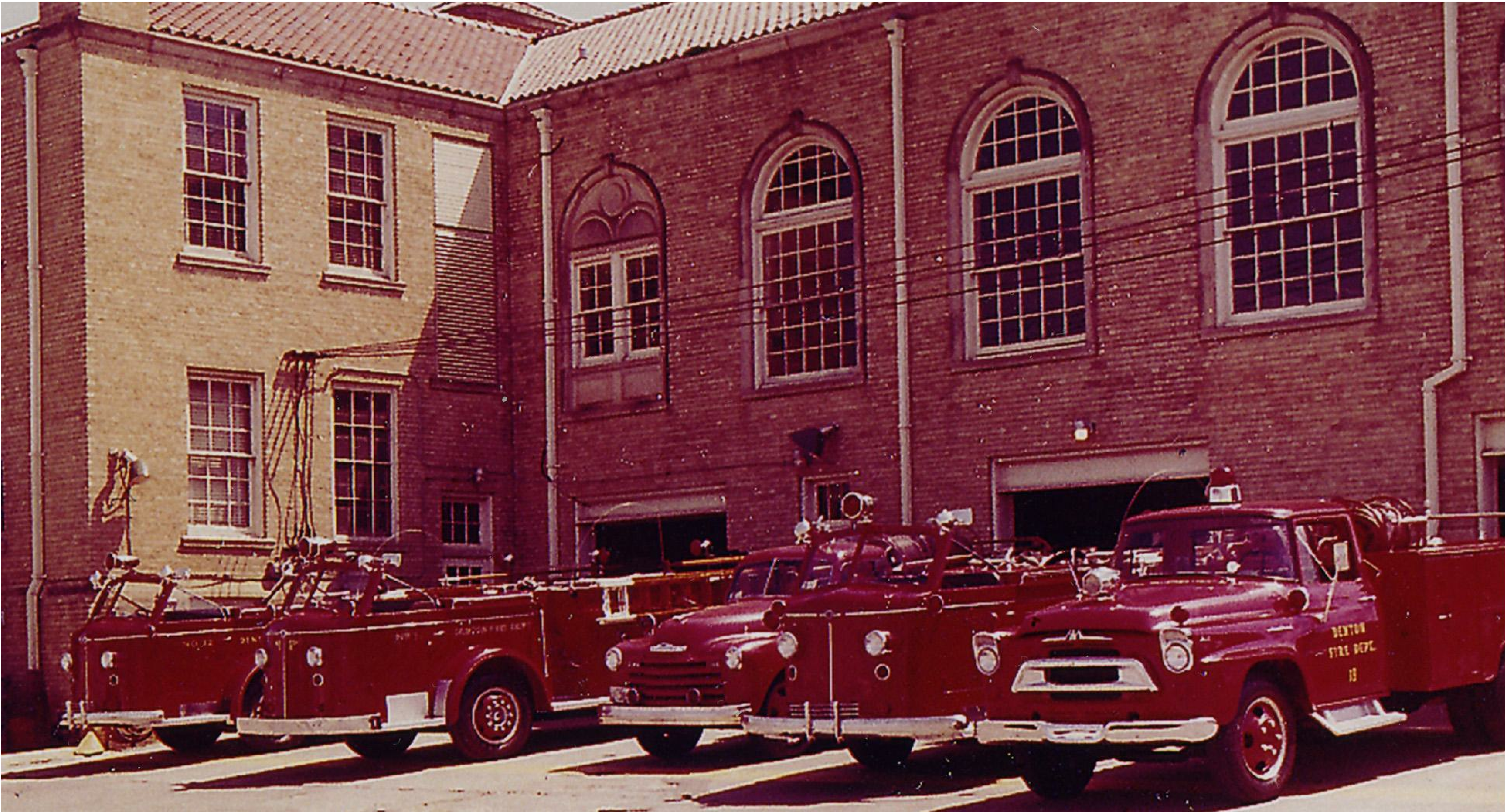


City Hall West

Selective Demolition



Denton City Hall West
221 N Elm St, Denton, TX

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REVISION HISTORY

Owner Review
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Craig H. Melde
TX Registration No. 9409

Architexas No. 2205 **Date** 04/14/2022

Sheet Name
Cover Sheet

Sheet Number

221 N Elm St, Denton
Texas - 76201

March 18, 2022
Issued for Owner Review

GENERAL NOTES

GENERAL DEMOLITION NOTES

1. THE MAXIMUM ALLOWABLE LOADING ON THE EXISTING FLOOR STRUCTURES SHALL BE CONFIRMED WITH STRUCTURAL ENGINEER. AREAS OF THE BUILDING WHICH MAY HAVE GREATER LOADING IMPOSED ON IT BY THE CONTRACTOR'S DEMOLITION PROCEDURE SHALL BE SHORED. COORDINATE WITH STRUCTURAL.
2. EXISTING STRUCTURE SHALL BE SHORED PRIOR TO COMMENCEMENT OF DEMOLITION. SECTIONS OF STRUCTURE BEING DEMOLISHED SHALL NOT BE ALLOWED TO DROP ONTO FLOOR STRUCTURE BELOW.
3. SHORING SHALL TRANSFER LOADING DIRECTLY TO EXISTING LOAD BEARING MASONRY WALLS. SHORING SHALL BE DESIGNED TO SUPPORT THE FULL ANTICIPATED LOADING WITH NO BENEFIT FROM THE EXISTING STRUCTURAL FRAMING.
4. EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL NOT BE DAMAGED DURING THE DEMOLITION PROCESS. PROVIDE ALL NECESSARY TEMPORARY PROTECTION.

GENERAL CONSTRUCTION NOTES

1. THE WORK SHALL CONFORM WITH THE CURRENT EDITION OF THE FOLLOWING REGULATIONS - CONTRACTOR TO VERIFY CURRENT CODES. CITY ADOPTION OF 2021 TO HAPPEN IN 2022:
-2021 INTERNATIONAL BUILDING CODE
-2021 INTERNATIONAL EXISTING BUILDING CODE
-2021 INTERNATIONAL FIRE CODE
-2021 INTERNATIONAL PLUMBING CODE
-2021 INTERNATIONAL MECHANICAL CODE
-2021 INTERNATIONAL ENERGY CONSERVATION CODE
-2020 NATIONAL ELECTRICAL CODE
-2012 TEXAS ACCESSIBILITY STANDARDS
-U.S. DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
2. THE CONTRACTOR SHALL VISIT THE SITE TO REVIEW AND SURVEY EXISTING CONDITIONS TO FULLY UNDERSTAND SCOPE OF WORK.
3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS AND PAY ALL APPLICATION FEES.
4. IF THE CONTRACTOR PERFORMS OR PROCEEDS WITH ANY WORK, CONTRARY TO APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS WITHOUT GIVING PRIOR WRITTEN NOTICE TO THE ARCHITECT, HE/SHE SHALL ASSUME FULL RESPONSIBILITY THEREFORE AND SHALL BEAR ALL COST ATTRIBUTABLE.
5. THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS PRIOR TO CONSTRUCTION AND SHALL REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION DISCOVERED AND SHALL NOT PROCEED WITH THE WORK UNTIL THE INTENT OF THE DOCUMENTS IS VERIFIED BY THE ARCHITECT.
6. ALL DRAWINGS AND SPECIFICATIONS FORMING PART OF THE CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ONE WILL BE BINDING AS IF CALLED FOR BY ALL; ANY WORK SHOWN OR REFERRED TO ON ANY ONE DOCUMENT SHALL BE PROVIDED AS THOUGH SHOWN ON ALL DOCUMENTS.
7. THE CONTRACT DOCUMENTS SHALL BE INTERPRETED WITH THE FOLLOWING ORDER OF PRECEDENCE: SPECIFICATIONS, DETAILS, ENLARGEMENTS, OVERALL DRAWINGS, AND SUBSEQUENT CLARIFICATIONS. ADDENDA SHALL OVERRIDE THE AFFECTED COMPONENTS IN ALL OF THE ABOVE. ALL VERBAL CLARIFICATIONS ARE TO BE RECORDED BY THE CONTRACTOR AND SENT TO THE ARCHITECT WITHIN SEVEN DAYS OF THE OCCURRENCE.
8. INFORMATION CONTAINED ON THESE DRAWINGS WITH REGARD TO EXISTING CONDITIONS OF CONSTRUCTION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH EXISTING CONDITIONS. THIS INTERPRETATION HAS BEEN TAKEN BY FIELD MEASUREMENT AND OBSERVATION. THE ARCHITECT HAS ENDEAVORED TO IDENTIFY AS COMPLETELY AS POSSIBLE IN THE CONSTRUCTION DOCUMENTS, EXISTING ITEMS OF EQUIPMENT AND CONSTRUCTION THAT ARE REQUIRED TO BE REMOVED OR OTHERWISE DEMOLISHED. THIS INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR AND IS IN NO WAY INTENDED TO MEAN THAT DEMOLITION IS LIMITED ONLY TO THOSE ITEMS SPECIFICALLY IDENTIFIED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXECUTE DEMOLITION WORK AS REQUIRED TO REMOVE ELEMENTS AND SYSTEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS, ALONG WITH THEIR ASSOCIATED PARTS.
9. ALL AREAS AND ITEMS INDICATING CONTRACT LIMITS AND LINES OF DEMARCATION ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR AND ARE NOT TO BE TAKEN LITERALLY. ACTUAL CONTRACT LIMITS ARE TO BE DETERMINED PRIOR TO CONSTRUCTION BY FIELD VERIFICATION.
10. EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL NOT BE DAMAGED DURING THE DEMOLITION PROCESS. PROVIDE ALL NECESSARY TEMPORARY PROTECTION.
11. CONTRACTOR TO ASSIST THE ARCHITECT IN MAKING THEIR EVALUATIONS AND RECOMMENDATIONS BY PROVIDING IN A TIMELY MANNER, AT NO ADDITIONAL COST TO THE OWNER, ACCURATE AND COMPLETE DRAWINGS, SKETCHES, AND PHOTOGRAPHS, SUFFICIENT TO CLEARLY DESCRIBE DISCREPANCIES, CONFLICTS, AND CONCEALED OR OTHERWISE UNANTICIPATED CONDITIONS AFFECTING NEW CONSTRUCTION.
12. SCAFFOLDING AND SHORING CANNOT BE SECURED TO EXISTING HISTORIC MATERIALS, OR CAUSE DAMAGE TO EXISTING MATERIALS.
13. REINSTALL EACH ELEMENT IN IT'S ORIGINAL LOCATION UNLESS NOTED OTHERWISE.
14. SIZE NOTED IN CONSTRUCTION DOCUMENTS FOR ORIGINAL MATERIALS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO SUBMITTAL OF SHOP DRAWINGS. MATCH EXACT SIZES AND PROFILES OF ORIGINAL ELEMENTS.
15. FIELD VERIFICATIONS OF EXISTING CONDITIONS RELATED TO SPECIFIC PORTIONS OF THE WORK SHALL BE UNDERTAKEN IN ADVANCE TO ALLOW FOR THE TIMELY IDENTIFICATION OF EXISTING CONDITIONS THAT MAY AFFECT THE SCHEDULED INSTALLATION OF NEW WORK AS DESIGNED AND DETAILED, AND TO AVOID UNDUE AND UNREASONABLE DELAYS TO THE PROJECT SHOULD SUCH CONDITIONS BE DISCOVERED. TIMELY IDENTIFICATION OF SUCH CONDITIONS SHALL PROVIDE FOR A MINIMUM PERIOD OF 10 (TEN) WORKING DAYS DURING WHICH TIME THE ARCHITECT WILL EVALUATE THE CONDITION AND MAKE RECOMMENDATIONS FOR ACCOMMODATING NEW WORK.
16. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL EQUIPMENT MANUFACTURER'S ROUGH-IN REQUIREMENTS.
17. EXISTING UTILITY SERVICES ARE TO REMAIN, BE PROTECTED, AND/OR TO BE OPERATIONAL DURING DEMOLITION AND CONSTRUCTION. REFERENCE RELEVANT MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. CONTRACTOR TO BE RESPONSIBLE FOR PROTECTION OF AND RESTORATION OF SERVICES, AS WELL AS PROVISION OF TEMPORARY UTILITY SERVICES.
18. NOTIFY CITY OF DENTON WHEN IT IS NECESSARY TO AFFECT UTILITIES BEFORE PROCEEDING WITH THE WORK. ALL EXISTING UTILITIES MUST BE CHECKED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK. ANY DAMAGES RESULTING FROM LACK OF COMPLIANCE WITH THE PROVISIONS SHOULD BE CORRECTED BY THE CONTRACTOR AT HIS OR HER OWN EXPENSE.



CAST STONE SURROUND @ DOOR 101

ALTERNATES

ALTERNATE NO.1
BASE BID: NO WORK AT NORTH ELEVATOR ADDITION.
ALTERNATE 1: REMOVE NORTH ELEVATOR ADDITION, ELEVATOR & EQUIPMENT. RECONSTRUCT MASONRY OPENINGS TO MATCH ADJACENT. PROVIDE METAL CLAD WOOD WINDOWS & CAST STONE PANELS TO MATCH ADJACENT.

PROJECT MEMBERS

OWNER

CITY OF DENTON
FACILITIES DEPARTMENT
869 WOODROW LANE
DENTON, TEXAS 76205

PROJECT MANAGER

PEAK PROGRAM VALUE, LLC
4450 ARAPAHOE STE. 100
BOULDER, CO 80303
CONTACT: RAMON GUAIARDO
T (817) 800-5791

STRUCTURE

RLG
12001 N. CENTRAL EXPRESSWAY
STE. 300
DALLAS, TEXAS 75243
T (214) 739-8100

ARCHITECT

ARCHITEXAS - ARCHITECTURE,
PLANNING & HISTORIC
PRESERVATION, INC.
1907 MARILLA STREET, 2ND FLOOR
DALLAS, TEXAS 75201
T (214) 748-4561
F (214) 748-4241

MEP

MEPCE
2928 STORY ROAD WEST
LAS COLINAS, TEXAS 75038
T (972) 870-9060

SHEET INDEX

D3.01 D3.06 A0.00	Alternate No. 1 Bell Tower Elevations Cover Sheet	MECHANICAL S2.2 S2.3 M0.01 M1.01 M1.02 M1.03 M1.04 M2.01 M2.02	Details Narrative Level B Topping Narrative Mechanical General Notes and Legends Mechanical Levels A & B Demo Floor Plan Mechanical Levels C & D Demo Floor Plan Mechanical Level E Demo Floor Plan Mechanical Level F Demo Floor Plan Mechanical Levels A & B Floor Plan Mechanical Levels C & D Floor Plan
ARCHITECTURE A0.01 A0.02 D1.01 D2.01 D2.02 D2.03 D2.04 D2.11 D2.12 D2.13 D2.14 D2.21 D3.00	Project Information Project Scope Diagram Demolition Site Plan Levels A & B Demo Floor Plan Levels C & D Demo Floor Plan Level E Demo Floor Plan Level F Demo Floor Plan Level A/B Demo RCP Level C/D Demo RCP Level E Demo RCP Level F Demo RCP Demolition Roof Plan Alternate No. 1	PLUMBING M2.03 M2.04 P0.01 P1.01 P1.02 P1.03	Mechanical Level E Floor Plan Mechanical Level F Floor Plan Plumbing General Notes and Legend Plumbing Levels A & B Demo Floor Plan Plumbing Levels C & D Demo Floor Plan Plumbing Level E Demo Floor Plan
STRUCTURE D3.02 D4.10 S1.1 S1.2 S1.3 S1.4 S1.5 S2.1	Bell Tower Plans Building Sections Foundation Narrative Level D/C Framing Plan Narrative Level E Framing Plan Narrative Level F Framing Plan Narrative Roof Framing Narrative Details Narrative	ELECTRICAL P1.04 E0.01 E1.01 E1.02 E1.03	Plumbing Level F Demo Floor Plan Electrical General Notes and Legend Electrical Levels A & B Demo Floor Plan Electrical Levels C & D Demo Floor Plan Electrical Level E Demo Floor Plan
		FIRE PROTECTION E1.04 FP1.01 FP1.02 FP1.03 FP1.04 FP2.01 FP2.02 FP2.03 FP2.04	Electrical Level F Demo Floor Plan Fire Protection Levels A & B Demo Floor Plan Fire Protection Levels C & D Demo Floor Plan Fire Protection Level E Demo Floor Plan Fire Protection Level F Demo Floor Plan Fire Protection Levels A & B Floor Plan Fire Protection Levels C & D Floor Plan Fire Protection Level E Floor Plan Fire Protection Level F Floor Plan

PROJECT INFORMATION

PROJECT DESCRIPTION
DEMOLITION OF NON-HISTORIC INFILL STRUCTURE & PARTITIONS, NON-HISTORIC FINISHES, PLUMBING FIXTURES & PIPING, MECHANICAL SYSTEM, & LIGHTING.

TDLR REGISTRATION
NOT REQUIRED. WORK IS CONSIDERED MAINTENANCE & DOES NOT INCLUDE TAS SCOPING. BUILDING WILL NOT BE OCCUPIABLE AFTER DEMOLITION.

RECORDED TEXAS LANDMARK
SCOPE OF WORK HAS BEEN APPROVED BY THE TEXAS HISTORICAL COMMISSION (THC). ALL DEVIATIONS FROM THE SCOPE TO BE REVIEWED BY THE THC.

CONSTRUCTION CLASSIFICATION
TYPE III-B, BUILDING IS CURRENTLY NOT OCCUPIED

FUTURE USE GROUP CLASSIFICATIONS
BUSINESS
ASSEMBLY
STORAGE

BUILDING AREA
GROSS BUILDING AREA 26,154 GSF

BUILDING HEIGHT
OVERALL BUILDING HEIGHT 3 STORIES W/ PARTIAL BASEMENT

VICINITY MAP



CITY OF DENTON

STREET MAP



SYMBOL LEGEND

	BROKEN SECTION		FLOOR LEVEL CHANGE
	WALL SECTION		CENTER LINE
	DETAIL SECTION		DOOR TYPE
	DETAIL KEY		WINDOW TYPE
	DETAIL KEY		WALL TYPE
	BUILDING ELEVATION KEY		ROOM NAME, NUMBER, & SQUARE FOOTAGE
	COLUMN CENTER LINE		BREAK LINE

MATERIAL LEGEND

	EARTH/COMPACT FILL		FRT ROUGH WOOD
	GRAVEL FILL		FRT BLOCKING
	SAND FILL		FINISH WOOD
	CAST-IN-PLACE CONC.		PLYWOOD
	LIGHTWEIGHT CONC.		RIGID INSULATION
	FACE BRICK		THERMAL/ ACOUSTIC BATT INSULATION
	COMMON BRICK		SPRAYED INSULATION
	CMU		SPRAYED FIRE INSULATION
	CAST STONE		CERAMIC TILE
	GLASS		TYPE 'X' GYP. BOARD
	STEEL		METAL LATH & PLASTER
	ALUMINUM		CARPET
	SHEET METAL		HOLLOW CLAY TILE

Architexas

Dallas | Austin | San Antonio 1907 Marilla St.
www.architexas.com Second Floor
Dallas, Texas 75201

p 214.748.4561

SCOPE OF WORK DESCRIPTION

Demolition of non-historic infill structure & partitions, non-historic finishes, plumbing fixtures & piping, mechanical system, & lighting.

Denton City Hall West

221 N Elm St, Denton, TX

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REVISION HISTORY

Owner Review

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Craig H. Melde
TX Registration No. 9409

Architexas No. 2205
Date 04/14/2022

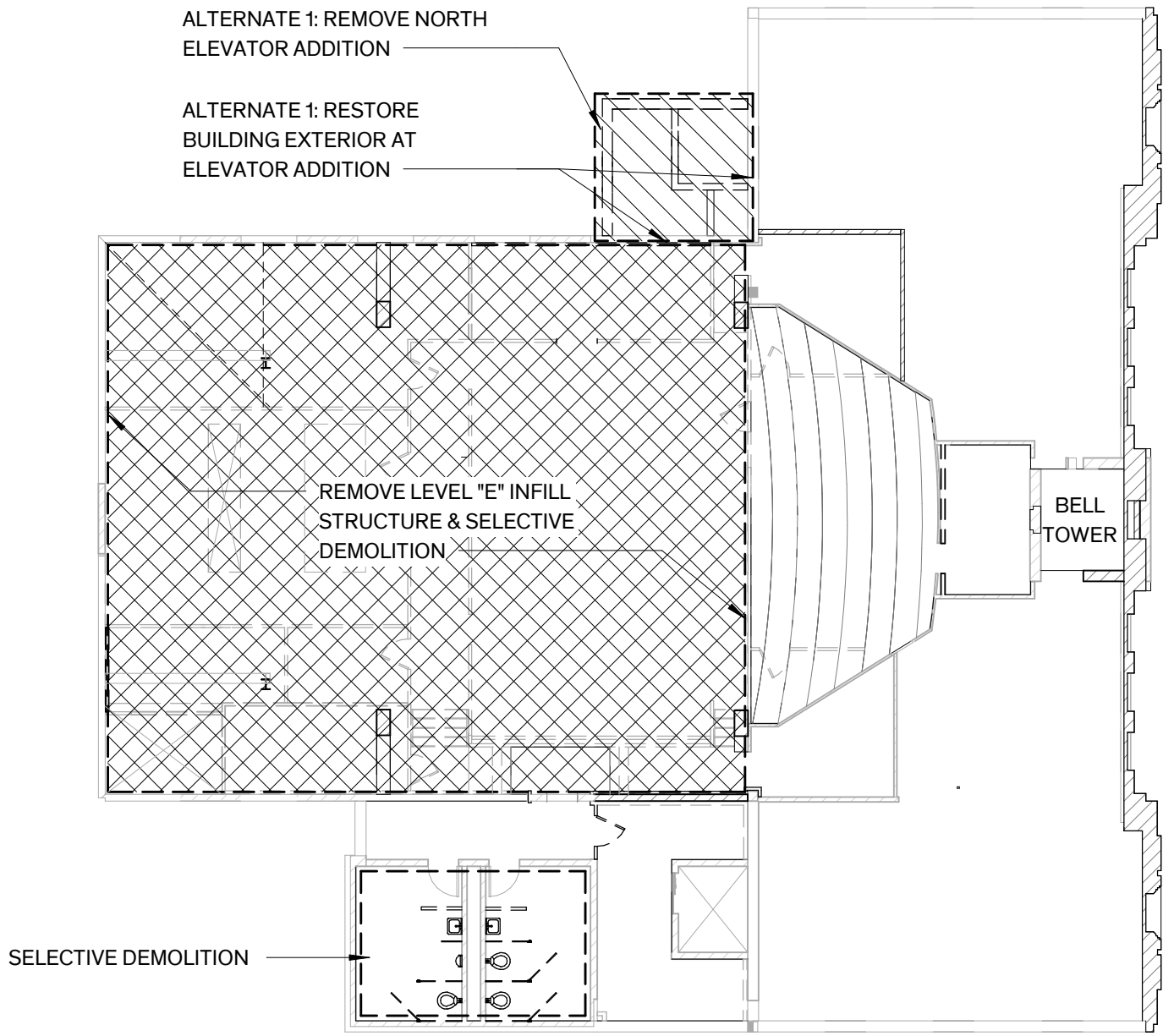
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Project Information

Sheet Number

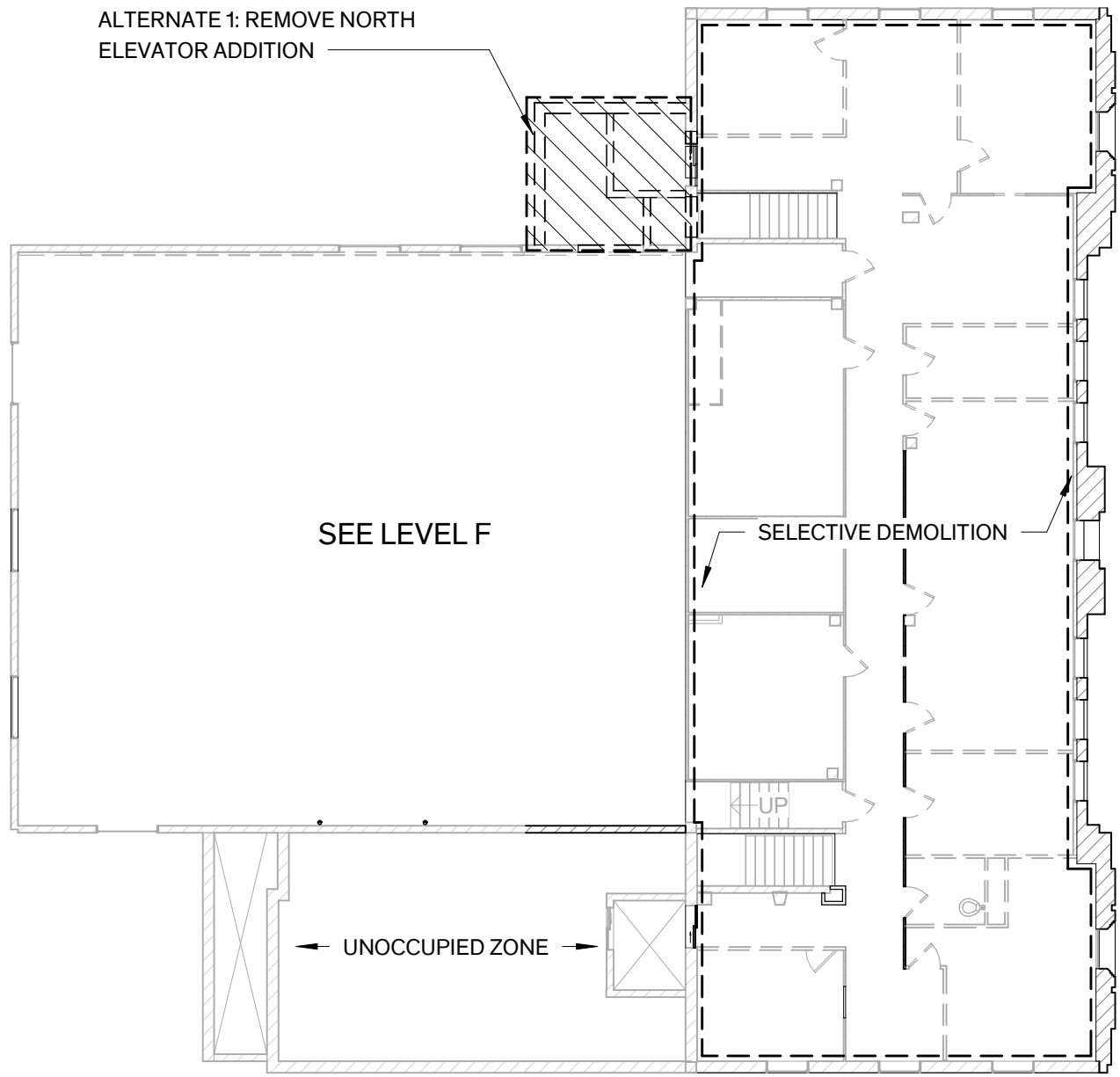
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GENERAL NOTE

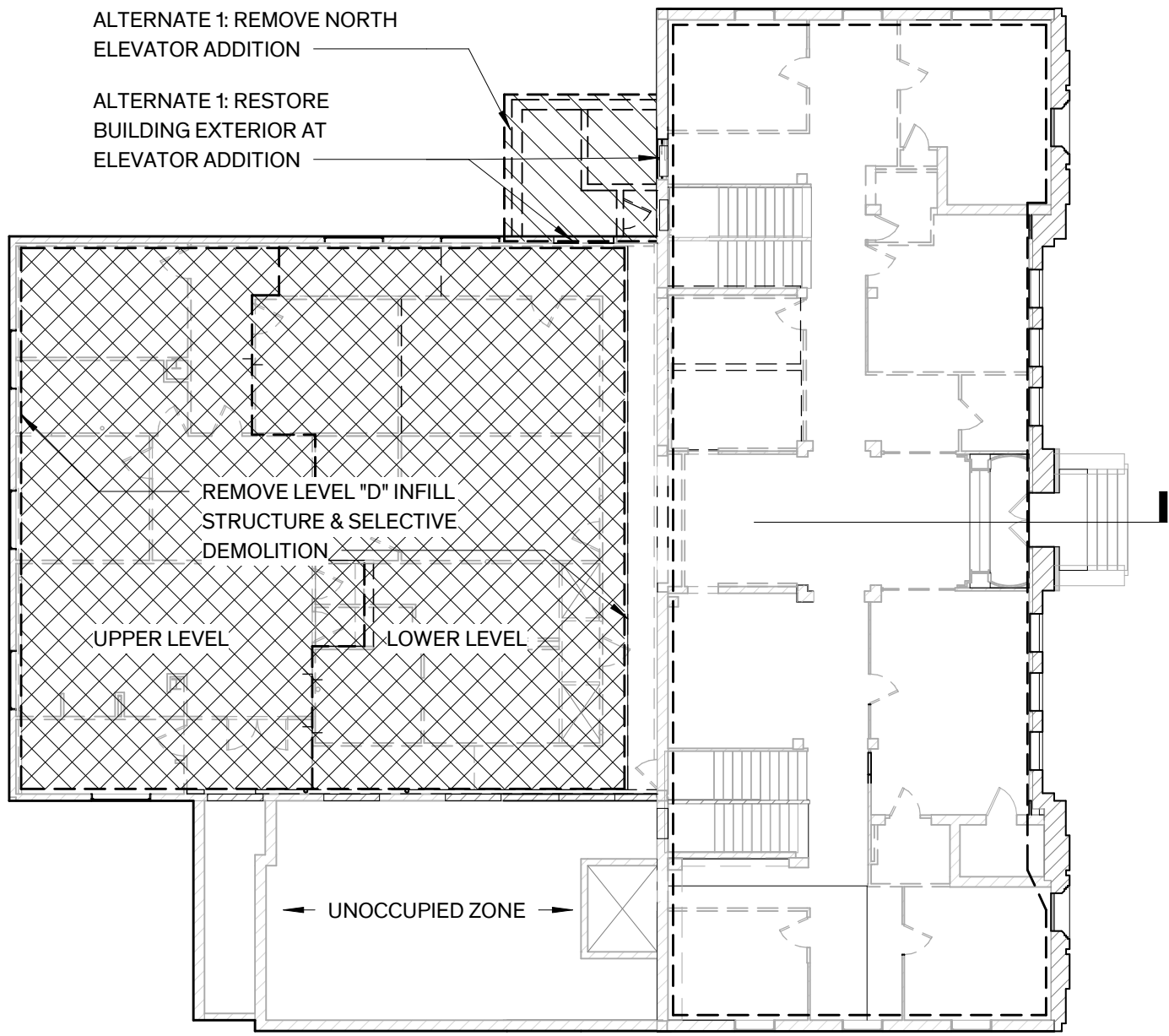
- SCOPE OF WORK DESCRIPTION
Demolition of non-historic infill structure & partition, non-historic finishes, plumbing fixtures & piping, mechanical system, & lighting.



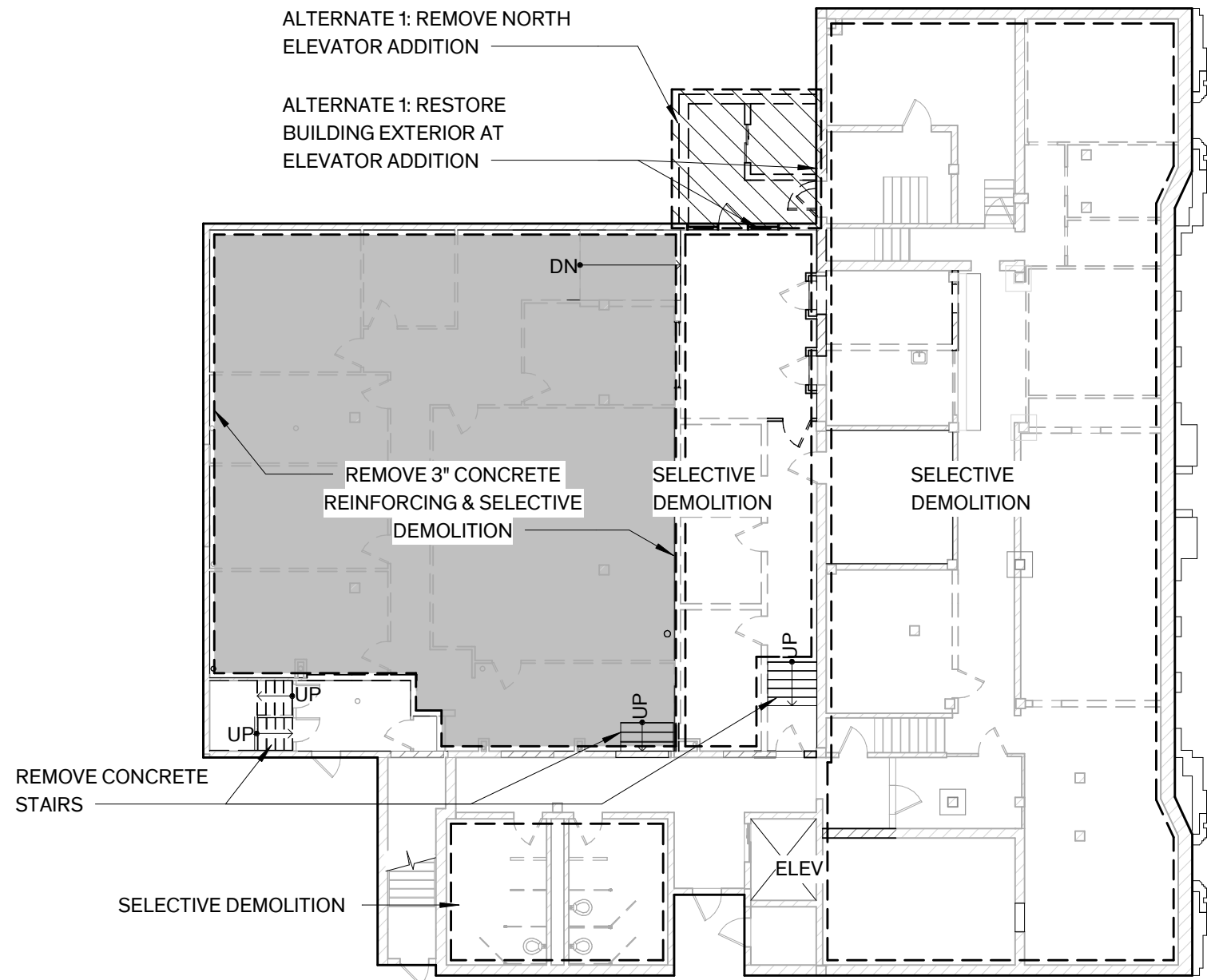
4 Level F Scope Diagram
1/16" = 1'-0"



2 Level E Scope Diagram
1/16" = 1'-0"



3 Levels C & D Scope Diagram
1/16" = 1'-0"



1 Level A & B Scope Diagram
1/16" = 1'-0"

Denton City Hall West

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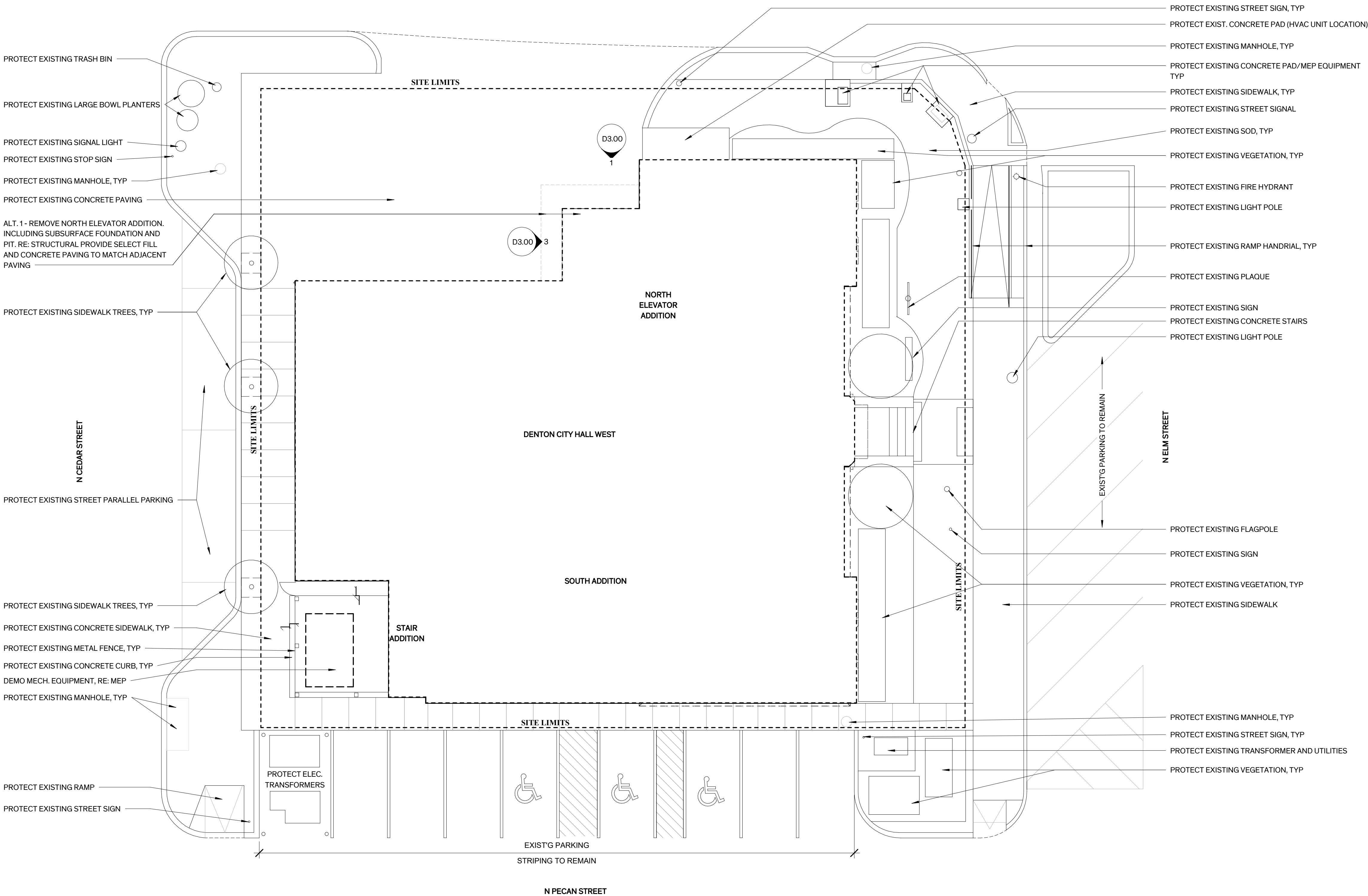
Architexas No. 2205 Date 04/14/2022

Sheet Name
Project Scope Diagram

Sheet Number

GENERAL NOTES

1. SITE WORK IS LIMITED TO SELECT REMOVAL OF MECHANICAL EQUIPMENT, REF: MEP
2. ALT. 1 - SCOPE OF WORK IS LIMITED TO THE REMOVAL OF NORTH ELEVATOR ADDITION. REMOVE ADJACENT PAVING AS REQUIRED TO COMPLETE WORK. REF: A0.01 FOR ALTERNATES
3. ALL AREAS & ITEMS INDICATING CONTRACT LIMITS & LINES OF DEMARCATION ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR & ARE NOT TO BE TAKEN LITERALLY. ACTUAL CONTRACT LIMITS ARE TO BE DETERMINED PRIOR TO CONSTRUCTION BY FIELD VERIFICATION.
4. EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL NOT BE DAMAGED DURING THE DEMOLITION PROCESS. PROVIDE ALL NECESSARY TEMPORARY PROTECTION.
5. EXISTING CONSTRUCTION SHOWN TO REMAIN SHALL NOT BE DAMAGED DURING THE DEMOLITION PROCESS. PROVIDE ALL NECESSARY TEMPORARY PROTECTION.
6. EXISTING UTILITY SERVICES ARE TO REMAIN, BE PROTECTED, AND/OR TO BE OPERATIONAL DURING DEMOLITION AND CONSTRUCTION. REFERENCE RELEVANT MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. CONTRACTOR TO BE RESPONSIBLE FOR PROTECTION OF AND RESTORATION OF SERVICES, AS WELL AS PROVISION OF TEMPORARY UTILITY SERVICES.
7. MAINTAIN ACCESS & SERVICES TO LAW ENFORCEMENT CENTER DURING CONSTRUCTION.



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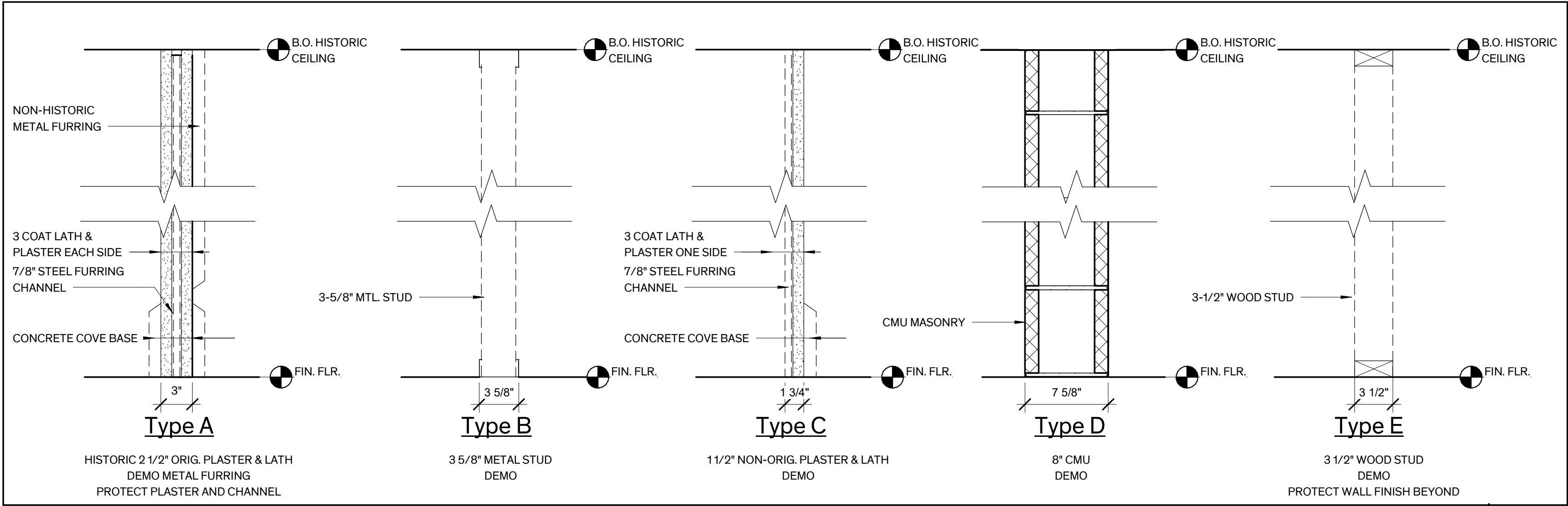
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2205

Date
04/14/2022

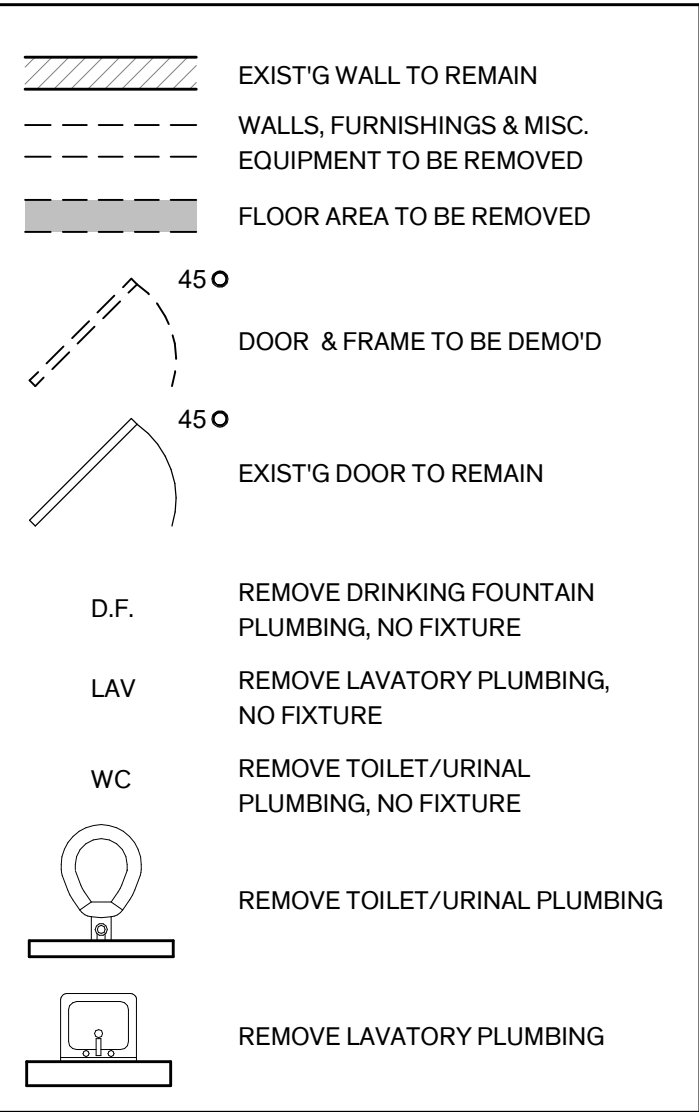
Sheet Name
Demolition Site Plan

Sheet Number

WALL TYPES

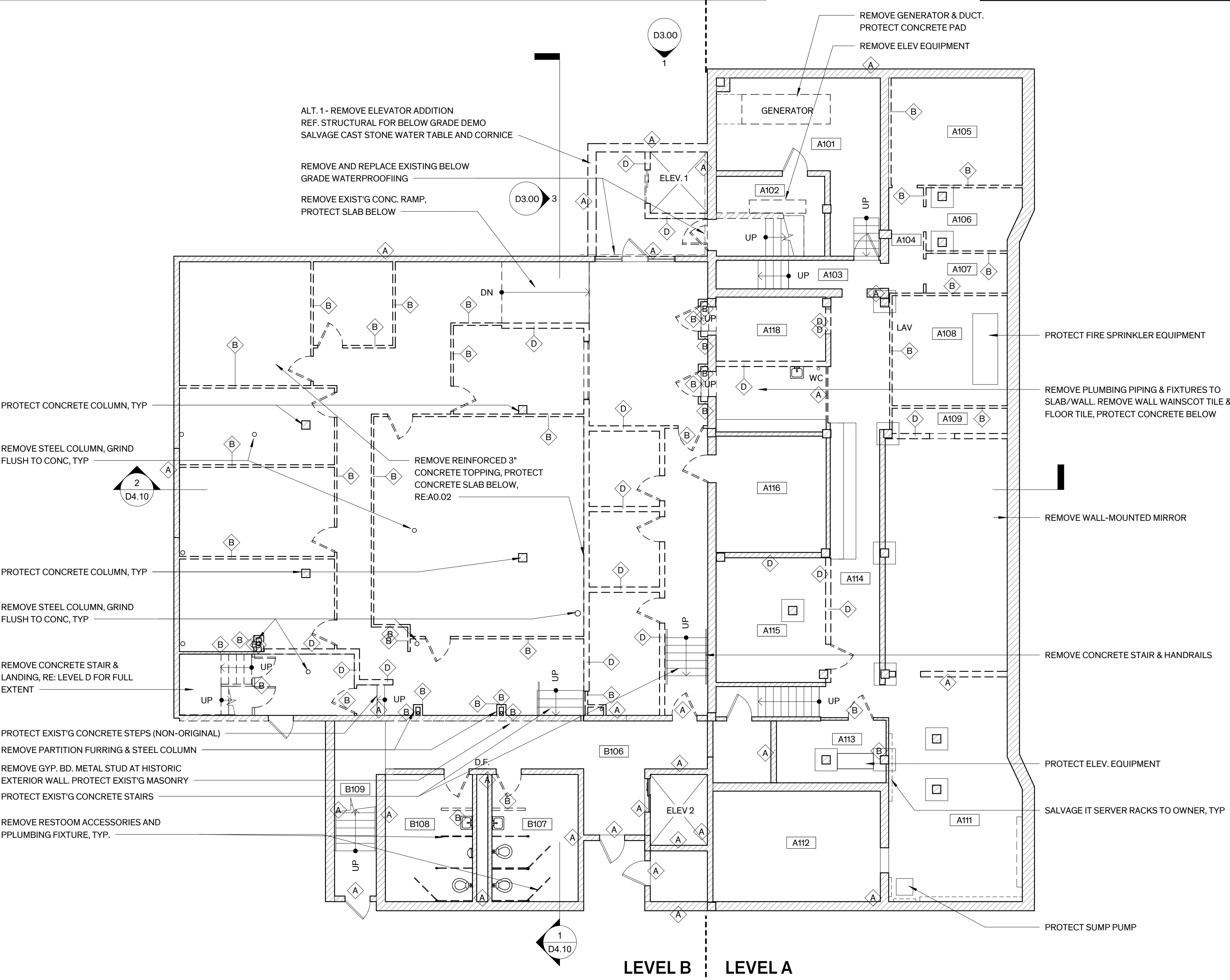


LEGEND



GENERAL NOTES

- GENERAL**
- CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO DESIGNATED ON-SITE LOCATION AS INSTRUCTED BY OWNER, TYP.
 - CONTRACTOR IS TO RETAIN HISTORIC MATERIAL UNCOVERED DURING SELECTIVE DEMOLITION FOR ARCHITECT TO REVIEW.
 - REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.
- PROTECTION**
- PROTECT HISTORIC INTERIOR FINISHES AND ELEMENTS SCHEDULED TO REMAIN DURING SELECTIVE DEMOLITION PROCESS. DAMAGE TO EXISTING FINISH SURFACES BY THE CONTRACTOR SHALL BE CORRECTED IN KIND AT NO ADDITIONAL EXPENSE TO THE COUNTY.
 - REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY AND MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION AND CONSTRUCTION DEBRIS AND EQUIPMENT.
 - PROTECT LEVEL C LOBBY ORIGINAL FINISHES, LIGHT FIXTURES AND GROWN MOULDING. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD
- WALLS**
- REMOVE AND DISCARD MASONRY OR STUD WALLS AND ASSOCIATED FASTENERS WHERE INDICATED ON THE DRAWINGS. PROTECT EXISTING CONCRETE FLOOR WITH INTEGRAL COVE BASE.
 - CAREFULLY REMOVE NON-ORIGINAL WALL FINISHES AND ASSOCIATED FURRING WITHOUT CAUSING DAMAGE TO ORIGINAL SURFACES BEYOND.
 - REMOVE METAL FURRING AND FASTENERS FROM INTERIOR SURFACE OF EXTERIOR WALLS. ASSUME CONDITION AT ALL EXTERIOR WALLS.
- FLOORS**
- EXISTING CONCRETE FLOORING:
 - PROTECT HISTORIC EXPOSED CONCRETE WITH INTEGRAL BLACK BORDER AND COVED WALL BASE.
 - REMOVE EXISTING CONCRETE SLAB WHERE INDICATED ON THE DRAWINGS. ORIGINAL CONCRETE FLOOR AND STRUCTURE TO REMAIN. RE: STRUCTURE FOR EXTENT OF INFILL FLOORS TO BE REMOVED.
 - MOSAIC TILE FLOORS & WAINSCOT
 - REMOVE ALL TILE FLOORS AND WAINSCOT FROM PREVIOUS RESTROOM LOCATIONS. PROTECT HISTORIC TILE IN LOBBY.
 - FLOOR REMOVAL:
 - REMOVE NON-ORIGINAL CONCRETE FLOOR AND METAL STRUCTURE WHERE INDICATED IN PLAN. IDENTIFY EXTENT OF INFILL FLOOR IN THE FIELD & PROTECT ORIGINAL CONCRETE FLOOR DURING REMOVAL.
 - PROVIDE TEMPORARY FALL PROTECTION AT FLOOR OPENINGS AS REQ'D.
- DOORS & WINDOWS**
- REMOVE EXISTING INTERIOR DOORS AND FRAMES AS INDICATED ON DRAWINGS. ALL DOORS ARE FROM 1980 - 1990S RENOVATIONS, WOOD VENEER WITH HOLLOW METAL FRAME.
 - SELECT NON-HISTORIC DOORS & FRAMES TO REMAIN FOR SAFETY DUE TO CHANGE IN FLOOR LEVELS. REFER TO DRAWINGS FOR SPECIFIC LOCATIONS.
 - EXTERIOR DOORS TO REMAIN UNLESS NOTED OTHERWISE (NOTE ALT. 1).
 - HISTORIC VAULT DOORS ARE TO REMAIN AND PROTECT DURING CONSTRUCTION.
- ELEVATOR**
- ALT. 1 - REMOVE EXIST'G NORTH ELEVATOR ADDITION, SUPPORT SYSTEMS, CONCRETE PIT, EQUIPMENT & PIPING, ETC. COORDINATE MEP AND STRUCTURAL FOR REMOVAL
- MECHANICAL, ELECTRICAL, PLUMBING**
- REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS. RE: MEP
 - REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE. RE: PLUMBING WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1 INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
 - REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS. RE: MEP FOR EQUIPMENT TO REMAIN. RE: ELEC.
 - REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.
 - TURN GAS SERVICE OFF & REMOVE GAS LINES TO OUTSIDE OF BUILDING.



2 A117 - restroom
11/2" = 1'-0"

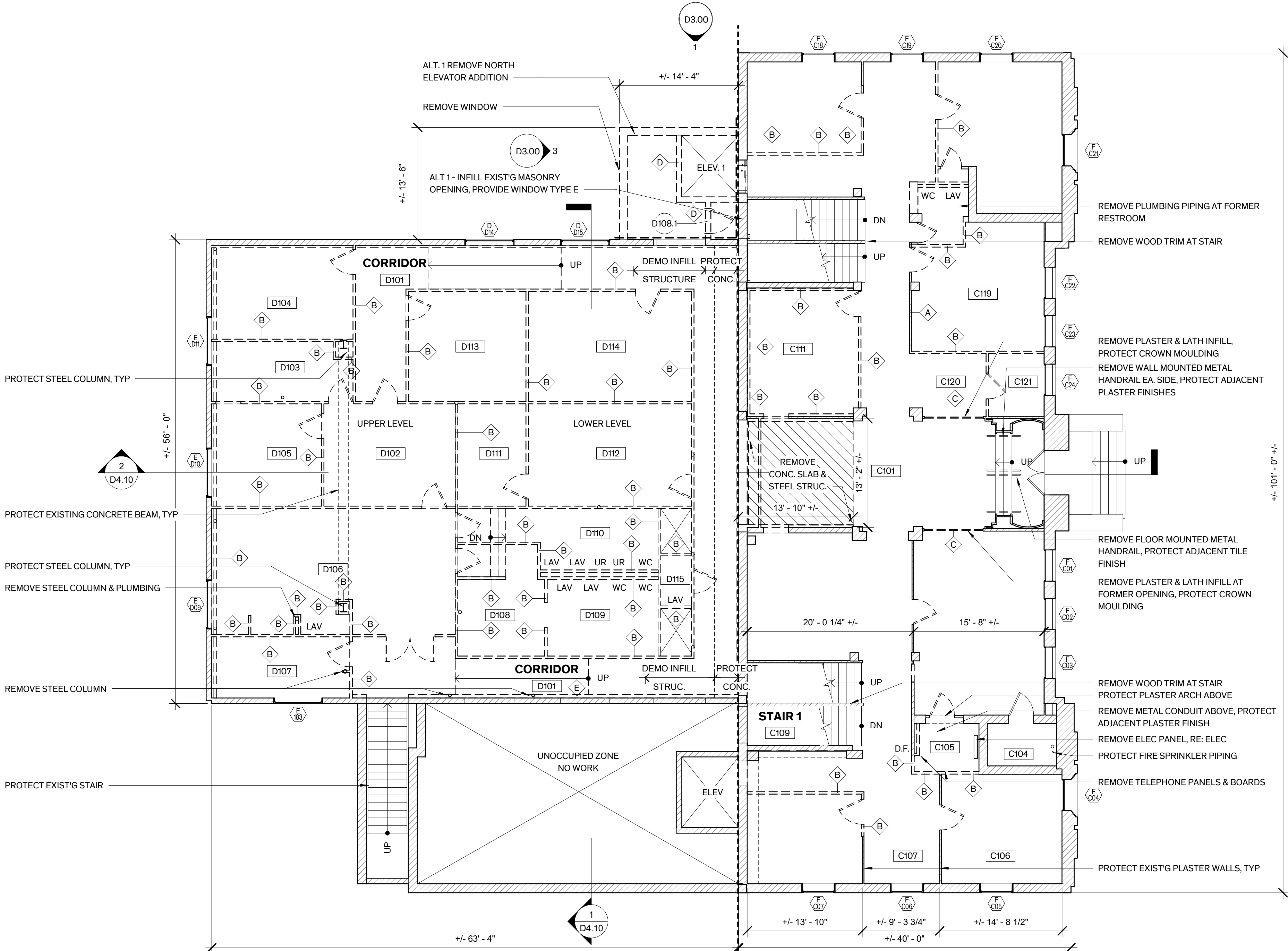
1 Levels "A" & "B" Demo Floor Plan
1/8" = 1'-0"

LEGEND

EXIST'G WALL TO REMAIN
WALLS, FURNISHINGS & MISC. EQUIPMENT TO BE REMOVED
FLOOR AREA TO BE REMOVED
DOOR & FRAME TO BE DEMO'D
EXIST'G DOOR TO REMAIN
D.F. REMOVE DRINKING FOUNTAIN PLUMBING, NO FIXTURE
LAV REMOVE LAVATORY PLUMBING, NO FIXTURE
WC REMOVE TOILET/URINAL PLUMBING, NO FIXTURE
REMOVE TOILET/URINAL PLUMBING
REMOVE LAVATORY PLUMBING

GENERAL NOTES

- GENERAL**
- CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO DESIGNATED ON-SITE LOCATION AS INSTRUCTED BY OWNER, TYP.
 - CONTRACTOR IS TO RETAIN HISTORIC MATERIAL UNCOVERED DURING SELECTIVE DEMOLITION FOR ARCHITECT TO REVIEW.
 - REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.
- PROTECTION**
- PROTECT HISTORIC INTERIOR FINISHES AND ELEMENTS SCHEDULED TO REMAIN DURING SELECTIVE DEMOLITION PROCESS. DAMAGE TO EXISTING FINISH SURFACES BY THE CONTRACTOR SHALL BE CORRECTED IN KIND AT NO ADDITIONAL EXPENSE TO THE COUNTY.
 - REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY AND MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION AND CONSTRUCTION DEBRIS AND EQUIPMENT.
 - PROTECT LEVEL C LOBBY ORIGINAL FINISHES, LIGHT FIXTURES AND GROWN MOULDING. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD
- WALLS**
- REMOVE AND DISCARD MASONRY OR STUD WALLS AND ASSOCIATED FASTENERS WHERE INDICATED ON THE DRAWINGS. PROTECT EXISTING CONCRETE FLOOR WITH INTEGRAL COVE BASE.
 - CAREFULLY REMOVE NON-ORIGINAL WALL FINISHES AND ASSOCIATED FURRING WITHOUT CAUSING DAMAGE TO ORIGINAL SURFACES BEYOND.
 - REMOVE METAL FURRING AND FASTENERS FROM INTERIOR SURFACE OF EXTERIOR WALLS. ASSUME CONDITION AT ALL EXTERIOR WALLS.
- FLOORS**
- EXISTING CONCRETE FLOORING:
 - PROTECT HISTORIC EXPOSED CONCRETE WITH INTEGRAL BLACK BORDER AND COVED WALL BASE.
 - REMOVE EXISTING CONCRETE SLAB WHERE INDICATED ON THE DRAWINGS. ORIGINAL CONCRETE FLOOR AND STRUCTURE TO REMAIN. RE: STRUCTURE FOR EXTENT OF INFILL FLOORS TO BE REMOVED.
 - MOSAIC TILE FLOORS & WAINSCOT
 - REMOVE ALL TILE FLOORS AND WAINSCOT FROM PREVIOUS RESTROOM LOCATIONS.
 - PROTECT HISTORIC TILE IN LOBBY.
 - FLOOR REMOVAL:
 - REMOVE NON-ORIGINAL CONCRETE FLOOR AND METAL STRUCTURE WHERE INDICATED IN PLAN. IDENTIFY EXTENT OF INFILL FLOOR IN THE FIELD & PROTECT ORIGINAL CONCRETE FLOOR DURING REMOVAL.
 - PROVIDE TEMPORARY FALL PROTECTION AT FLOOR OPENINGS AS REQ'D.
- DOORS & WINDOWS**
- REMOVE EXISTING INTERIOR DOORS AND FRAMES AS INDICATED ON DRAWINGS. ALL DOORS ARE FROM 1980 - 1990S RENOVATIONS, WOOD VENEER WITH HOLLOW METAL FRAME.
 - SELECT NON-HISTORIC DOORS & FRAMES TO REMAIN FOR SAFETY DUE TO CHANGE IN FLOOR LEVELS. REFER TO DRAWINGS FOR SPECIFIC LOCATIONS.
 - EXTERIOR DOORS TO REMAIN UNLESS NOTED OTHERWISE (NOTE ALT. 1).
 - HISTORIC VAULT DOORS ARE TO REMAIN AND PROTECT DURING CONSTRUCTION.
- ELEVATOR**
- ALT. 1 - REMOVE EXIST'G NORTH ELEVATOR ADDITION, SUPPORT SYSTEMS, CONCRETE PIT, EQUIPMENT & PIPING, ETC. COORDINATE MEP AND STRUCTURAL FOR REMOVAL
- MECHANICAL, ELECTRICAL, PLUMBING**
- REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS. RE: MEP
 - REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE. RE: PLUMBING WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1 INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
 - REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS. RE: MEP FOR EQUIPMENT TO REMAIN. RE: ELEC
 - REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.
 - TURN GAS SERVICE OFF & REMOVE GAS LINES TO OUTSIDE OF BUILDING.



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REVISION HISTORY

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Craig H. Melde
TX Registration No. 9409

Architexas No. 2205 Date 04/14/2022

Sheet Name
Level E Demo Floor Plan

Sheet Number

LEGEND

EXIST'G WALL TO REMAIN

WALLS, FURNISHINGS & MISC. EQUIPMENT TO BE REMOVED

FLOOR AREA TO BE REMOVED

45°
DOOR & FRAME TO BE DEMO'D

45°
EXIST'G DOOR TO REMAIN

D.F.

REMOVE DRINKING FOUNTAIN PLUMBING, NO FIXTURE

LAV

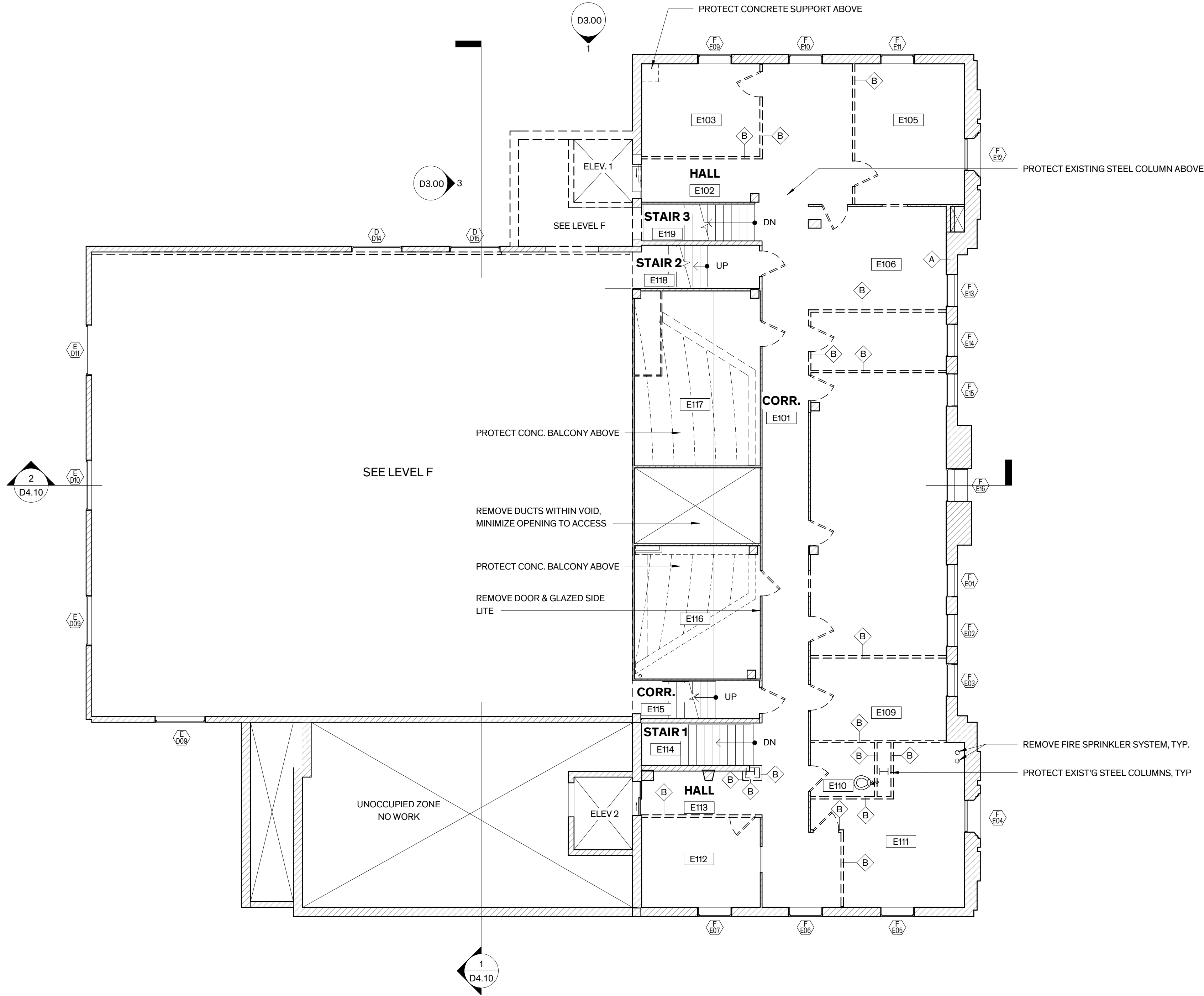
REMOVE LAVATORY PLUMBING, NO FIXTURE

WC

REMOVE TOILET/URINAL PLUMBING, NO FIXTURE

REMOVE TOILET/URINAL PLUMBING

REMOVE LAVATORY PLUMBING



1 Level "E" Demo Floor Plan
1/8" = 1'-0"

GENERAL NOTES

- GENERAL**
- CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO DESIGNATED ON-SITE LOCATION AS INSTRUCTED BY OWNER, TYP.
 - CONTRACTOR IS TO RETAIN HISTORIC MATERIAL UNCOVERED DURING SELECTIVE DEMOLITION FOR ARCHITECT TO REVIEW.
 - REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.
- PROTECTION**
- PROTECT HISTORIC INTERIOR FINISHES AND ELEMENTS SCHEDULED TO REMAIN DURING SELECTIVE DEMOLITION PROCESS. DAMAGE TO EXISTING FINISH SURFACES BY THE CONTRACTOR SHALL BE CORRECTED IN KIND AT NO ADDITIONAL EXPENSE TO THE COUNTY.
 - REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY AND MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION AND CONSTRUCTION DEBRIS AND EQUIPMENT.
 - PROTECT LEVEL C LOBBY ORIGINAL FINISHES, LIGHT FIXTURES AND GROWN MOULDING. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD

- WALLS**
- REMOVE AND DISCARD MASONRY OR STUD WALLS AND ASSOCIATED FASTENERS WHERE INDICATED ON THE DRAWINGS. PROTECT EXISTING CONCRETE FLOOR WITH INTEGRAL COVE BASE.
 - CAREFULLY REMOVE NON-ORIGINAL WALL FINISHES AND ASSOCIATED FURRING WITHOUT CAUSING DAMAGE TO ORIGINAL SURFACES BEYOND.
 - REMOVE METAL FURRING AND FASTENERS FROM INTERIOR SURFACE OF EXTERIOR WALLS. ASSUME CONDITION AT ALL EXTERIOR WALLS.


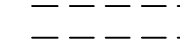

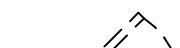
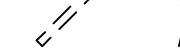





- FLOORS**
- EXISTING CONCRETE FLOORING:
 - PROTECT HISTORIC EXPOSED CONCRETE WITH INTEGRAL BLACK BORDER AND COVED WALL BASE.
 - REMOVE EXISTING CONCRETE SLAB WHERE INDICATED ON THE DRAWINGS. ORIGINAL CONCRETE FLOOR AND STRUCTURE TO REMAIN. RE: STRUCTURE FOR EXTENT OF INFILL FLOORS TO BE REMOVED.
 - MOSAIC TILE FLOORS & WAINSCOT
 - REMOVE ALL TILE FLOORS AND WAINSCOT FROM PREVIOUS RESTROOM LOCATIONS.
 - PROTECT HISTORIC TILE IN LOBBY.
 - FLOOR REMOVAL:
 - REMOVE NON-ORIGINAL CONCRETE FLOOR AND METAL STRUCTURE WHERE INDICATED IN PLAN. IDENTIFY EXTENT OF INFILL FLOOR IN THE FIELD & PROTECT ORIGINAL CONCRETE FLOOR DURING REMOVAL.
 - PROVIDE TEMPORARY FALL PROTECTION AT FLOOR OPENINGS AS REQ'D.

- DOORS & WINDOWS**
- REMOVE EXISTING INTERIOR DOORS AND FRAMES AS INDICATED ON DRAWINGS. ALL DOORS ARE FROM 1980 - 1990S RENOVATIONS, WOOD VENEER WITH HOLLOW METAL FRAME.
 - SELECT NON-HISTORIC DOORS & FRAMES TO REMAIN FOR SAFETY DUE TO CHANGE IN FLOOR LEVELS. REFER TO DRAWINGS FOR SPECIFIC LOCATIONS.
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 - HISTORIC VAULT DOORS ARE TO REMAIN AND PROTECT DURING CONSTRUCTION.

- ELEVATOR**
- ALT. 1 - REMOVE EXIST'G NORTH ELEVATOR ADDITION, SUPPORT SYSTEMS, CONCRETE PIT, EQUIPMENT & PIPING, ETC. COORDINATE MEP AND STRUCTURAL FOR REMOVAL

- MECHANICAL, ELECTRICAL, PLUMBING**
- REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS. RE: MEP
 - REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE. RE: PLUMBING WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1 INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
 - REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS. RE: MEP FOR EQUIPMENT TO REMAIN. RE: ELEC.
 - REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.
 - TURN GAS SERVICE OFF & REMOVE GAS LINES TO OUTSIDE OF BUILDING.

LEGEND

	EXIST'G WALL TO REMAIN
	WALLS, FURNISHINGS & MISC. EQUIPMENT TO BE REMOVED
	FLOOR AREA TO BE REMOVED
	DOOR & FRAME TO BE DEMO'D
	EXIST'G DOOR TO REMAIN
	REMOVE DRINKING FOUNTAIN PLUMBING, NO FIXTURE
	REMOVE LAVATORY PLUMBING, NO FIXTURE
	REMOVE TOILET/URINAL PLUMBING, NO FIXTURE
	REMOVE TOILET/URINAL PLUMBING
	REMOVE LAVATORY PLUMBING

GENERAL NOTES

- GENERAL**
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- PROTECTION**
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 - PROTECT LEVEL C LOBBY ORIGINAL FINISHES, LIGHT FIXTURES AND GROWN MOULDING. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD

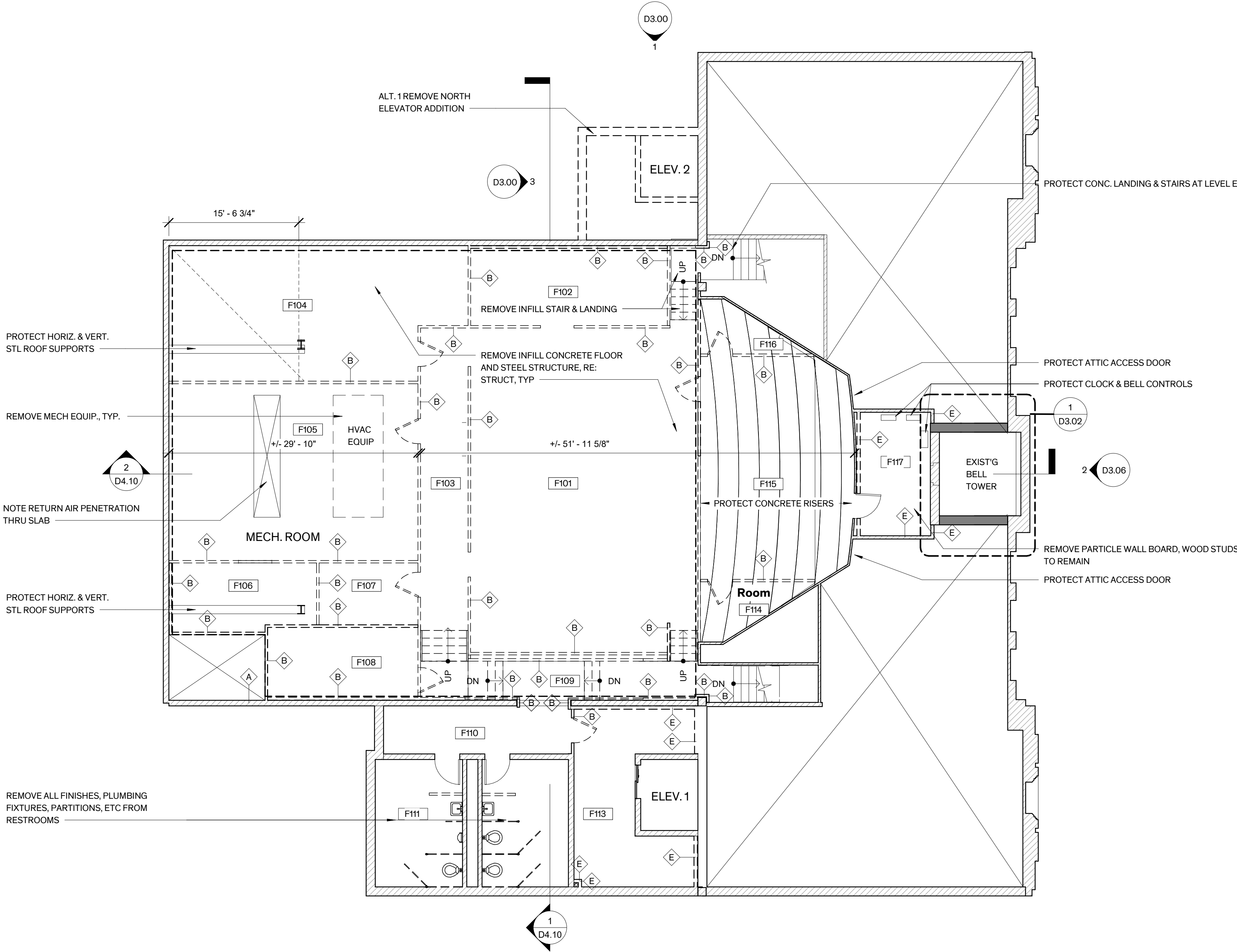
- WALLS**
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 - REMOVE METAL FURRING AND FASTENERS FROM INTERIOR SURFACE OF EXTERIOR WALLS. ASSUME CONDITION AT ALL EXTERIOR WALLS.

- FLOORS**
- EXISTING CONCRETE FLOORING:
 - PROTECT HISTORIC EXPOSED CONCRETE WITH INTEGRAL BLACK BORDER AND COVED WALL BASE.
 - REMOVE EXISTING CONCRETE SLAB WHERE INDICATED ON THE DRAWINGS. ORIGINAL CONCRETE FLOOR AND STRUCTURE TO REMAIN. RE: STRUCTURE FOR EXTENT OF INFILL FLOORS TO BE REMOVED.
 - MOSAIC TILE FLOORS & WAINSCOT
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- ELEVATOR.**
- ALT. 1 - REMOVE EXIST'G NORTH ELEVATOR ADDITION, SUPPORT SYSTEMS, CONCRETE PIT, EQUIPMENT & PIPING, ETC. COORDINATE MEP AND STRUCTURAL FOR REMOVAL

- MECHANICAL, ELECTRICAL, PLUMBING**
- REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS. RE: MEP
 - REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE. RE: PLUMBING WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1 INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
 - REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS. RE: MEP FOR EQUIPMENT TO REMAIN. RE: ELEC.
 - REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.
 - TURN GAS SERVICE OFF & REMOVE GAS LINES TO OUTSIDE OF BUILDING.



1 Level "F" Demo Floor Plan
1/8" = 1'-0"

Denton City Hall West

221 N Elm St, Denton, TX

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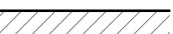


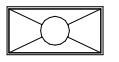
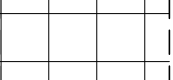
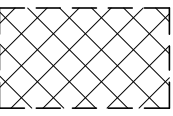
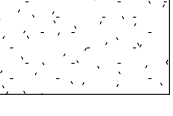

Craig H. Melde
TX Registration No. 9409

Architexas No. 2205 Date 04/14/2022

Sheet Name
Level F Demo Floor Plan

Sheet Number

LEGEND

	EXIST'G WALL TO REMAIN
	WALLS, FURNISHINGS & MISC. EQUIPMENT TO BE REMOVED
	DEMO LIGHT FIXTURE
	DEMO LIGHT FIXTURE
	DEMO SUSPENDED ACOUSTIC TILE & GRID, U.N.O.
	DEMO GYPSUM BOARD CEILING
	PROTECT HISTORIC PLASTER CEILING
	NO CEILING WORK

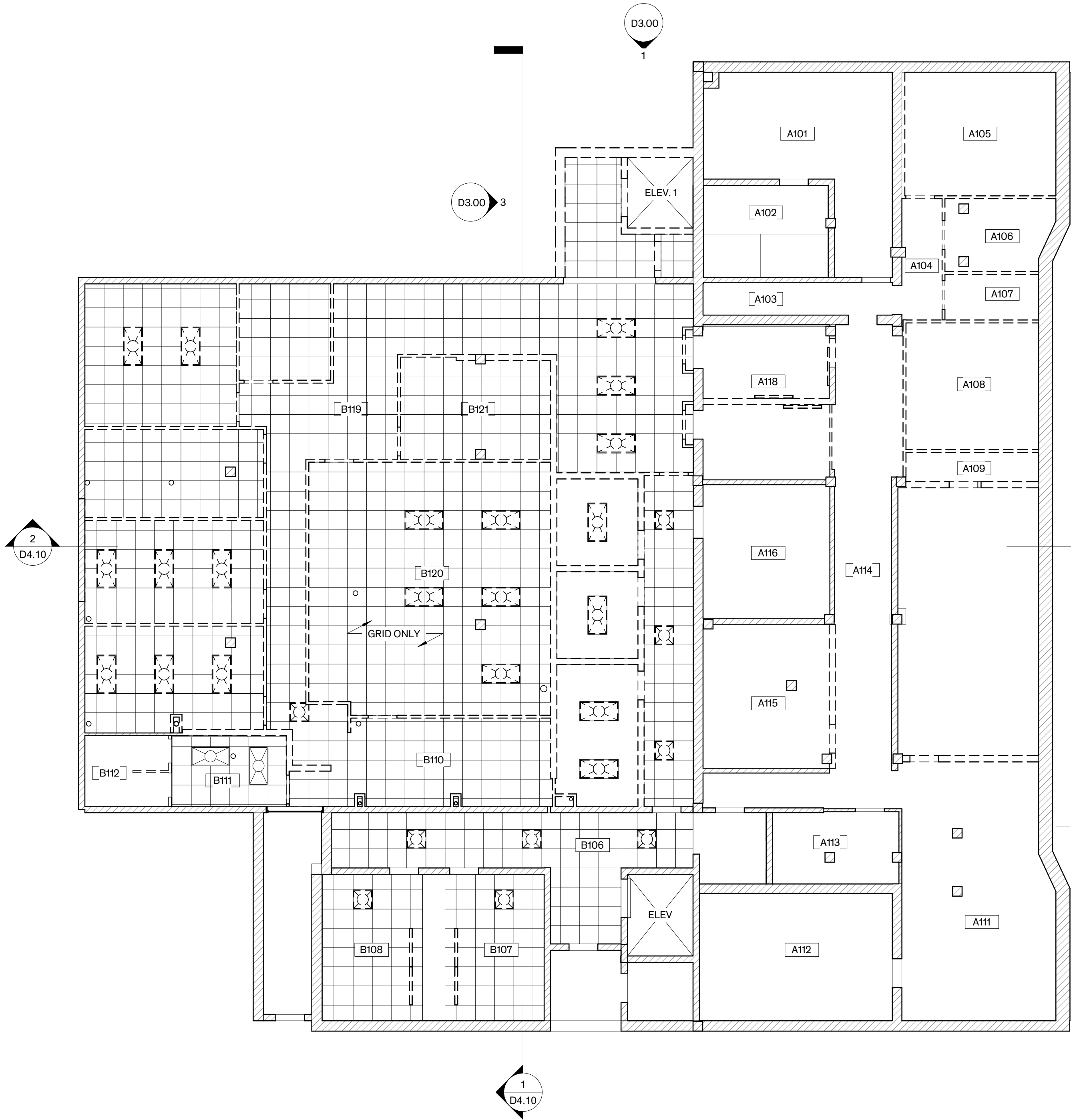
GENERAL NOTES

- GENERAL**
- CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO DESIGNATED ON-SITE LOCATION AS INSTRUCTED BY OWNER, TYP.
 - CONTRACTOR IS TO RETAIN HISTORIC MATERIAL UNCOVERED DURING SELECTIVE DEMOLITION FOR ARCHITECT TO REVIEW.
 - REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.

- PROTECTION**
- PROTECT INTERIOR FINISHES, HISTORIC FIREPLACES AND ELEMENTS SCHEDULED TO REMAIN DURING SELECTIVE DEMOLITION PROCESS. DAMAGE TO EXISTING FINISH SURFACES BY THE CONTRACTOR SHALL BE CORRECTED IN KIND AT NO ADDITIONAL EXPENSE TO THE COUNTY.
 - REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY AND MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION AND CONSTRUCTION DEBRIS AND EQUIPMENT.
 - PROTECT EXISTING SMOOTH PLASTER WAINSCOT W/ FAUX TILE SCORING FOR FINISH REFERENCE. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD

- CEILINGS**
- EXISTING SUSPENDED ACOUSTICAL TILE SYSTEMS & GYPSUM BOARD ASSEMBLIES.
 - REMOVE & DISPOSE SUSPENDED ACOUSTICAL TILE ASSEMBLIES, INCLUDING NON-ORIGINAL METAL & WOOD FRAMING & ASSOCIATED FASTENERS TO EXPOSE ORIGINAL PLASTER CEILINGS THROUGHOUT THE BUILDING.
 - USE PROCEDURES FOR REMOVAL THAT MINIMIZE DAMAGE TO EXISTING PLASTER CEILINGS.

- MECHANICAL, ELECTRICAL, PLUMBING**
- REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS.
 - REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE.
 - WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1 INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
 - REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS. RE: MEP FOR EQUIPMENT TO REMAIN. PROTECT EXISTING FIRE SPRINKLER SYSTEM AS DIRECTED BY OWNER.
 - REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.



2 Levels "A" & "B" Demo RCP
1/8" = 1'-0"

Denton City Hall West

221 N Elm St, Denton, TX

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Architexas No. 2205 Date 04/14/2022

Sheet Name Level A/B Demo RCP

Sheet Number

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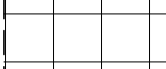

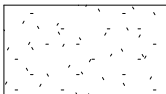

Architexas No. 2205 Date 04/14/2022

Sheet Name
Level C/D Demo RCP

Sheet Number

D2.12

LEGEND

	EXIST'G WALL TO REMAIN
	WALLS, FURNISHINGS & MISC. EQUIPMENT TO BE REMOVED
	DEMO LIGHT FIXTURE
	DEMO LIGHT FIXTURE
	DEMO SUSPENDED ACOUSTIC TILE & GRID, U.N.O.
	DEMO GYPSUM BOARD CEILING
	PROTECT HISTORIC PLASTER CEILING
	NO CEILING WORK

GENERAL NOTES

GENERAL

- CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO DESIGNATED ON-SITE LOCATION AS INSTRUCTED BY OWNER, TYP.
- CONTRACTOR IS TO RETAIN HISTORIC MATERIAL UNCOVERED DURING SELECTIVE DEMOLITION FOR ARCHITECT TO REVIEW.
- REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.

PROTECTION

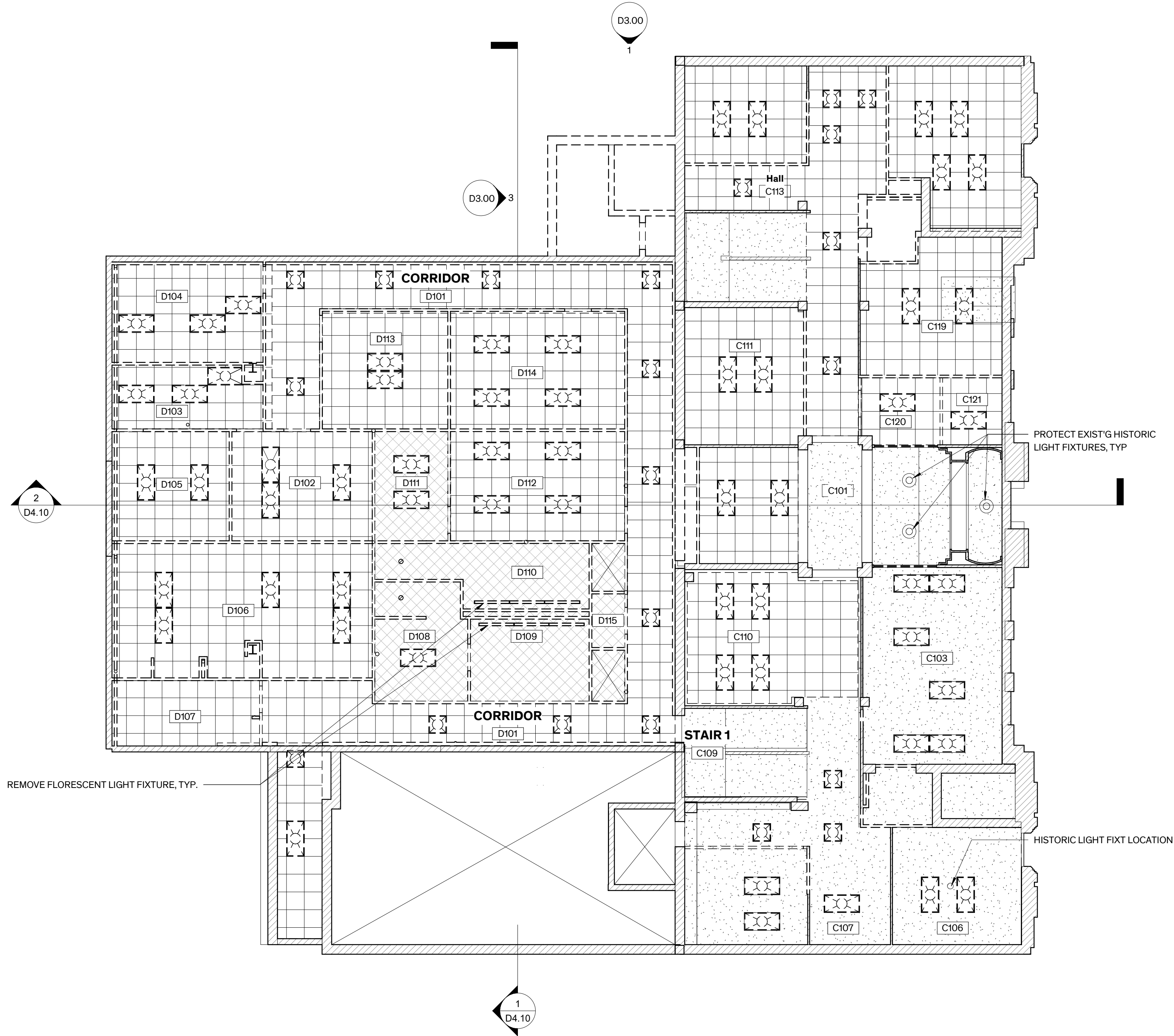
- PROTECT INTERIOR FINISHES, HISTORIC FIREPLACES AND ELEMENTS SCHEDULED TO REMAIN DURING SELECTIVE DEMOLITION PROCESS. DAMAGE TO EXISTING FINISH SURFACES BY THE CONTRACTOR SHALL BE CORRECTED IN KIND AT NO ADDITIONAL EXPENSE TO THE COUNTY.
- REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY AND MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION AND CONSTRUCTION DEBRIS AND EQUIPMENT.
- PROTECT EXISTING SMOOTH PLASTER WAINSCOT W/ FAUX TILE SCORING FOR FINISH REFERENCE. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD

CEILINGS

- EXISTING SUSPENDED ACOUSTICAL TILE SYSTEMS & GYPSUM BOARD ASSEMBLIES.
 - REMOVE & DISPOSE SUSPENDED ACOUSTICAL TILE ASSEMBLIES, INCLUDING NON-ORIGINAL METAL & WOOD FRAMING & ASSOCIATED FASTENERS TO EXPOSE ORIGINAL PLASTER CEILINGS THROUGHOUT THE BUILDING.
 - USE PROCEDURES FOR REMOVAL THAT MINIMIZE DAMAGE TO EXISTING PLASTER CEILINGS.

MECHANICAL, ELECTRICAL, PLUMBING

- REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS.
- REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE.
- WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1 INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
- REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS, RE: MEP FOR EQUIPMENT TO REMAIN.
- PROTECT EXISTING FIRE SPRINKLER SYSTEM AS DIRECTED BY OWNER.
- REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.



1 Levels "C" & "D" Demo RCP
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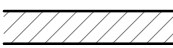
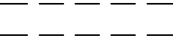


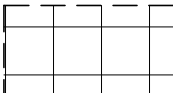

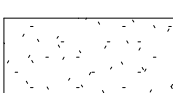
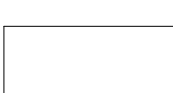
Craig H. Melde
TX Registration No. 9409

Architexas No. 2205 Date 04/14/2022

Sheet Name
Level E Demo RCP

Sheet Number

LEGEND

	EXIST'G WALL TO REMAIN
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	DEMO LIGHT FIXTURE
	DEMO LIGHT FIXTURE
	DEMO SUSPENDED ACOUSTIC TILE & GRID, U.N.O.
	DEMO GYPSUM BOARD CEILING
	PROTECT HISTORIC PLASTER CEILING
	NO CEILING WORK

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- REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.

PROTECTION

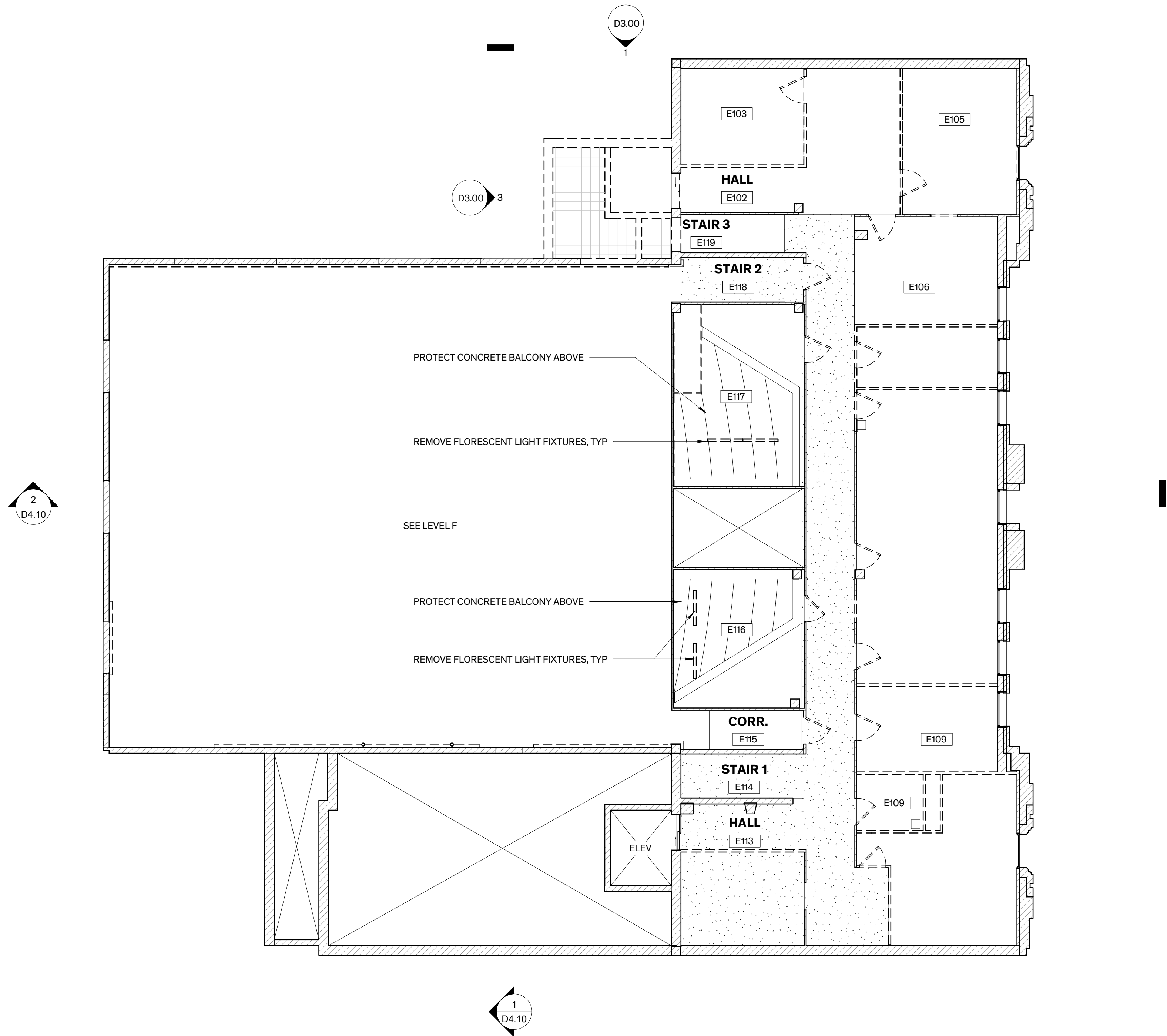
- PROTECT INTERIOR FINISHES, HISTORIC FIREPLACES AND ELEMENTS SCHEDULED TO REMAIN DURING SELECTIVE DEMOLITION PROCESS. DAMAGE TO EXISTING FINISH SURFACES BY THE CONTRACTOR SHALL BE CORRECTED IN KIND AT NO ADDITIONAL EXPENSE TO THE COUNTY.
- REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY AND MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION AND CONSTRUCTION DEBRIS AND EQUIPMENT.
- PROTECT EXISTING SMOOTH PLASTER WAINSCOT W/ FAUX TILE SCORING FOR FINISH REFERENCE. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD

CEILINGS

- EXISTING SUSPENDED ACOUSTICAL TILE SYSTEMS & GYPSUM BOARD ASSEMBLIES.
 - REMOVE & DISPOSE SUSPENDED ACOUSTICAL TILE ASSEMBLIES, INCLUDING NON-ORIGINAL METAL & WOOD FRAMING & ASSOCIATED FASTENERS TO EXPOSE ORIGINAL PLASTER CEILINGS THROUGHOUT THE BUILDING.
 - USE PROCEDURES FOR REMOVAL THAT MINIMIZE DAMAGE TO EXISTING PLASTER CEILINGS.









MECHANICAL, ELECTRICAL, PLUMBING

- REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS.
- REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE.
- WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1 INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
- REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS, RE: MEP FOR EQUIPMENT TO REMAIN.
- PROTECT EXISTING FIRE SPRINKLER SYSTEM AS DIRECTED BY OWNER.
- REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.



2 Level "E" Demo RCP
1/8" = 1'-0"

LEGEND

	EXIST'G WALL TO REMAIN
	WALLS, FURNISHINGS & MISC. EQUIPMENT TO BE REMOVED
	DEMO LIGHT FIXTURE
	DEMO LIGHT FIXTURE
	DEMO SUSPENDED ACOUSTIC TILE & GRID, U.N.O.
	DEMO GYPSUM BOARD CEILING
	PROTECT HISTORIC PLASTER CEILING
	NO CEILING WORK

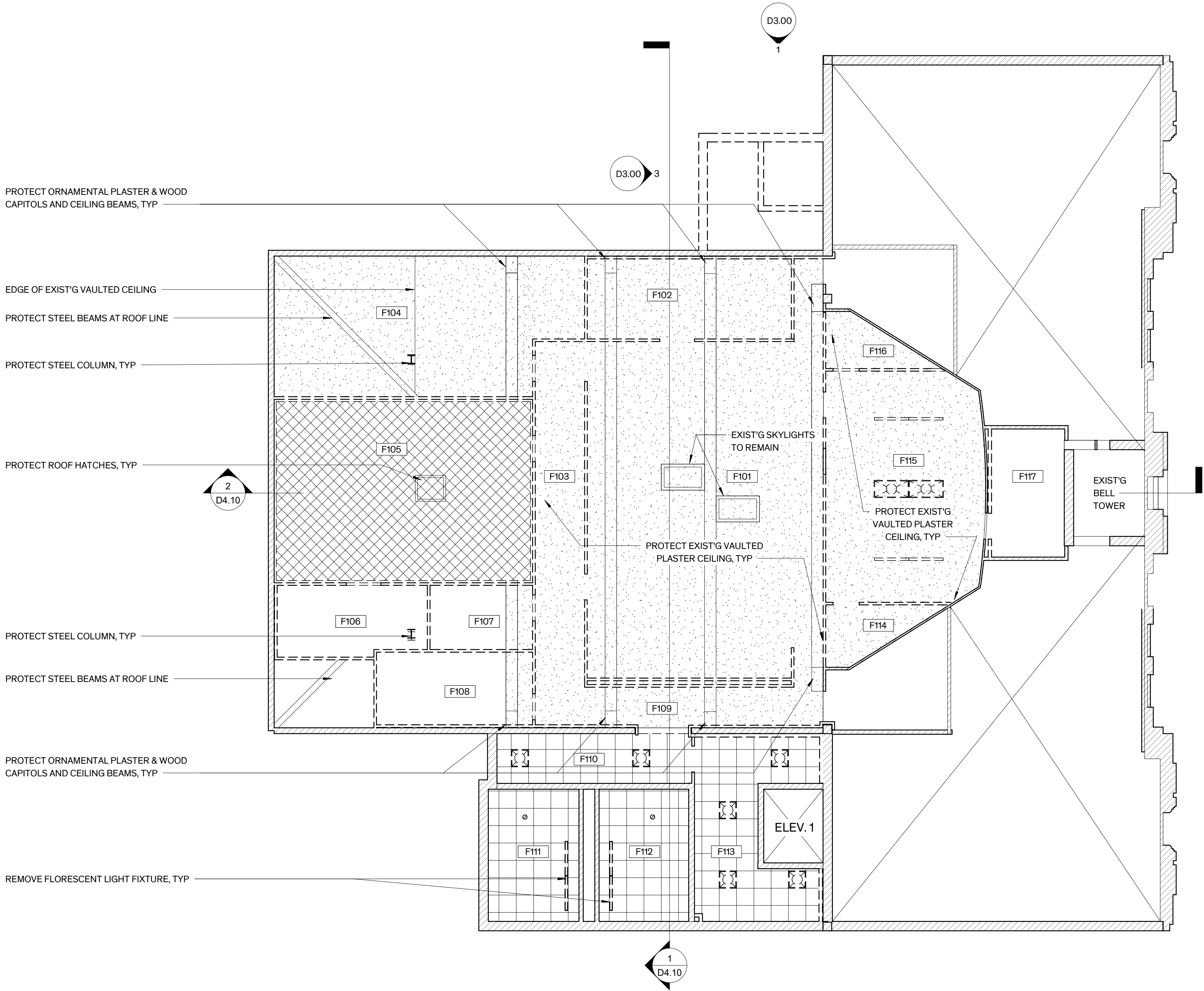
GENERAL NOTES

- GENERAL**
- CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO DESIGNATED ON-SITE LOCATION AS INSTRUCTED BY OWNER, TYP.
 - CONTRACTOR IS TO RETAIN HISTORIC MATERIAL UNCOVERED DURING SELECTIVE DEMOLITION FOR ARCHITECT TO REVIEW.
 - REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.

- PROTECTION**
- PROTECT INTERIOR FINISHES, HISTORIC FIREPLACES AND ELEMENTS SCHEDULED TO REMAIN DURING SELECTIVE DEMOLITION PROCESS. DAMAGE TO EXISTING FINISH SURFACES BY THE CONTRACTOR SHALL BE CORRECTED IN KIND AT NO ADDITIONAL EXPENSE TO THE COUNTY.
 - REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY AND MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION AND CONSTRUCTION DEBRIS AND EQUIPMENT.
 - PROTECT EXISTING SMOOTH PLASTER WAINSCOT W/ FAUX TILE SCORING FOR FINISH REFERENCE. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD

- CEILINGS**
- EXISTING SUSPENDED ACOUSTICAL TILE SYSTEMS & GYPSUM BOARD ASSEMBLIES.
 - REMOVE & DISPOSE SUSPENDED ACOUSTICAL TILE ASSEMBLIES, INCLUDING NON-ORIGINAL METAL & WOOD FRAMING & ASSOCIATED FASTENERS TO EXPOSE ORIGINAL PLASTER CEILINGS THROUGHOUT THE BUILDING.
 - USE PROCEDURES FOR REMOVAL THAT MINIMIZE DAMAGE TO EXISTING PLASTER CEILINGS.

- MECHANICAL, ELECTRICAL, PLUMBING**
- REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS.
 - REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE.
 - WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1 INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
 - REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS. RE: MEP FOR EQUIPMENT TO REMAIN.
 - PROTECT EXISTING FIRE SPRINKLER SYSTEM AS DIRECTED BY OWNER.
 - REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.



1 Level "F" Demo RCP
1/8" = 1'-0"

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


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TX Registration No. 9409

Architexas No. 2205 Date 04/14/2022

Sheet Name
Level F Demo RCP

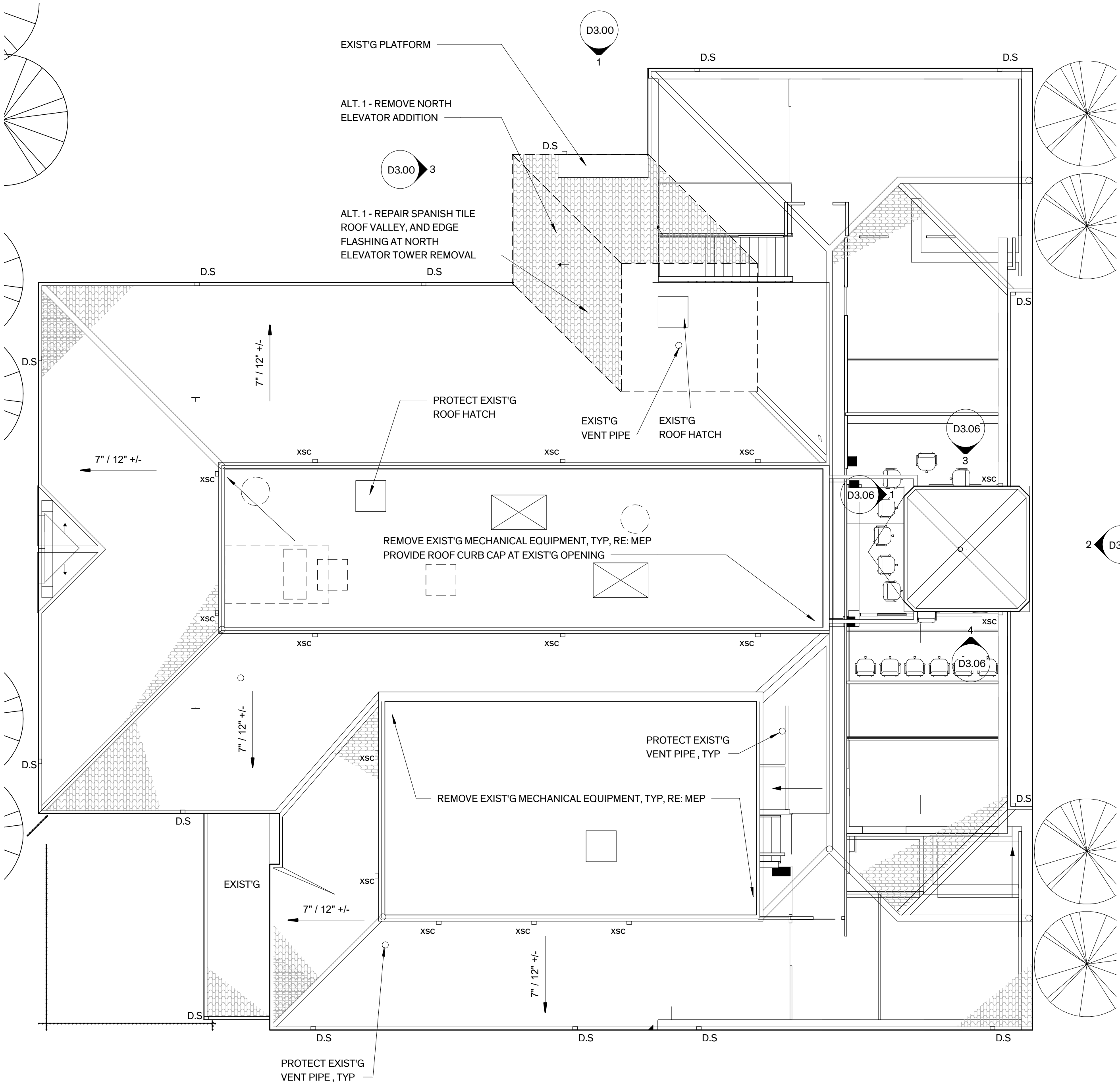
Sheet Number

LEGEND

	EXISTING SCUPPER
	EXISTING SPANIS TILE ROOF
	SPANISH TILE ROOF
	REMOVE EXHAUST VENT, PROVIDE CURB CAP
	PROTECT EXISTING DOWNSPOUT, TYP.

GENERAL NOTES

- GENERAL**
- CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO DESIGNATED ON-SITE LOCATION AS INSTRUCTED BY OWNER, TYP.
 - REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.
 - PROTECT EXISTING MATERIALS DURING CONSTRUCTION THAT ARE SCHEDULED TO REMAIN.
 - ALT. 1 - SALVAGE ROOF TILE, CAST STONE CORNICE, WATER TABLE, ETC. FROM NORTH ELEVATOR ADDITION FOR REUSE.
 - ALT. 1 - INSTALL SALVAGED MATERIAL AT EXISTING ROOF AREAS & EXTERIOR WALL, DAMAGED DURING THE REMOVAL OF THE NORTH ELEVATOR ADDITION. PROVIDE MATCHING MATERIAL AS REQUIRED, LIKE FOR LIKE.
- MECHANICAL, ELECTRICAL, PLUMBING**
- REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS.
 - REMOVE AND DISCARD EXISTING MECHANICAL EQUIPMENT, DUCTWORK, ACCESSORIES, AND PIPING UNLESS NOTED OTHERWISE.



1 Demo Roof Plan
1/8" = 1'-0"

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TX Registration No. 9409

Architexas No. 2205 Date 04/14/2022

Sheet Name
Demolition Roof Plan

Sheet Number

DOOR SCHEDULE ALT 1												
DOOR NO.	EXISTING	SIZE		DOOR TYPE		FRAME TYPE		DETAIL			HARDWARE SET NO.	REMARKS
		WIDTH	HEIGHT	DOOR	GLASS	FRAME	GLASS	THRESH	JAMB	HEAD		

DOOR & CASING TYPES

DOORS

TYPE D1

WOOD W/ GLASS
PAINTED INT/EXT FINISH

CASINGS

TYPE C1

WOOD W/ GLASS
PAINTED INT/EXT FINISH

GENERAL NOTES

1. BASIS BID SCOPE OF WORK - NORTH ELEVATOR ADDITION TO REMAIN WITH ELEVATOR & EQUIPMENT.
2. ALT. 1 SCOPE OF WORK - REMOVE NORTH ELEVATOR ADDITION AND ELEVATOR. PROTECT ORIGINAL EXTERIOR WALL DURING REMOVAL. INFILL EXTERIOR WALL TO RECREATE MASONRY OPENING. PROVIDE SCHEDULED WINDOW, DOORS, OR TRANSOMS WHERE INDICATED. REPAIR ROOF AS REQUIRED USING SALVAGE & NEW ROOF MATERIAL TO MATCH EXISTING.
3. ALL WORK SHOWN ON THIS SHEET IS ASSOCIATED WITH ALTERNATE 1 SCOPE. OWNER TO CONFIRM ACCEPTANCE OF SCOPE PRIOR TO START OF WORK.
4. PROVIDE EXTERIOR WINDOWS IN RECONSTRUCTED MASONRY OPENING, INCLUDING ASSOCIATED BRICKMOULD, ACCESSORIES, FASTENERS, ETC. WITH PREFINISHED ALUMINUM CLAD WOOD WINDOWS. PROVIDE MISSING EXTERIOR CAST STONE WINDOW SURROUND & PANELS, WATER TABLE COURSE.
5. INTERIOR TRIM SHALL REMAIN AS IS UNLESS NOTED OTHERWISE.
6. ALL WINDOW LOWER SASHES SHALL BE OPERABLE. UPPER SASHES FIXED IN PLACE. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ARCHITECT & OWNER SHALL BE NOTIFIED OF CHANGES TO SCOPE OF WORK AND EXTENT OF INFILL REQUIRED.
7. ALL GLAZING SHALL BE 1" LOW-E IGU AS SPECIFIED. CLEAN & PAINT EXPOSED SURFACES OF THE EXISTING STEEL LINTELS, TYP.
8. REPAIR DOOR AT TOWER AS NOTED ON SHEET D3.02

REMOVE ROOF
STRUCTURE BACK TO
HISTORIC BUILDING

4 Elevator Tower West Proposition Elevation
1/4" = 1'-0"

REMOVE ROOF
STRUCTURE BACK TO
HISTORIC BUILDING

3 Elevator Tower North Proposed Elevation
1/4" = 1'-0"

REMOVE ROOF
STRUCTURE BACK TO
HISTORIC BUILDING

2 Elevator Tower West Demo Elevation
1/4" = 1'-0"

REMOVE ROOF
STRUCTURE BACK TO
HISTORIC BUILDING

1 Elevator Tower North Demo Elevation
1/4" = 1'-0"

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Architexas No. 2205
Date 04/14/2022

Sheet Name
Alternate No. 1

Sheet Number

D3.00

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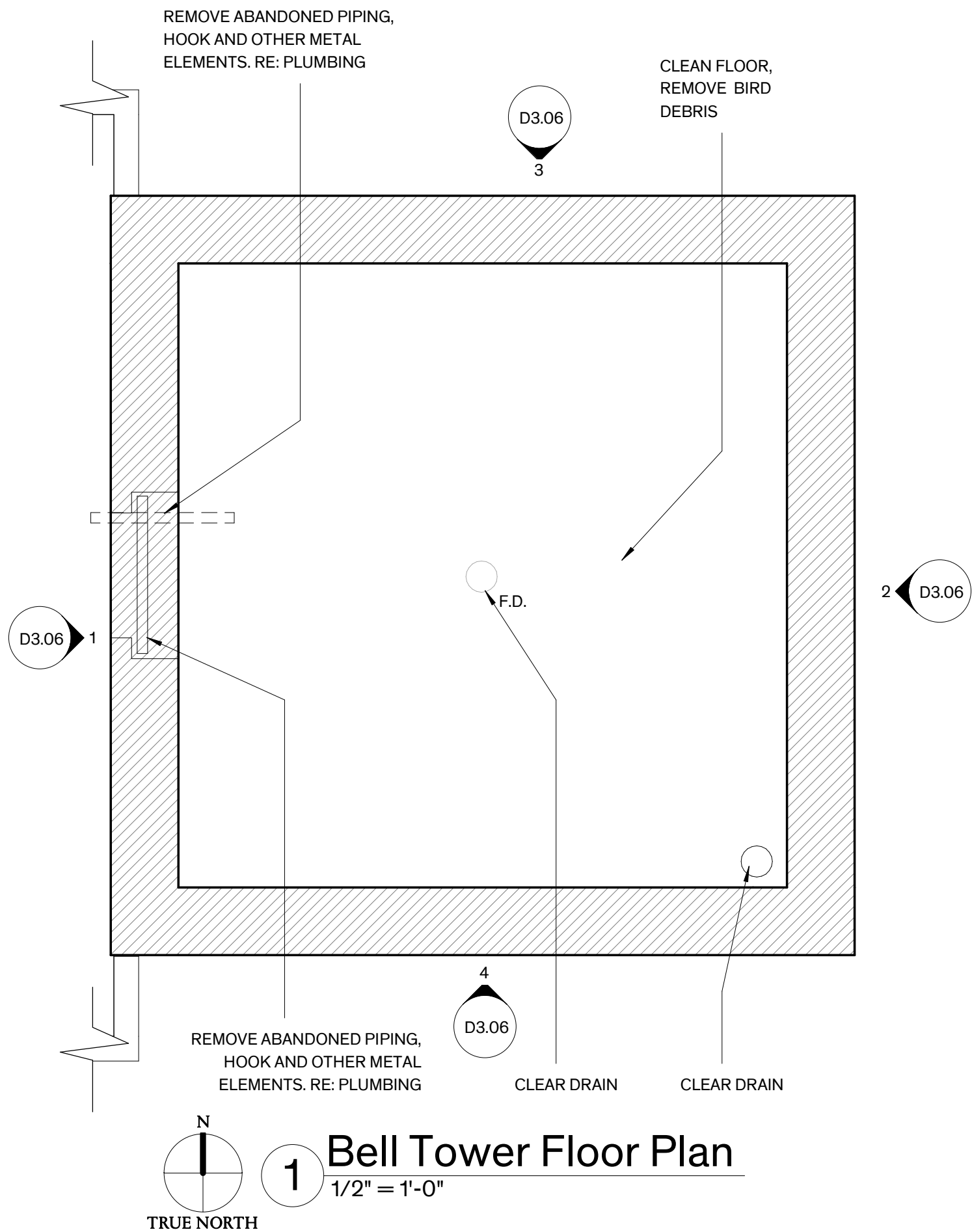
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TX Registration No. 9409

Architexas No. 2205 **Date** 04/14/2022

Sheet Name
Bell Tower Plans

Sheet Number

D3.02



GENERAL NOTES

GENERAL

- CONTRACTOR SHALL DELIVER SALVAGED ITEMS TO DESIGNATED ON-SITE LOCATION AS INSTRUCTED BY OWNER, TYP.
- CONTRACTOR IS TO RETAIN HISTORIC MATERIAL UNCOVERED DURING SELECTIVE DEMOLITION FOR ARCHITECT TO REVIEW.
- REMOVE EXISTING FASTENERS, STRAPS, PIPING, CONDUIT, WIRE, ETC. FROM EXISTING FINISH SURFACES, TYP.

PROTECTION

- PROTECT HISTORIC INTERIOR FINISHES AND ELEMENTS SCHEDULED TO REMAIN DURING SELECTIVE DEMOLITION PROCESS. DAMAGE TO EXISTING FINISH SURFACES BY THE CONTRACTOR SHALL BE CORRECTED IN KIND AT NO ADDITIONAL EXPENSE TO THE COUNTY.
- REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY AND MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION AND CONSTRUCTION DEBRIS AND EQUIPMENT.
- PROTECT LEVEL C LOBBY ORIGINAL FINISHES, LIGHT FIXTURES AND GROWN MOULDING. IDENTIFY LOCATION FOR PROTECTION WITH ARCHITECT IN FIELD

WALLS

- REMOVE AND DISCARD MASONRY OR STUD WALLS AND ASSOCIATED FASTENERS WHERE INDICATED ON THE DRAWINGS. PROTECT EXISTING CONCRETE FLOOR WITH INTEGRAL COVE BASE.
- CAREFULLY REMOVE NON-ORIGINAL WALL FINISHES AND ASSOCIATED FURRING WITHOUT CAUSING DAMAGE TO ORIGINAL SURFACES BEYOND.
- REMOVE METAL FURRING AND FASTENERS FROM INTERIOR SURFACE OF EXTERIOR WALLS. ASSUME CONDITION AT ALL EXTERIOR WALLS.

FLOORS

- EXISTING CONCRETE FLOORING:
 - PROTECT HISTORIC EXPOSED CONCRETE WITH INTEGRAL BLACK BORDER AND COVED WALL BASE.
 - REMOVE EXISTING CONCRETE SLAB WHERE INDICATED ON THE DRAWINGS. ORIGINAL CONCRETE FLOOR AND STRUCTURE TO REMAIN. RE: STRUCTURE FOR EXTENT OF INFILL FLOORS TO BE REMOVED.
- MOSAIC TILE FLOORS & WAINSCOT
 - REMOVE ALL TILE FLOORS AND WAINSCOT FROM PREVIOUS RESTROOM LOCATIONS.
 - PROTECT HISTORIC TILE IN LOBBY.
- FLOOR REMOVAL:
 - REMOVE NON-ORIGINAL CONCRETE FLOOR AND METAL STRUCTURE WHERE INDICATED IN PLAN. IDENTIFY EXTENT OF INFILL FLOOR IN THE FIELD & PROTECT ORIGINAL CONCRETE FLOOR DURING REMOVAL.
 - PROVIDE TEMPORARY FALL PROTECTION AT FLOOR OPENINGS AS REQ'D.

DOORS & WINDOWS

- REMOVE EXISTING INTERIOR DOORS AND FRAMES AS INDICATED ON DRAWINGS. ALL DOORS ARE FROM 1980 - 1990S RENOVATIONS, WOOD VENEER WITH HOLLOW METAL FRAME.
- SELECT NON-HISTORIC DOORS & FRAMES TO REMAIN FOR SAFETY DUE TO CHANGE IN FLOOR LEVELS. REFER TO DRAWINGS FOR SPECIFIC LOCATIONS.
- EXTERIOR DOORS TO REMAIN UNLESS NOTED OTHERWISE (NOTE ALT. 1).
- HISTORIC VAULT DOORS ARE TO REMAIN AND PROTECT DURING CONSTRUCTION.

ELEVATOR

- ALT. 1 - REMOVE EXIST'G NORTH ELEVATOR ADDITION, SUPPORT SYSTEMS, CONCRETE PIT, EQUIPMENT & PIPING, ETC. COORDINATE MEP AND STRUCTURAL FOR REMOVAL

MECHANICAL, ELECTRICAL, PLUMBING

- REMOVE EXISTING CONDUIT, OUTLETS, RACEWAYS, SWITCHES, SLEEVES, STRAPS, ANCHORS, NAILS, BOLTS, SCREWS, ETC. WHICH ARE EXPOSED OR UNCOVERED DURING SELECTIVE DEMOLITION, WHETHER OR NOT THEY ARE INDICATED ON THE DRAWINGS. RE: MEP
- REMOVE AND DISCARD EXISTING PLUMBING FIXTURES, ACCESSORIES, AND INTEGRAL PIPING UNLESS NOTED OTHERWISE. RE: PLUMBING WHERE ELEMENTS ARE EMBEDDED IN FINISH SURFACES, CUT BACK ITEM A MINIMUM OF 1 INCH BEHIND FINISHED SURFACE TO ENSURE PROPER FINISHING DURING FUTURE RESTORATION PHASE.
- REMOVE & DISCARD NON-ORIGINAL LIGHT FIXTURES, ELECTRICAL SUPPLY & DISTRIBUTION ELEMENTS. RE: MEP FOR EQUIPMENT TO REMAIN. RE: ELEC
- REMOVE EXISTING SECURITY SYSTEM & ASSOCIATED WIRING & COMPONENTS.
- TURN GAS SERVICE OFF & REMOVE GAS LINES TO OUTSIDE OF BUILDING.

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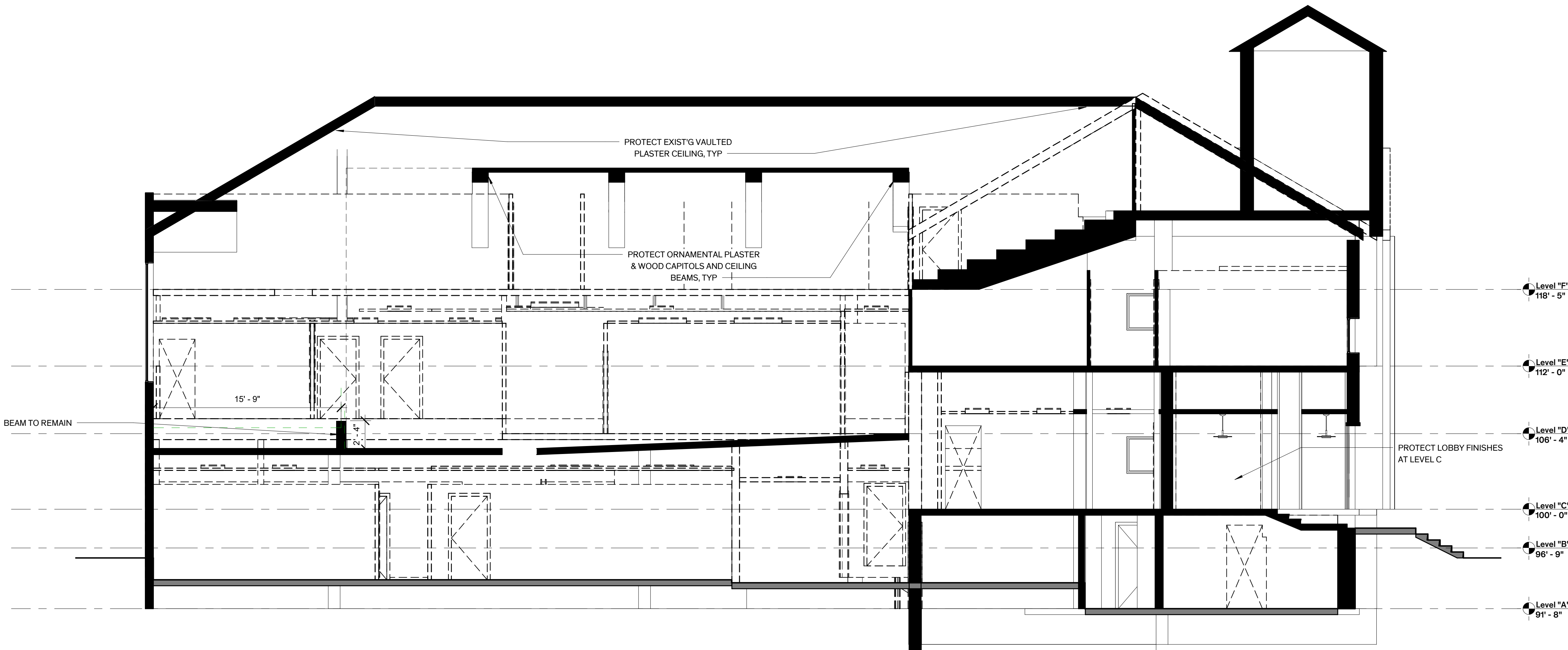
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TX Registration No. 9409

Architexas No. 2205 Date 04/14/2022

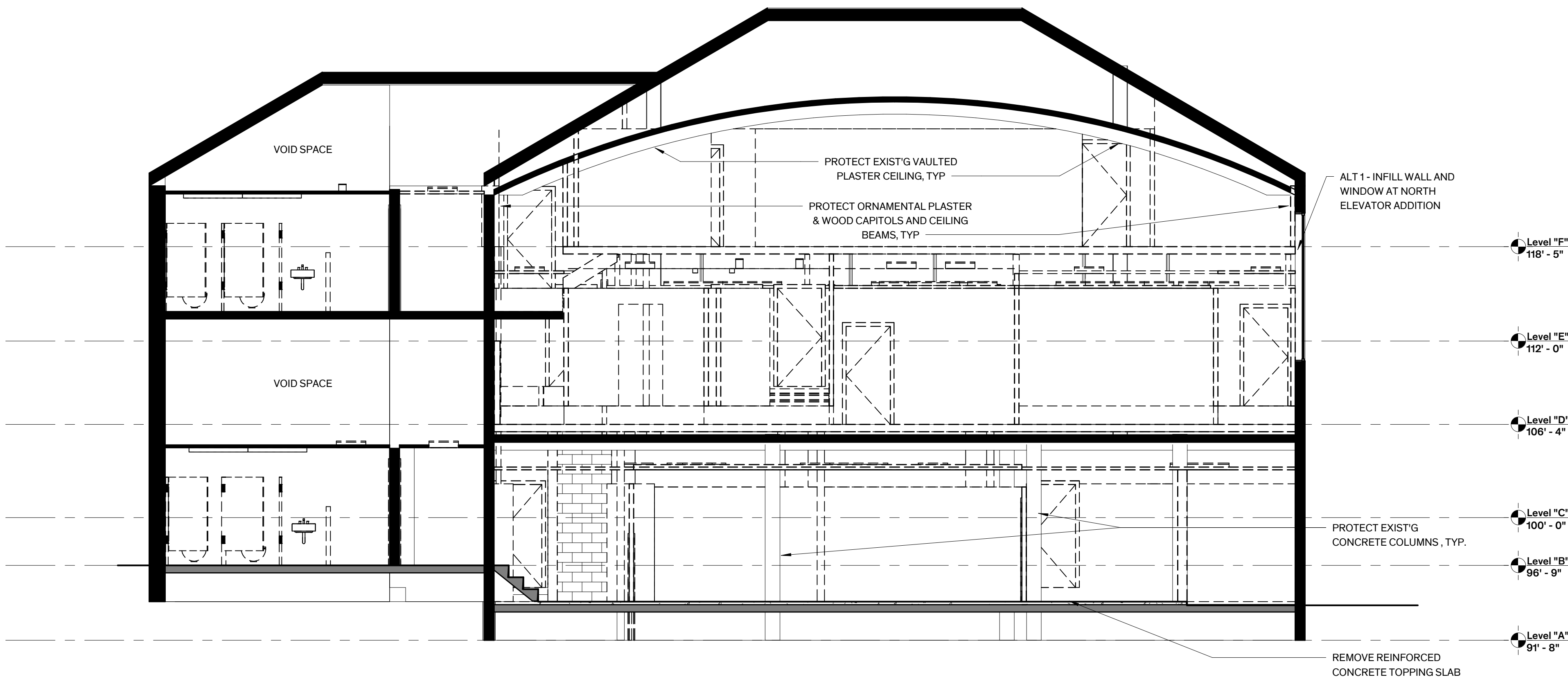
Sheet Name
Building Sections

Sheet Number

D4.10



2 Section 1
3/16" = 1'-0"



1 Section 2
3/16" = 1'-0"