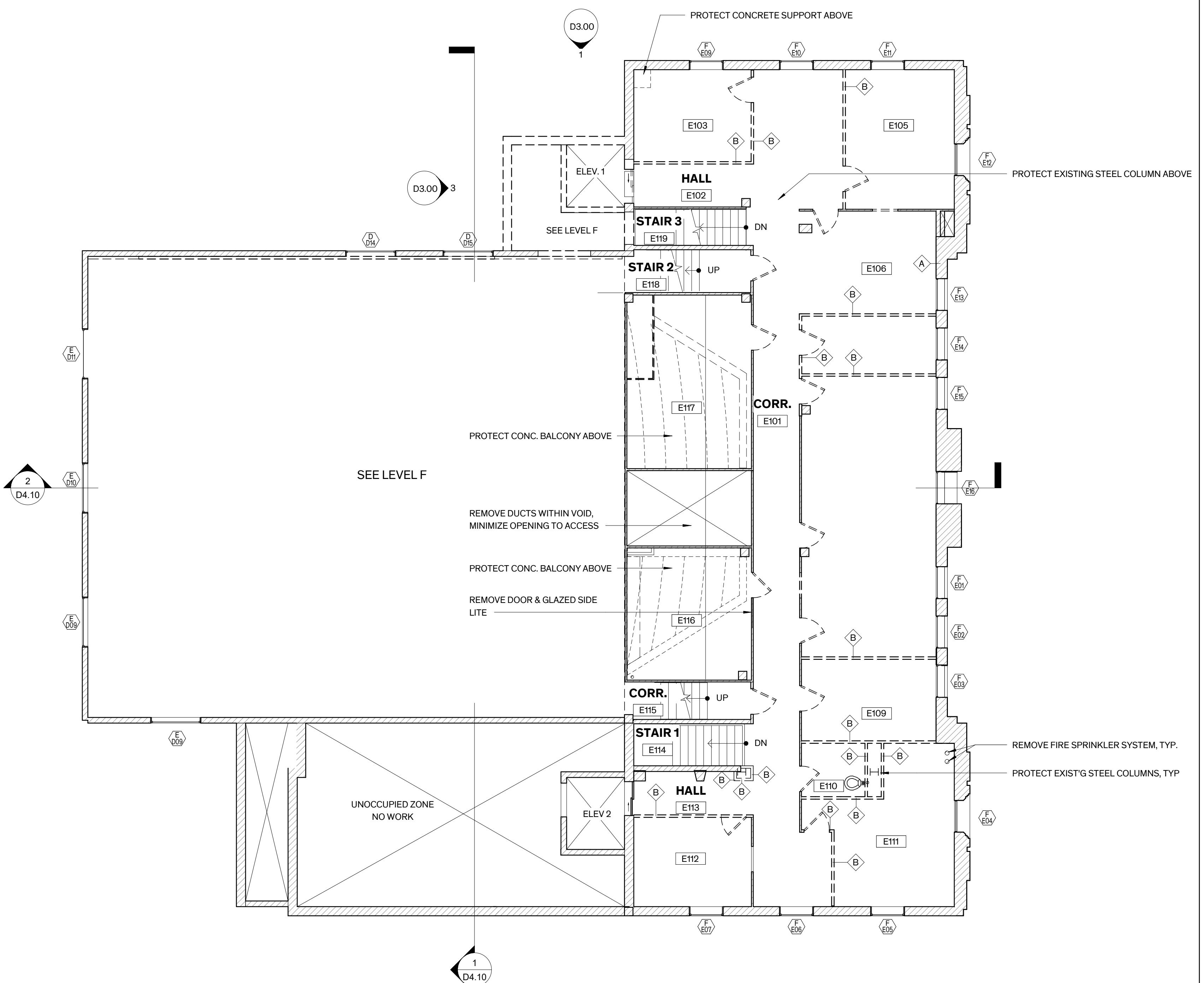
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REVISION HISTORY

Owner Review
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Craig H. Melde
TX Registration No. 9409



1 Level "E" Demo Floor Plan
1/8" = 1'-0"

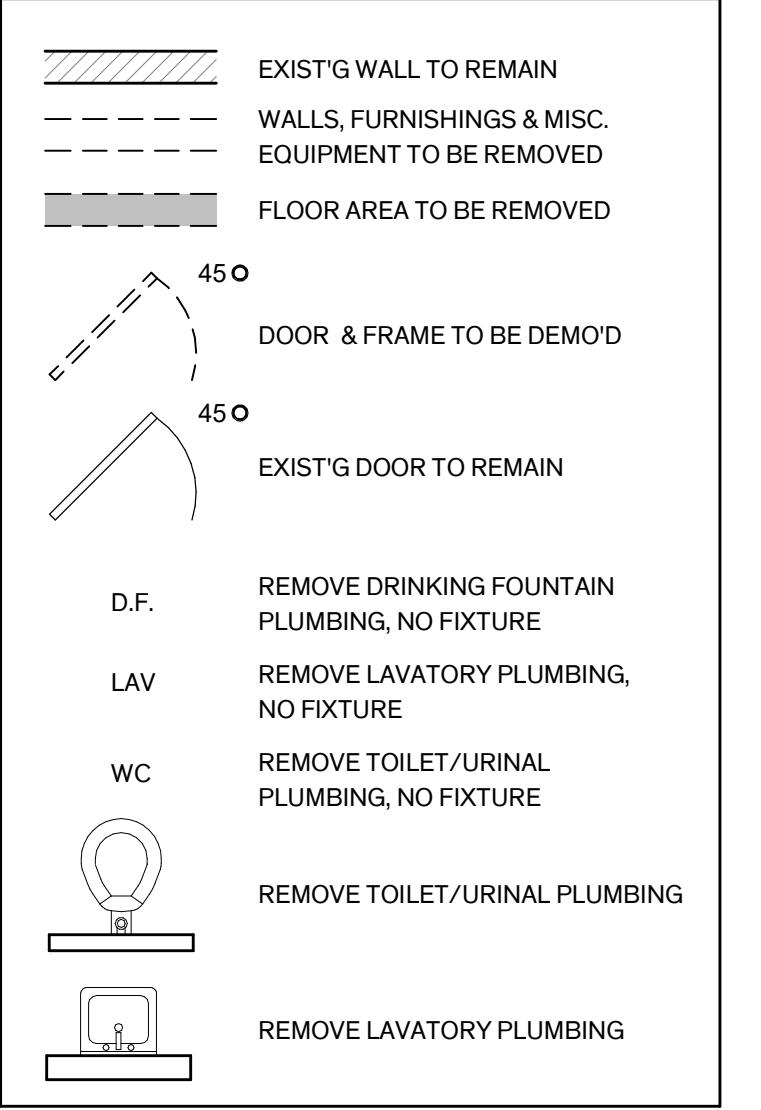
Architexas No. 2205 Date 04/14/2022

Sheet Name Level E Demo Floor Plan

Sheet Number

D2.03

LEGEND



GENERAL NOTES

GENERAL

- CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO DESIGNATED ON-SITE LOCATION AS INSTRUCTED BY OWNER, TYP.
- CONTRACTOR IS TO RETAIN HISTORIC MATERIAL UNCOVERED DURING SELECTIVE DEMOLITION FOR ARCHITECT TO REVIEW.
- REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.

PROTECTION

- PROTECT HISTORIC INTERIOR FINISHES AND ELEMENTS SCHEDULED TO REMAIN DURING SELECTIVE DEMOLITION PROCESS. DAMAGE TO EXISTING FINISH SURFACES BY THE CONTRACTOR SHALL BE CORRECTED IN KIND AT NO ADDITIONAL EXPENSE TO THE COUNTY.
- REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY AND MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION AND CONSTRUCTION DEBRIS AND EQUIPMENT.
- PROTECT LEVEL C LOBBY ORIGINAL FINISHES, LIGHT FIXTURES AND CROWN MOULDING. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD

WALLS

- REMOVE AND DISCARD MASONRY OR STUD WALLS AND ASSOCIATED FASTENERS WHERE INDICATED ON THE DRAWINGS. PROTECT EXISTING CONCRETE FLOOR WITH INTEGRAL COVE BASE.
- CAREFULLY REMOVE NON-ORIGINAL WALL FINISHES AND ASSOCIATED FURRING WITHOUT CAUSING DAMAGE TO ORIGINAL SURFACES BEYOND.
- REMOVE METAL FURRING AND FASTENERS FROM INTERIOR SURFACE OF EXTERIOR WALLS. ASSUME CONDITION AT ALL EXTERIOR WALLS.

FLOORS

- EXISTING CONCRETE FLOORING:
 - PROTECT HISTORIC EXPOSED CONCRETE WITH INTEGRAL BLACK BORDER AND COVED WALL BASE.
 - REMOVE EXISTING CONCRETE SLAB WHERE INDICATED ON THE DRAWINGS. ORIGINAL CONCRETE FLOOR AND STRUCTURE TO REMAIN. RE: STRUCTURE FOR EXTENT OF INFILL FLOORS TO BE REMOVED.
- MOSAIC TILE FLOORS & WAINSCOT
 - REMOVE ALL TILE FLOORS AND WAINSCOT FROM PREVIOUS RESTROOM LOCATIONS.
 - PROTECT HISTORIC TILE IN LOBBY.
- FLOOR REMOVAL:
 - REMOVE NON-ORIGINAL CONCRETE FLOOR AND METAL STRUCTURE WHERE INDICATED IN PLAN. IDENTIFY EXTENT OF INFILL FLOOR IN THE FIELD & PROTECT ORIGINAL CONCRETE FLOOR DURING REMOVAL.
 - PROVIDE TEMPORARY FALL PROTECTION AT FLOOR OPENINGS AS REQ'D.

DOORS & WINDOWS

- REMOVE EXISTING INTERIOR DOORS AND FRAMES AS INDICATED ON DRAWINGS. ALL DOORS ARE FROM 1980 - 1990S RENOVATIONS, WOOD VENEER WITH HOLLOW METAL FRAME.
- SELECT NON-HISTORIC DOORS & FRAMES TO REMAIN FOR SAFETY DUE TO CHANGE IN FLOOR LEVELS. REFER TO DRAWINGS FOR SPECIFIC LOCATIONS.
- EXTERIOR DOORS TO REMAIN UNLESS NOTED OTHERWISE (NOTE ALT. 1).
- HISTORIC VAULT DOORS ARE TO REMAIN AND PROTECT DURING CONSTRUCTION.

ELEVATOR

- ALT. 1 - REMOVE EXIST'G NORTH ELEVATOR ADDITION, SUPPORT SYSTEMS, CONCRETE PIT, EQUIPMENT & PIPING, ETC. COORDINATE MEP AND STRUCTURAL FOR REMOVAL

MECHANICAL, ELECTRICAL, PLUMBING

- REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS. RE: MEP
- REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE. RE: PLUMBING WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
- REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS. RE: MEP FOR EQUIPMENT TO REMAIN. RE: ELEC.
- REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.
- TURN GAS SERVICE OFF & REMOVE GAS LINES TO OUTSIDE OF BUILDING.

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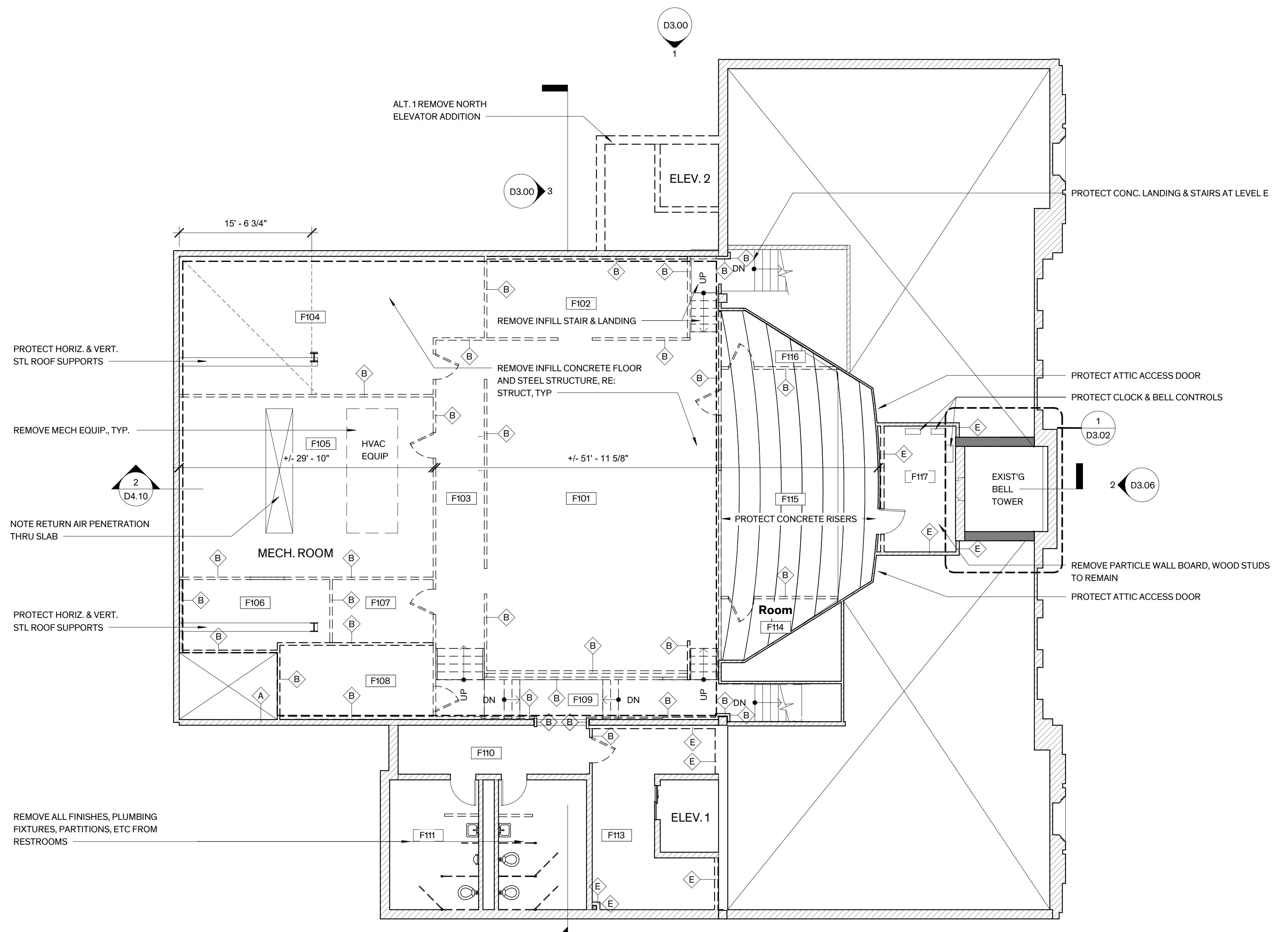
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TX Registration No. 9409

Architexas No. 2205 Date 04/14/2022

Sheet Name Level F Demo Floor Plan

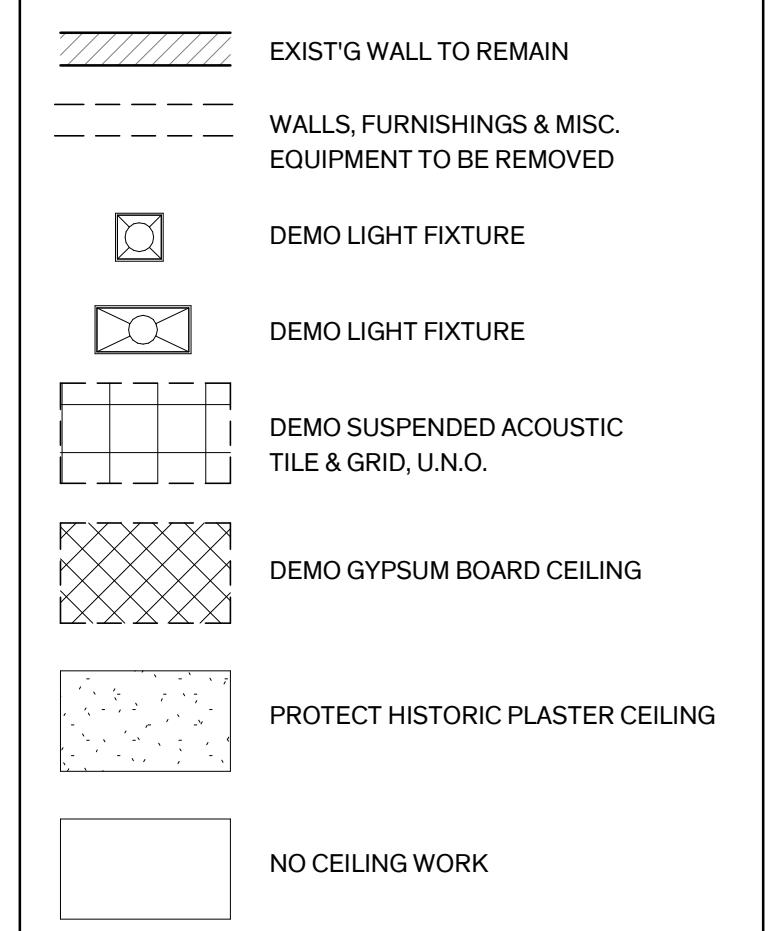
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D2.04



1 Level "F" Demo Floor Plan
1/8" = 1'-0"

LEGEND



GENERAL NOTES

GENERAL

- CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO DESIGNATED ON-SITE LOCATION AS INSTRUCTED BY OWNER, TYP.
- CONTRACTOR IS TO RETAIN HISTORIC MATERIAL UNCOVERED DURING SELECTIVE DEMOLITION FOR ARCHITECT TO REVIEW.
- REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.

PROTECTION

- PROTECT INTERIOR FINISHES, HISTORIC FIREPLACES AND ELEMENTS SCHEDULED TO REMAIN DURING SELECTIVE DEMOLITION PROCESS. DAMAGE TO EXISTING FINISH SURFACES BY THE CONTRACTOR SHALL BE CORRECTED IN KIND AT NO ADDITIONAL EXPENSE TO THE COUNTY.
- REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY AND MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION AND CONSTRUCTION DEBRIS AND EQUIPMENT.
- PROTECT EXISTING SMOOTH PLASTER WAINSCOT W/ FAUX TILE SCORING FOR FINISH REFERENCE. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD

CEILINGS

- EXISTING SUSPENDED ACOUSTICAL TILE SYSTEMS & GYPSUM BOARD ASSEMBLIES.
 - REMOVE & DISPOSE SUSPENDED ACOUSTICAL TILE ASSEMBLIES, INCLUDING NON-ORIGINAL METAL & WOOD FRAMING & ASSOCIATED FASTENERS TO EXPOSE ORIGINAL PLASTER CEILINGS THROUGHOUT THE BUILDING.
 - USE PROCEDURES FOR REMOVAL THAT MINIMIZE DAMAGE TO EXISTING PLASTER CEILINGS.

MECHANICAL, ELECTRICAL, PLUMBING

- REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS.
- REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE.
- WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
- REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS. RE: MEP FOR EQUIPMENT TO REMAIN. PROTECT EXISTING FIRE SPRINKLER SYSTEM AS DIRECTED BY OWNER.
- REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.

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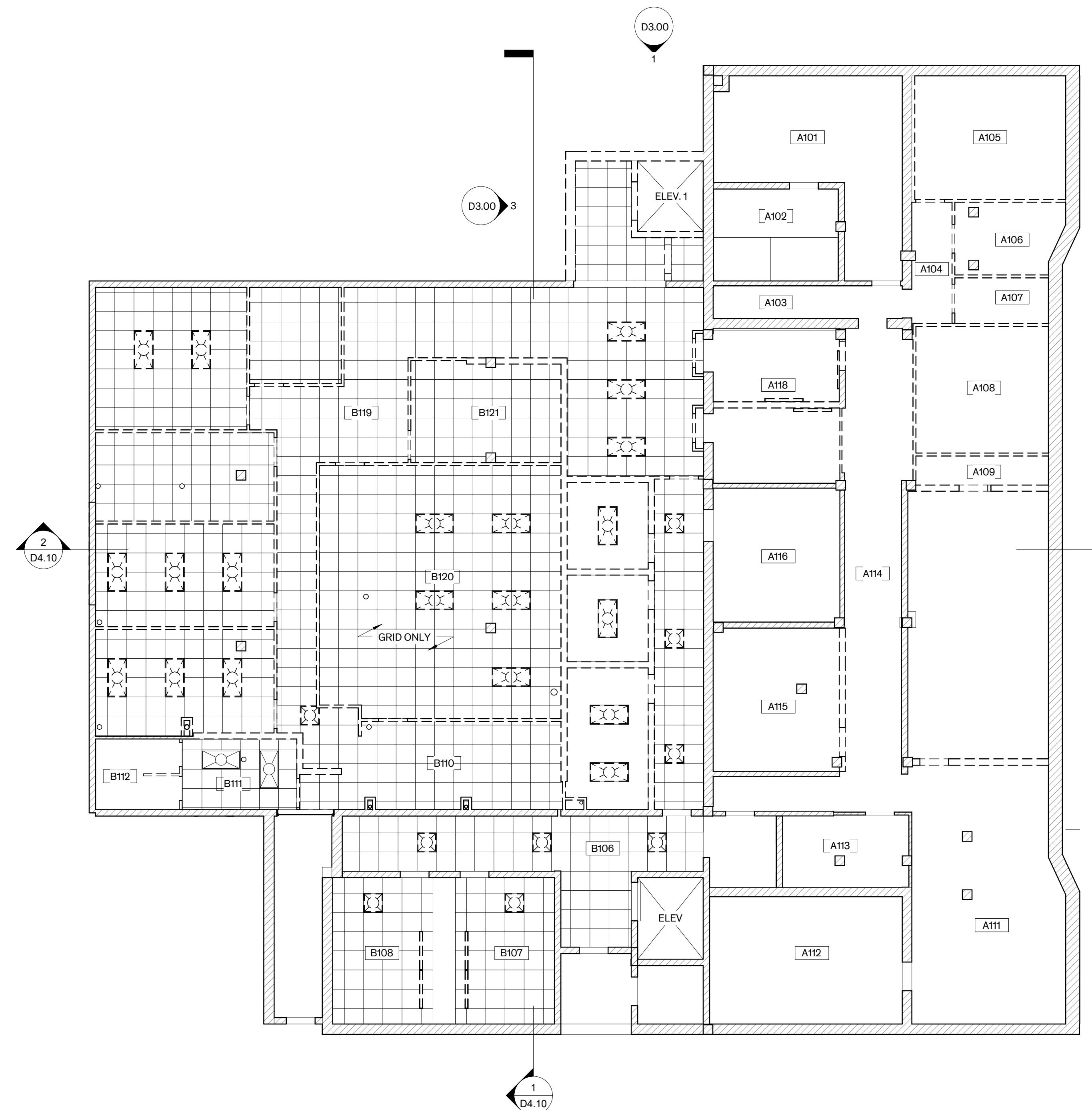
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Architexas No. 2205 Date 04/14/2022

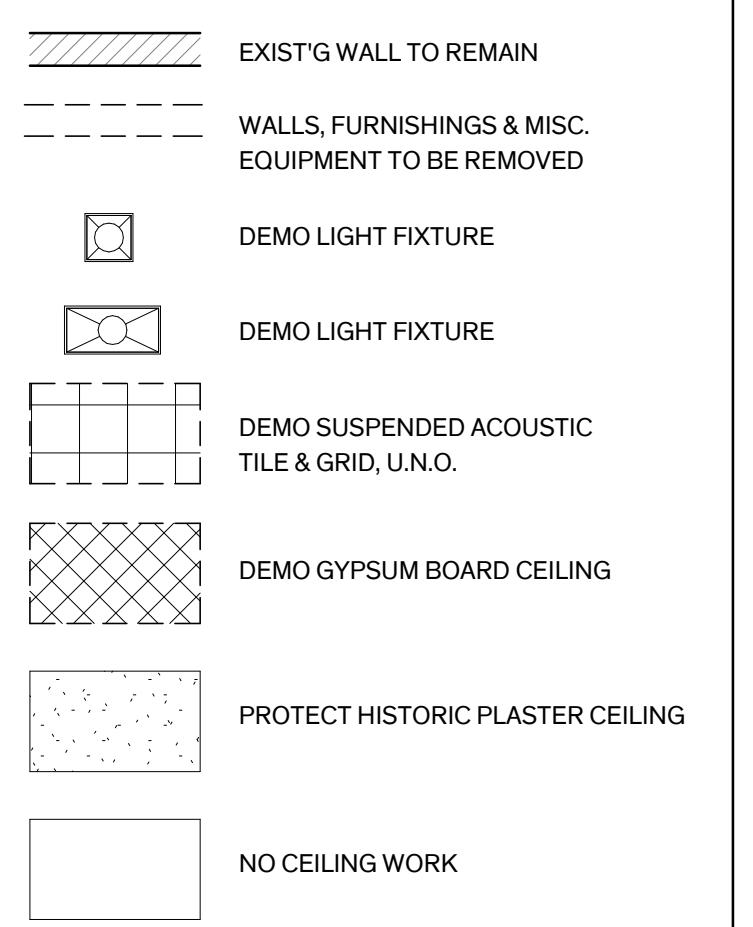
Sheet Name Level A/B Demo RCP

Sheet Number



2 Levels "A" & "B" Demo RCP
1/8" = 1'-0"

LEGEND



GENERAL NOTES

GENERAL

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3. REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.

PROTECTION

1. PROTECT INTERIOR FINISHES, HISTORIC FIREPLACES AND ELEMENTS SCHEDULED TO REMAIN DURING SELECTIVE DEMOLITION PROCESS. DAMAGE TO EXISTING FINISH SURFACES BY THE CONTRACTOR SHALL BE CORRECTED IN KIND AT NO ADDITIONAL EXPENSE TO THE COUNTY.
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3. PROTECT EXISTING SMOOTH PLASTER WAINSCOT W/ FAUX TILE SCORING FOR FINISH REFERENCE. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD

CEILINGS

1. EXISTING SUSPENDED ACOUSTICAL TILE SYSTEMS & GYPSUM BOARD ASSEMBLIES.
 - A. REMOVE & DISPOSE SUSPENDED ACOUSTICAL TILE ASSEMBLIES, INCLUDING NON-ORIGINAL METAL & WOOD FRAMING & ASSOCIATED FASTENERS TO EXPOSE ORIGINAL PLASTER CEILINGS THROUGHOUT THE BUILDING.
 - B. USE PROCEDURES FOR REMOVAL THAT MINIMIZE DAMAGE TO EXISTING PLASTER CEILINGS.

MECHANICAL, ELECTRICAL, PLUMBING

1. REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS.
2. REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE.
3. WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1 INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
4. REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS. RE: MEP FOR EQUIPMENT TO REMAIN. PROTECT EXISTING FIRE SPRINKLER SYSTEM AS DIRECTED BY OWNER.
5. REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.

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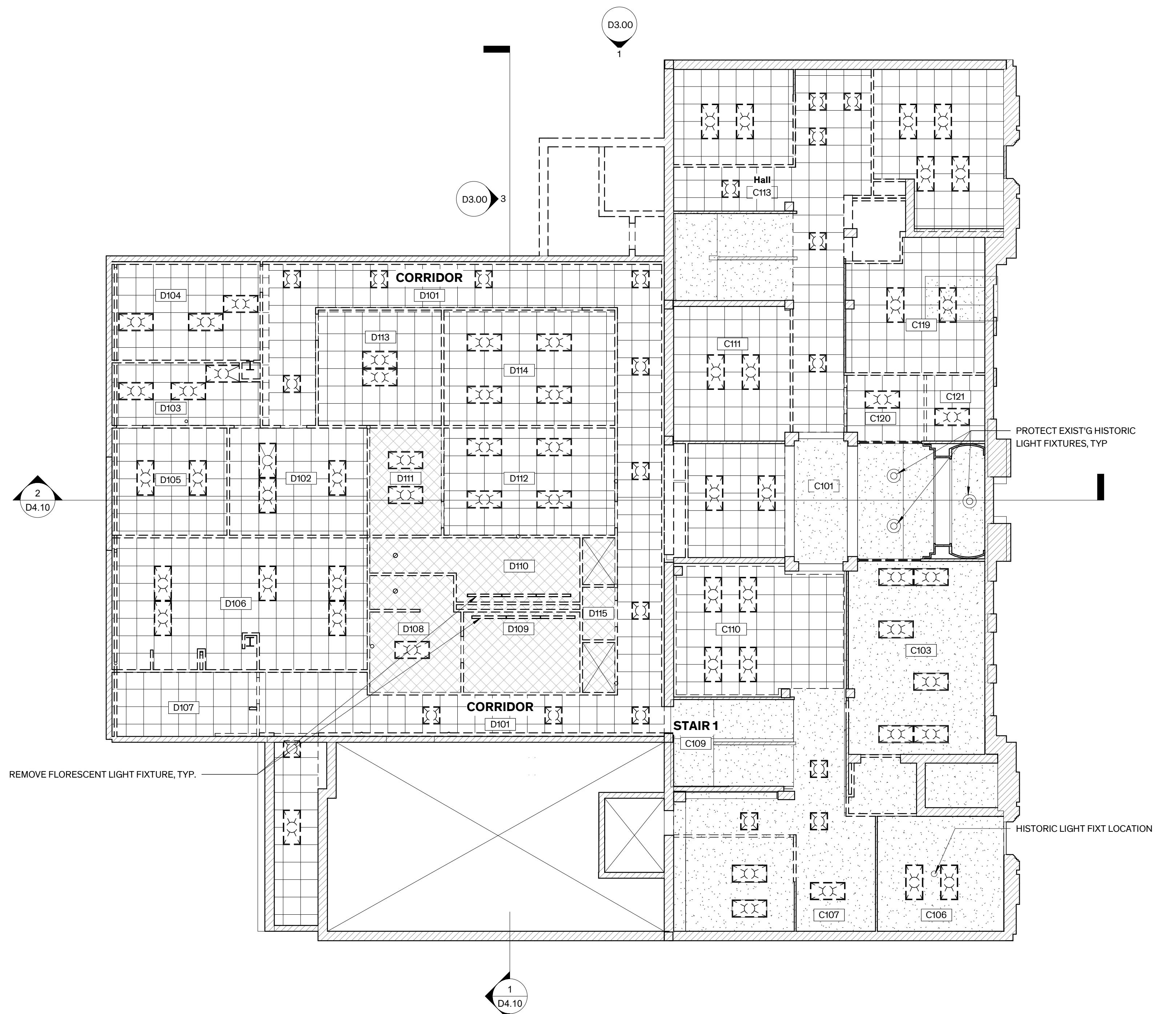
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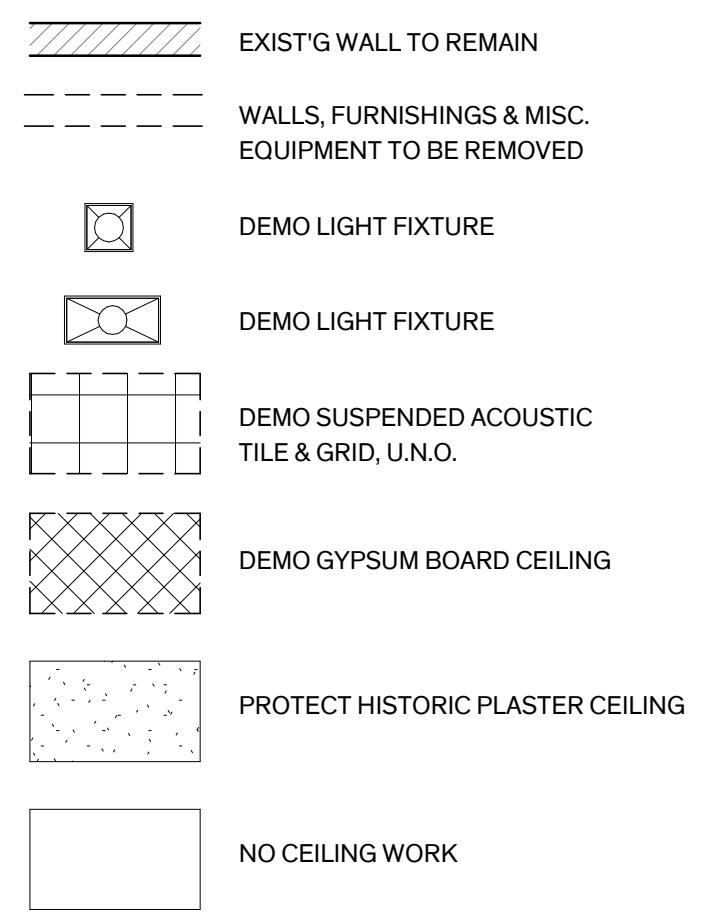
Sheet Name Level C/D Demo RCP

Sheet Number



1 Levels "C" & "D" Demo RCP
1/8" = 1'-0"

LEGEND



GENERAL NOTES

GENERAL

- CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO DESIGNATED ON-SITE LOCATION AS INSTRUCTED BY OWNER, TYP.
- CONTRACTOR IS TO RETAIN HISTORIC MATERIAL UNCOVERED DURING SELECTIVE DEMOLITION FOR ARCHITECT TO REVIEW.
- REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.

PROTECTION

- PROTECT INTERIOR FINISHES, HISTORIC FIREPLACES AND ELEMENTS SCHEDULED TO REMAIN DURING SELECTIVE DEMOLITION PROCESS. DAMAGE TO EXISTING FINISH SURFACES BY THE CONTRACTOR SHALL BE CORRECTED IN KIND AT NO ADDITIONAL EXPENSE TO THE COUNTY.
- REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY AND MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION AND CONSTRUCTION DEBRIS AND EQUIPMENT.
- PROTECT EXISTING SMOOTH PLASTER WAINSCOT W/ FAUX TILE SCORING FOR FINISH REFERENCE. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD

CEILINGS

- EXISTING SUSPENDED ACOUSTICAL TILE SYSTEMS & GYPSUM BOARD ASSEMBLIES
 - REMOVE & DISPOSE SUSPENDED ACOUSTICAL TILE ASSEMBLIES, INCLUDING NON-ORIGINAL METAL & WOOD FRAMING & ASSOCIATED FASTENERS TO EXPOSE ORIGINAL PLASTER CEILINGS THROUGHOUT THE BUILDING.
 - USE PROCEDURES FOR REMOVAL THAT MINIMIZE DAMAGE TO EXISTING PLASTER CEILINGS.

MECHANICAL, ELECTRICAL, PLUMBING

- REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS.
- REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE.
- WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1 INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
- REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS. RE: MEP FOR EQUIPMENT TO REMAIN. PROTECT EXISTING FIRE SPRINKLER SYSTEM AS DIRECTED BY OWNER.
- REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.

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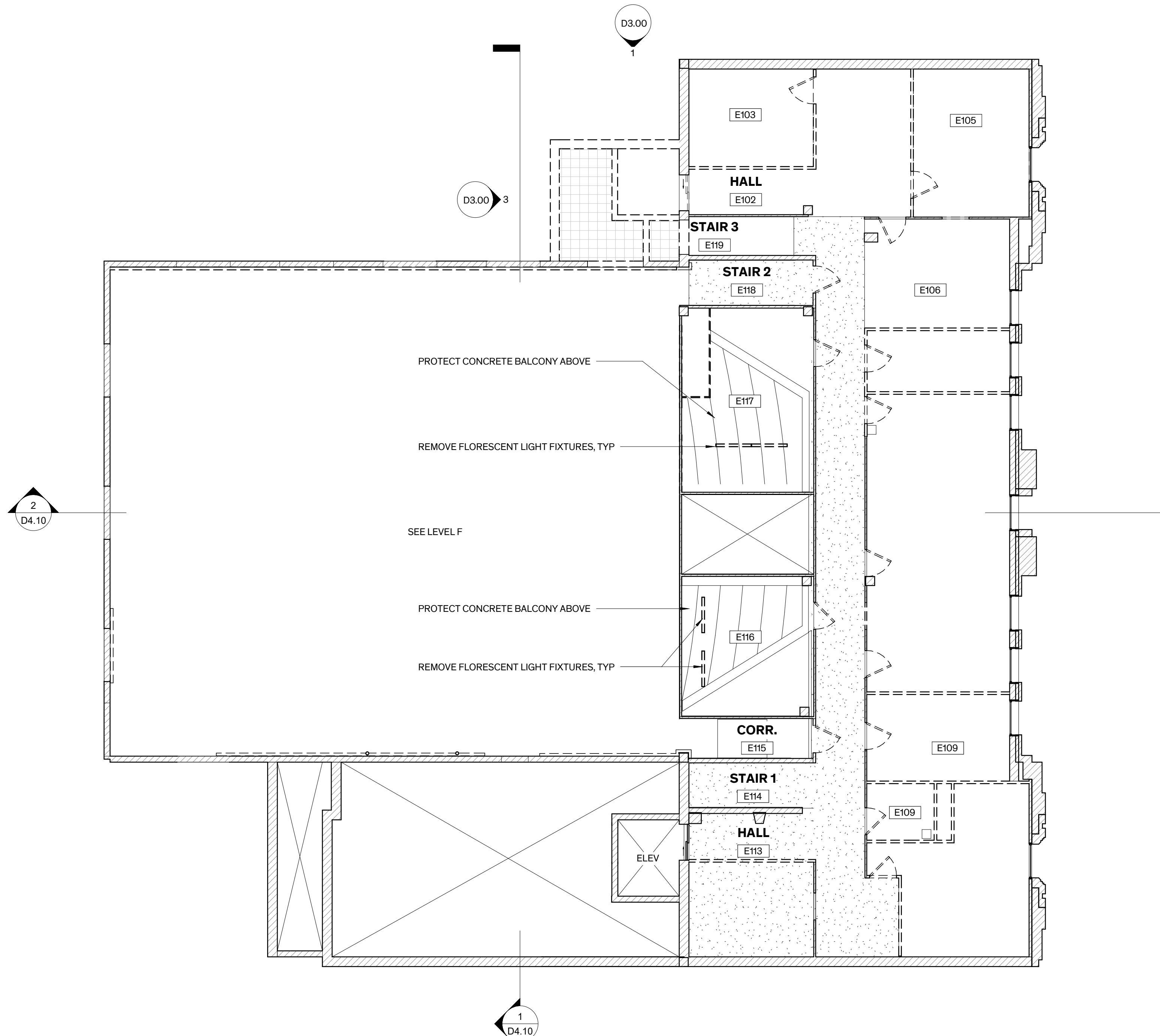
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Architexas No. 2205 Date 04/14/2022

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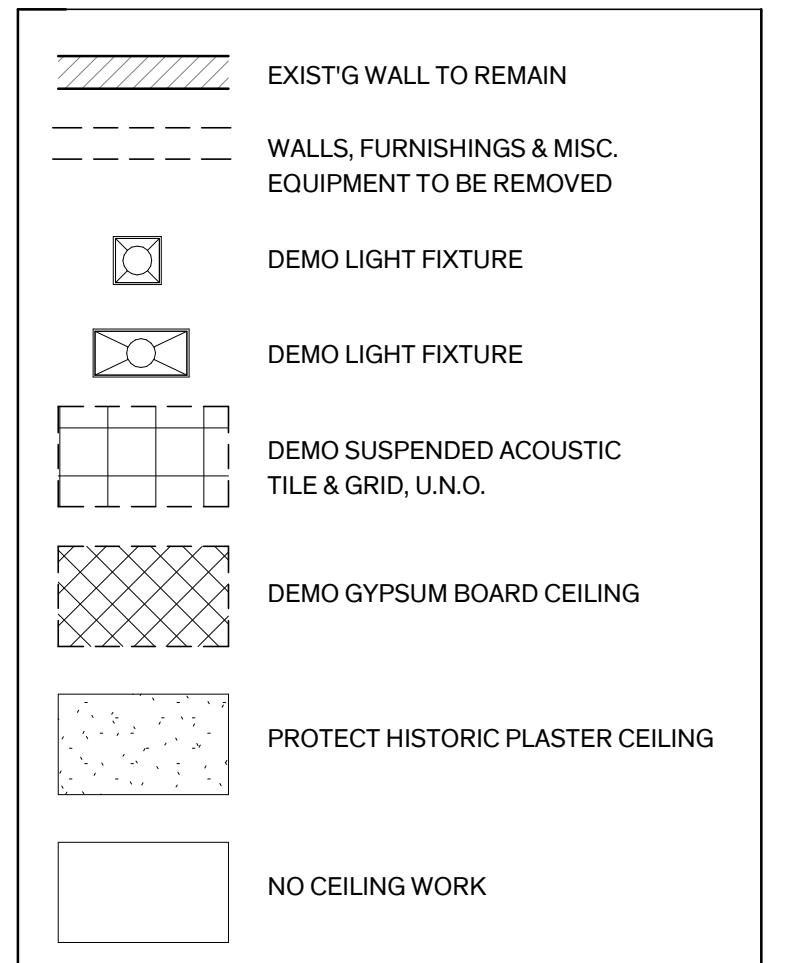
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2 Level "E" Demo RCP
1/8" = 1'-0"

D2.13

LEGEND



GENERAL NOTES

GENERAL

1. CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO DESIGNATED ON-SITE LOCATION AS INSTRUCTED BY OWNER, TYP.
2. CONTRACTOR IS TO RETAIN HISTORIC MATERIAL UNCOVERED DURING SELECTIVE DEMOLITION FOR ARCHITECT TO REVIEW.
3. REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.

PROTECTION

1. PROTECT INTERIOR FINISHES, HISTORIC FIREPLACES AND ELEMENTS SCHEDULED TO REMAIN DURING SELECTIVE DEMOLITION PROCESS. DAMAGE TO EXISTING FINISH SURFACES BY THE CONTRACTOR SHALL BE CORRECTED IN KIND AT NO ADDITIONAL EXPENSE TO THE COUNTY.
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3. PROTECT EXISTING SMOOTH PLASTER WAINSCOT W/ FAUX TILE SCORING FOR FINISH REFERENCE. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD

CEILINGS

1. EXISTING SUSPENDED ACOUSTICAL TILE SYSTEMS & GYPSUM BOARD ASSEMBLIES.
 - A. REMOVE & DISPOSE SUSPENDED ACOUSTICAL TILE ASSEMBLIES, INCLUDING NON-ORIGINAL METAL & WOOD FRAMING & ASSOCIATED FASTENERS TO EXPOSE ORIGINAL PLASTER CEILINGS THROUGHOUT THE BUILDING.
 - B. USE PROCEDURES FOR REMOVAL THAT MINIMIZE DAMAGE TO EXISTING PLASTER CEILINGS.

MECHANICAL, ELECTRICAL, PLUMBING

1. REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS.
2. REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE.
3. WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1 INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
4. REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS. RE: MEP FOR EQUIPMENT TO REMAIN.
5. PROTECT EXISTING FIRE SPRINKLER SYSTEM AS DIRECTED BY OWNER.
6. REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.

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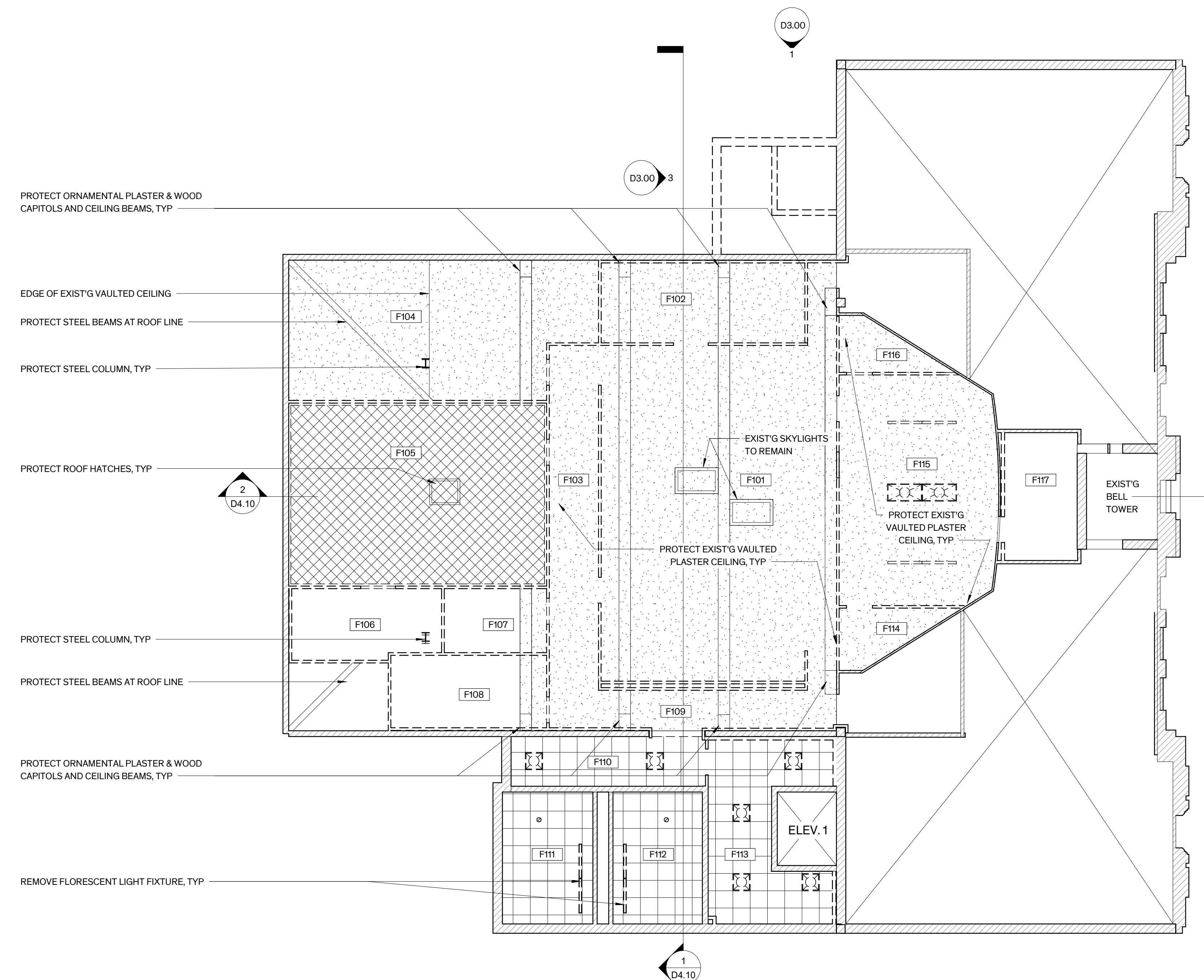
Architexas No.
2205 **Date**
04/14/2022

Sheet Name

Level F Demo RCP

Sheet Number

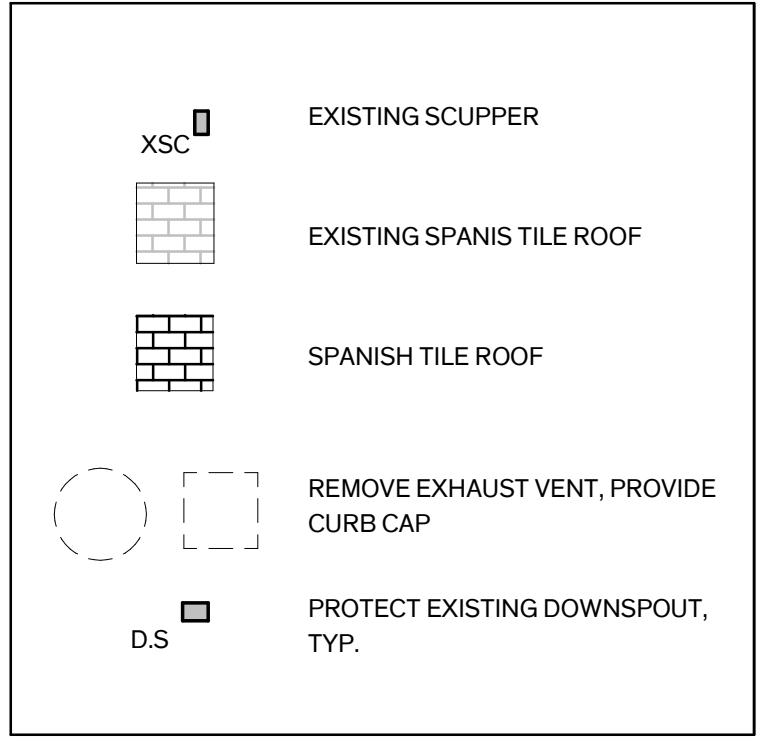
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1 Level "F" Demo RCP

1/8" = 1'-0"

LEGEND



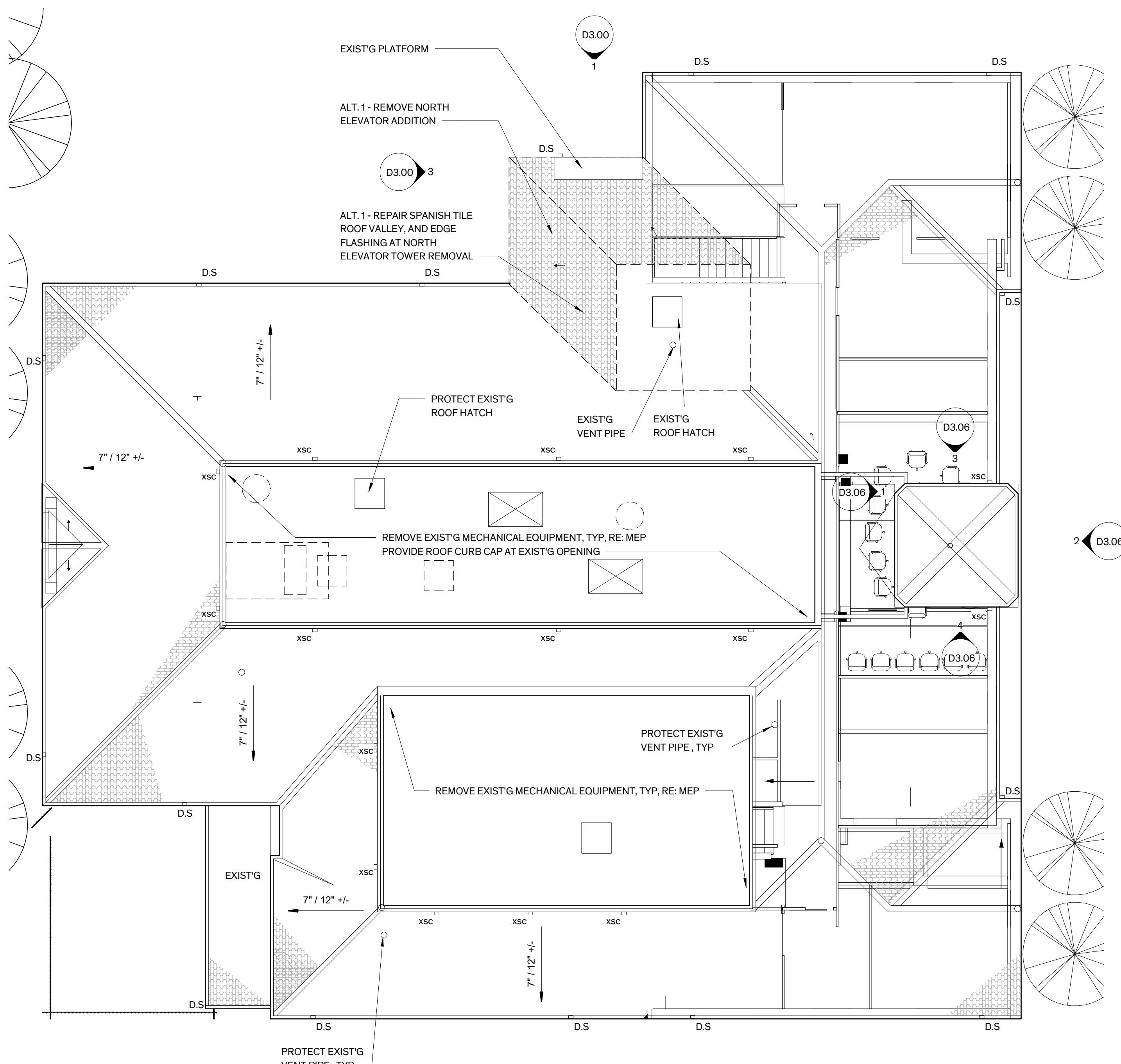
GENERAL NOTES

GENERAL

1. CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO DESIGNATED ON-SITE LOCATION AS INSTRUCTED BY OWNER, TYP.
2. REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.
3. PROTECT EXISTING MATERIALS DURING CONSTRUCTION THAT ARE SCHEDULED TO REMAIN.
4. ALT. 1- SALVAGE ROOF TILE, CAST STONE CORNICE, WATER TABLE, ETC. FROM NORTH ELEVATOR ADDITION FOR REUSE.
5. ALT. 1- INSTALL SALVAGED MATERIAL AT EXISTING ROOF AREAS & EXTERIOR WALL DAMAGED DURING THE REMOVAL OF THE NORTH ELEVATOR ADDITION. PROVIDE MATCHING MATERIAL AS REQUIRED, LIKE FOR LIKE.

MECHANICAL, ELECTRICAL, PLUMBING

1. REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS.
2. REMOVE AND DISCARD EXISTING MECHANICAL EQUIPMENT, DUCTWORK, ACCESSORIES, AND PIPING UNLESS NOTED OTHERWISE.



1 Demo Roof Plan
1/8" = 1'-0"

Architexas No. 2205 Date 04/14/2022

Sheet Name Demolition Roof Plan

Sheet Number

D2.2I

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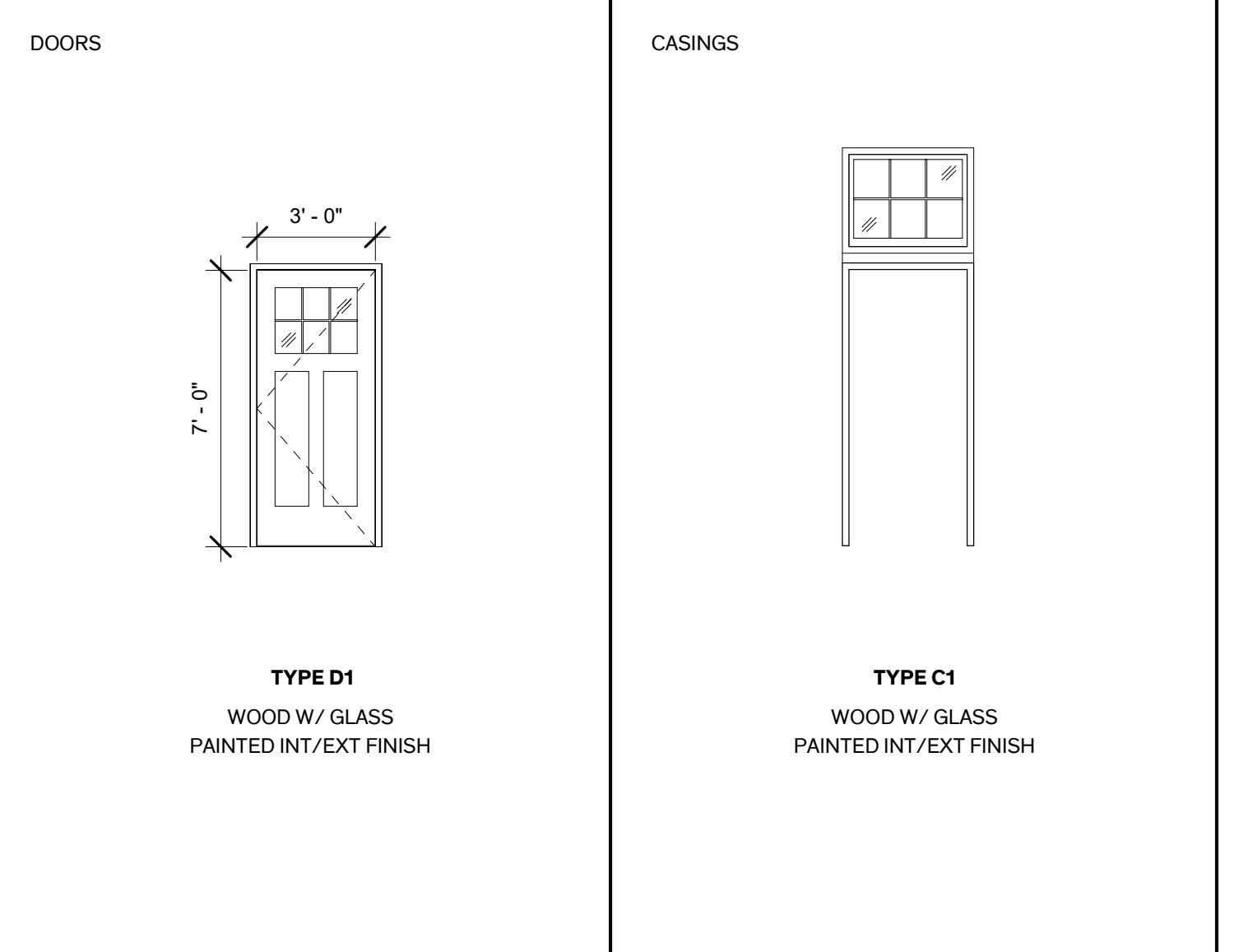
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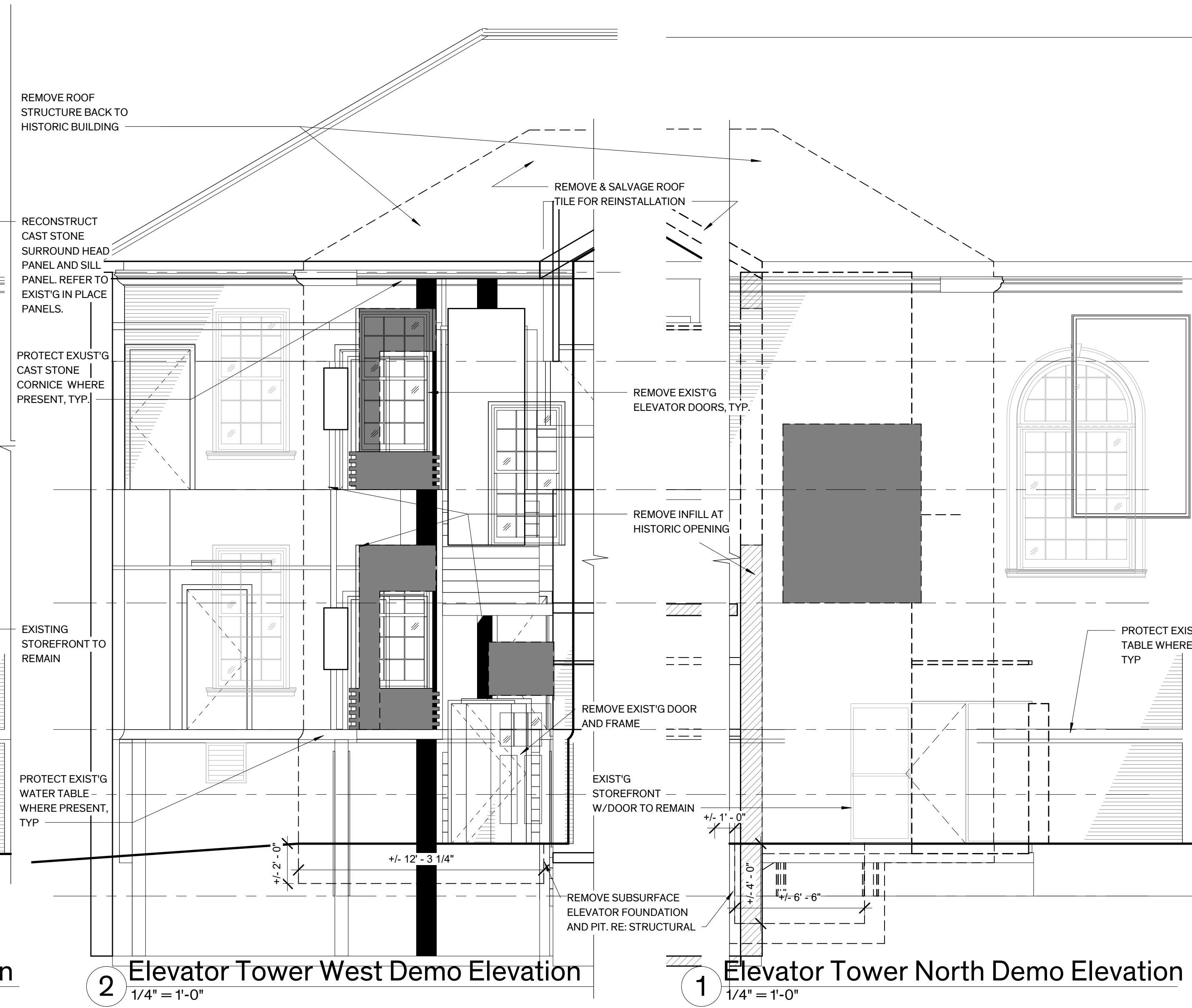
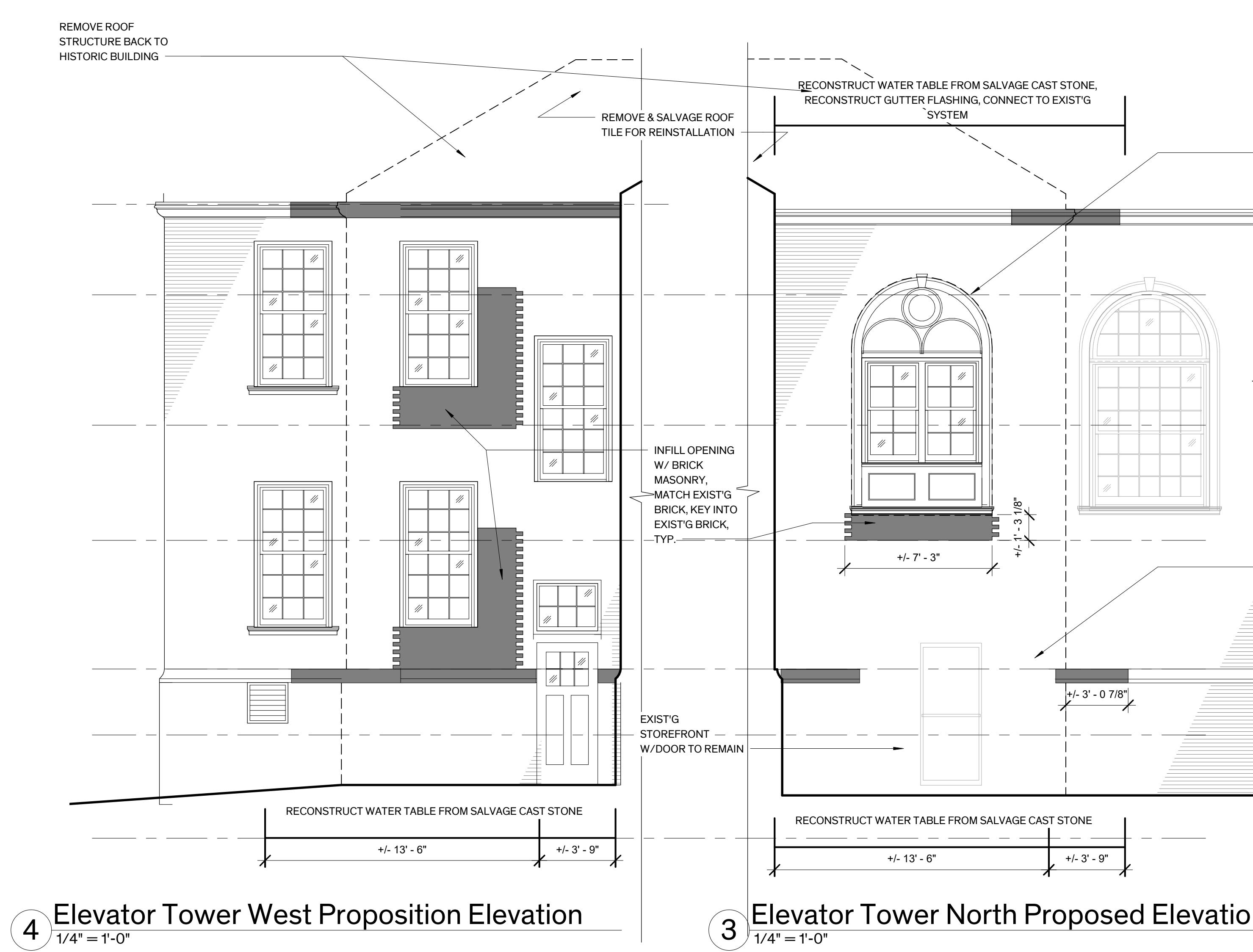
DOOR SCHEDULE ALT 1										
DOOR NO.	EXISTING	SIZE		DOOR TYPE	FRAME TYPE	DETAIL	HARDWARE SET NO.	REMARKS		
		WIDTH	HEIGHT					1/4" = 1'-0"	1/4" = 1'-0"	

DOOR & CASING TYPES



GENERAL NOTES

- BASIS BID SCOPE OF WORK - NORTH ELEVATOR ADDITION TO REMAIN WITH ELEVATOR & EQUIPMENT.
- ALT. 1 SCOPE OF WORK - REMOVE NORTH ELEVATOR ADDITION AND ELEVATOR. PROTECT ORIGINAL EXTERIOR WALL DURING REMOVAL. INFILL EXTERIOR WALL TO RECREATE MASONRY OPENING. PROVIDE SCHEDULED WINDOW, DOORS, OR TRANSOMS WHERE INDICATED. REPAIR ROOF AS REQUIRED USING SALVAGE & NEW ROOF MATERIAL TO MATCH EXISTING.
- ALL WORK SHOWN ON THIS SHEET IS ASSOCIATED WITH ALTERNATE 1 SCOPE. OWNER TO CONFIRM ACCEPTANCE OF SCOPE PRIOR TO START OF WORK.
- PROVIDE EXTERIOR WINDOWS IN RECONSTRUCTED MASONRY OPENING, INCLUDING ASSOCIATED BRICKMOULD, ACCESSORIES, FASTENERS, ETC. WITH PREFINISHED ALUMINUM CLAD WOOD WINDOWS. PROVIDE MISSING EXTERIOR CAST STONE WINDOW SURROUND & PANELS, WATER TABLE COURSE.
- INTERIOR TRIM SHALL REMAIN AS IS UNLESS NOTED OTHERWISE.
- ALL WINDOW LOWER SASHES SHALL BE OPERABLE. UPPER SASHES FIXED IN PLACE.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ARCHITECT & OWNER SHALL BE NOTIFIED OF CHANGES TO SCOPE OF WORK AND EXTENT OF INFILL REQUIRED.
- ALL GLAZING SHALL BE 1" LOW-E IGU AS SPECIFIED.
- CLEAN & PAINT EXPOSED SURFACES OF THE EXISTING STEEL LINTELS, TYP.
- REPAIR DOOR AT TOWER AS NOTED ON SHEET D3.02



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REVISION HISTORY

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PROTECT EXIST'G WATER TABLE WHERE PRESENT, TYP
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Architexas No. 2205 Date 04/14/2022

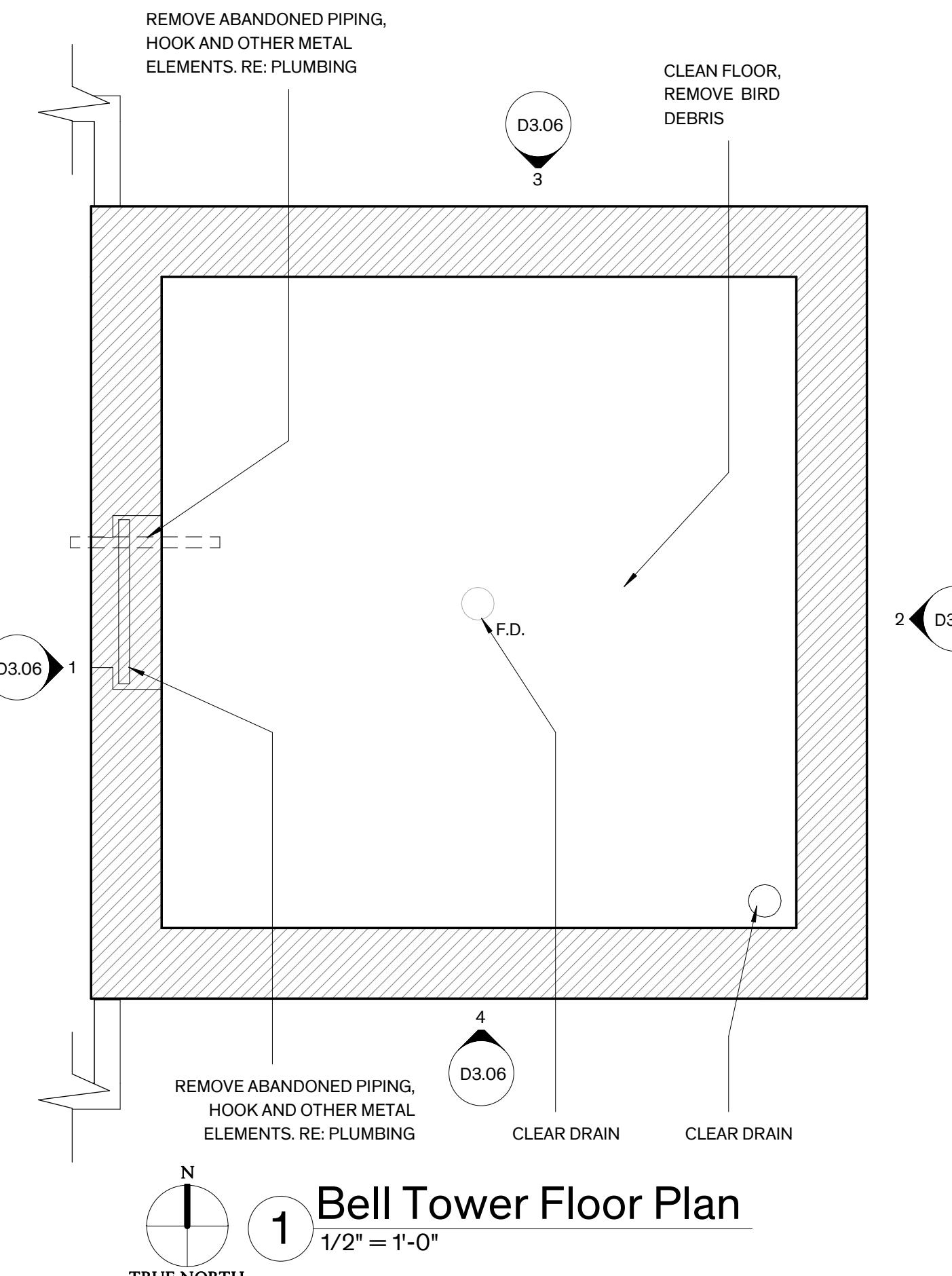
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Sheet Number

D3.00

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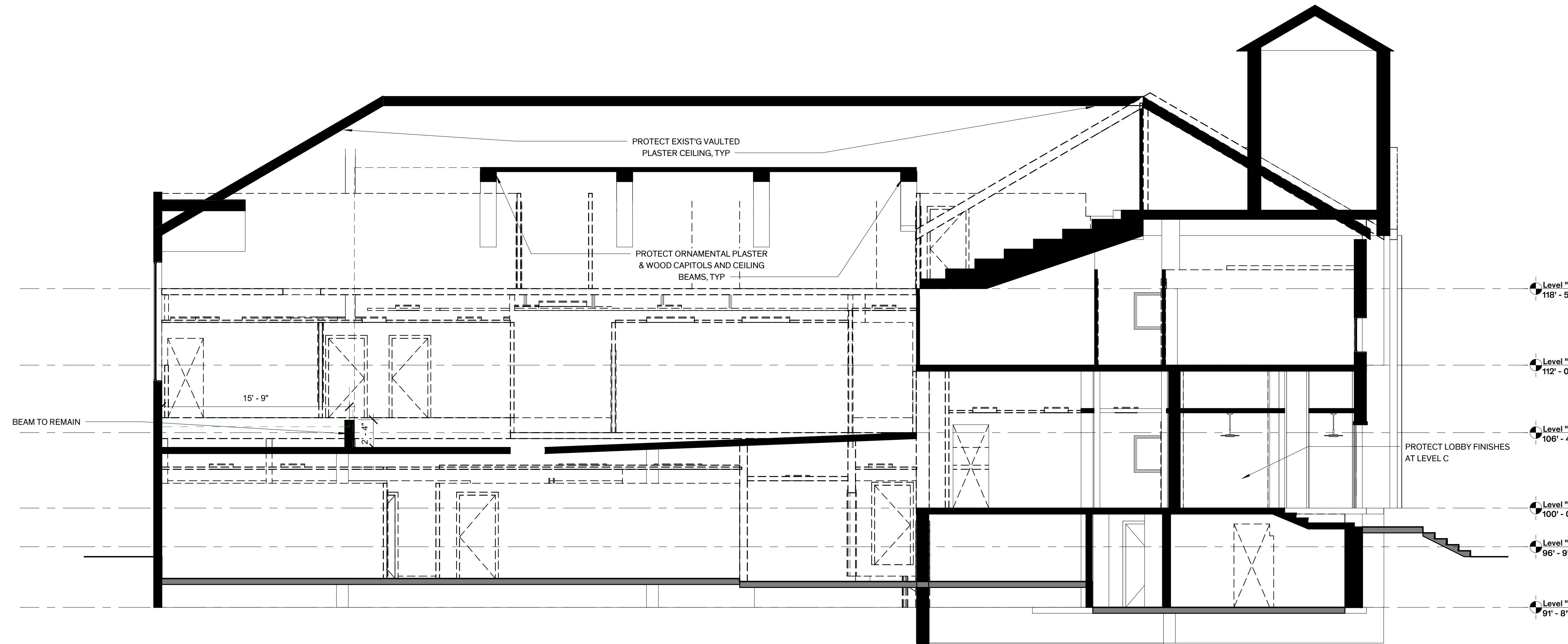
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TX Registration No. 9409

Architexas No. 2205 **Date** 04/14/2022

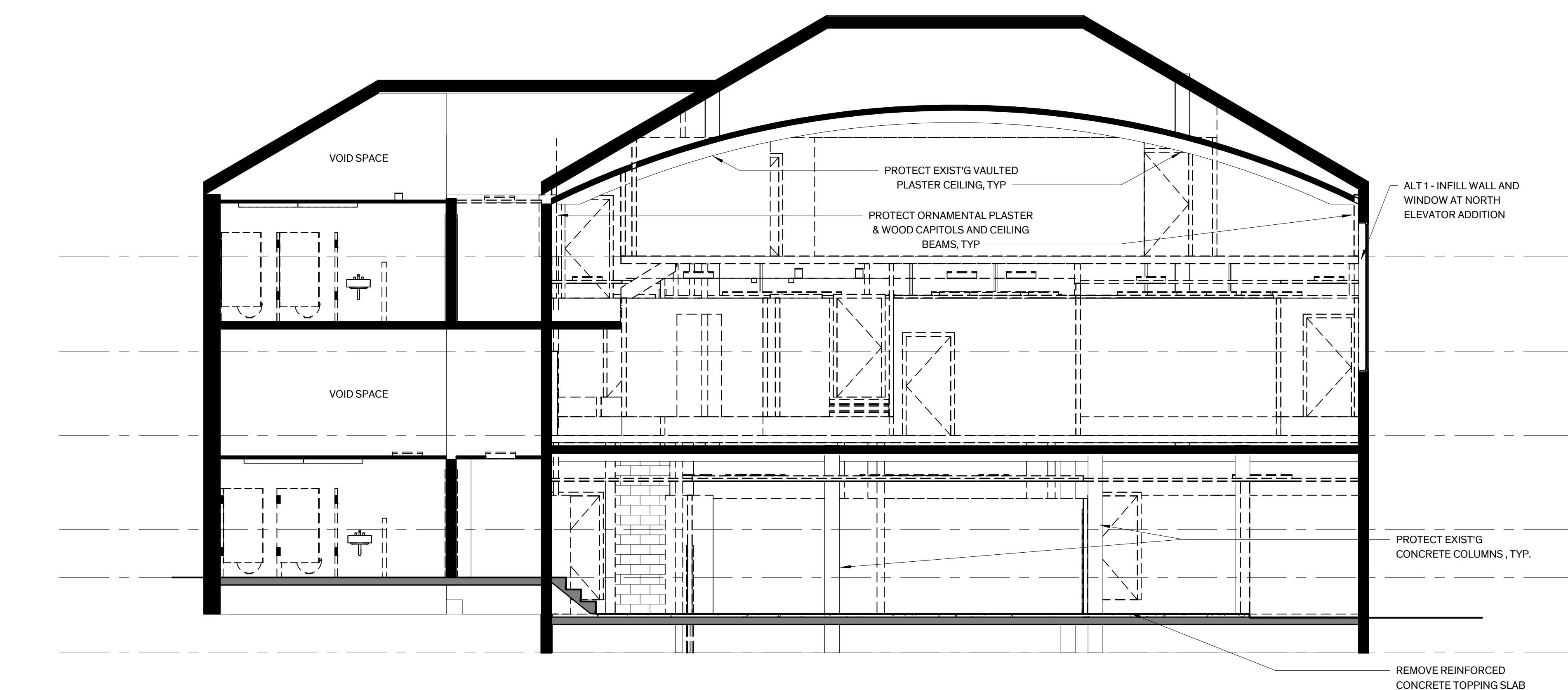
Sheet Name Bell Tower Plans

Sheet Number

D3.02



2 Section 1
3/16" = 1'-0"



1 Section 2
3/16" = 1'-0"

GENERAL NOTES

GENERAL

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3. REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.

PROTECTION

1. PROTECT HISTORIC INTERIOR FINISHES AND ELEMENTS SCHEDULED TO REMAIN DURING SELECTIVE DEMOLITION PROCESS. DAMAGE TO EXISTING FINISH SURFACES BY THE CONTRACTOR SHALL BE CORRECTED IN KIND AT NO ADDITIONAL EXPENSE TO THE COUNTY.
2. REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY AND MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION AND CONSTRUCTION DEBRIS AND EQUIPMENT.
3. PROTECT LEVEL C LOBBY ORIGINAL FINISHES, LIGHT FIXTURES AND CROWN MOULDING. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD

WALLS

1. REMOVE AND DISCARD MASONRY OR STUD WALLS AND ASSOCIATED FASTENERS WHERE INDICATED ON THE DRAWINGS. PROTECT EXISTING CONCRETE FLOOR WITH INTEGRAL COVE BASE.
2. CAREFULLY REMOVE NON-ORIGINAL WALL FINISHES AND ASSOCIATED FURRING WITHOUT CAUSING DAMAGE TO ORIGINAL SURFACES BEYOND.
3. REMOVE METAL FURRING AND FASTENERS FROM INTERIOR SURFACE OF EXTERIOR WALLS. ASSUME CONDITION AT ALL EXTERIOR WALLS.

FLOORS

1. EXISTING CONCRETE FLOORING:
 - A. PROTECT HISTORIC EXPOSED CONCRETE WITH INTEGRAL BLACK BORDER AND COVED WALL BASE.
 - B. REMOVE EXISTING CONCRETE SLAB WHERE INDICATED ON THE DRAWINGS. ORIGINAL CONCRETE FLOOR AND STRUCTURE TO REMAIN. RE: STRUCTURE FOR EXTENT OF INFILL FLOORS TO BE REMOVED.
2. MOSAIC TILE FLOORS & WAINSCOT
 - A. REMOVE ALL TILE FLOORS AND WAINSCOT FROM PREVIOUS RESTROOM LOCATIONS.
 - B. PROTECT HISTORIC TILE IN LOBBY.
3. FLOOR REMOVAL:
 - A. REMOVE NON-ORIGINAL CONCRETE FLOOR AND METAL STRUCTURE WHERE INDICATED IN PLAN. IDENTIFY EXTENT OF INFILL FLOOR IN THE FIELD & PROTECT ORIGINAL CONCRETE FLOOR DURING REMOVAL.
 - B. PROVIDE TEMPORARY FALL PROTECTION AT FLOOR OPENINGS AS REQ'D.

DOORS & WINDOWS

1. REMOVE EXISTING INTERIOR DOORS AND FRAMES AS INDICATED ON DRAWINGS. ALL DOORS ARE FROM 1980 - 1990S RENOVATIONS, WOOD VENEER WITH HOLLOW METAL FRAME.
2. SELECT NON-HISTORIC DOORS & FRAMES TO REMAIN FOR SAFETY DUE TO CHANGE IN FLOOR LEVELS. REFER TO DRAWINGS FOR SPECIFIC LOCATIONS.
3. EXTERIOR DOORS TO REMAIN UNLESS NOTED OTHERWISE (NOTE ALT. 1).
4. HISTORIC VAULT DOORS ARE TO REMAIN AND PROTECT DURING CONSTRUCTION.

ELEVATOR

1. ALT. 1- REMOVE EXIST'G NORTH ELEVATOR ADDITION, SUPPORT SYSTEMS, CONCRETE PIT, EQUIPMENT & PIPING, ETC. COORDINATE MEP AND STRUCTURAL FOR REMOVAL

MECHANICAL, ELECTRICAL, PLUMBING

1. REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS. RE: MEP
2. REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE. RE: PLUMBING WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
3. REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS. RE: MEP FOR EQUIPMENT TO REMAIN. RE: ELEC.
4. REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.
5. TURN GAS SERVICE OFF & REMOVE GAS LINES TO OUTSIDE OF BUILDING.

Denton City Hall West

221 N Elm St, Denton, TX

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REVISION HISTORY

Owner Review
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Sheet Name Building Sections

Sheet Number