

**Exhibit B – DEVELOPMENT STANDARDS
PD25-0003**

Craver Ranch

PD – 2,499.35 acres

City of Denton, Denton County, Texas

SECTION 1: Purpose Statement

The purpose of the proposed Planned Development (PD) District is to facilitate a well-designed, comprehensive, master planned residential community encompassing approximately 2,499.35 acres (the “Property”) located in the northern portion of the City of Denton, Denton County, Texas. The Property is generally between FM 2153 on the east and FM 2164 on the west. The majority of the immediate neighboring property is within the City of Denton’s extra-territorial jurisdiction (ETJ). There are two school districts within the Property, Sanger ISD and Denton ISD. The proposed PD will be known as ‘Craver Ranch’.

The proposed development will be a residential community focused on providing a variety of residential product types for all ages and stages of economic growth along with supporting commercial use located in mixed-use regional and neighborhood nodes. Craver Ranch will incorporate pedestrians and cyclists with a series of shared pathways providing connectivity to the various residential neighborhoods and parks provided throughout the development. Architectural consistency will be developed by integrating common, thematic architectural elements, color palettes, and characteristics throughout the development.

The regulations set forth in these development standards are for the PD District which consists of approximately 2,499.35 acres described in Exhibit A.

SECTION 2: Definitions

Zero Lot Line Dwellings: Detached single-family dwellings arranged on individual lots with one side wall located directly on a side property line.

Concrete Washout Lot: a designated, contained area on a construction site where concrete trucks, tools and equipment are washed.

SECTION 3: Permitted Uses and Dimensional Standards

Where modifications are not expressly authorized within the Planned Development Standards, all requirements of the Denton Development Code, as amended, must be met.

The property shall be developed in accordance with Residential 4 (R4); Residential 7 (R7); Mixed-Use Neighborhood (MN), Mixed-Use Regional (MR) and Public Facilities (PF) Zoning Districts, and as provided within this PD as outlined in the following Permitted Uses table below.

3.1.1 Permitted Uses (DDC 5.2):

Table 5.2-A: Table of Allowed Uses							
		P = Permitted S = specific use permit required Blank cell = use prohibited + = use-specific standards apply					
		Residential		Mixed-Use		Other Non-Residential	Use-Specific Stnds
		R4	R7	MN	MR	PF	
		Residential Uses					
Single-Family Detached Dwelling		P+	P+	P+			5.3.3A
70-Foot Lot		P+	P+	P+			5.3.3A
60-Foot Lot		P+	P+	P+			5.3.3A
50-Foot Lot		P+	P+	P+			5.3.3A
40-Foot Lot		P+	P+	P+			5.3.3A
Zero Lot Line		S+	P+	P+	P+		5.3.3B
Townhome		S+	P+	P+	P+		5.3.3B
Duplex		S+	P+	P+	P+		5.3.3C
Triplex			P+	P+	P+		5.3.3C
Fourplex			P+	P+	P+		5.3.3C
Multifamily Dwelling			S+	P+	P+		5.3.3D
Work/Live Dwelling			P+	P+	P+		5.3.3F
Park, Playground, Open Space		P	P	P	P	P	
		Group Living					
Elderly Housing		P+	P+	P+	P+		5.3.3H
Community Home		P+	P+	P+	P+		5.3.3I
Group Home		S+	S+	S+	S+		5.3.3J
		Community and Cultural Facilities					

	Table 5.2-A: Table of Allowed Uses					
	P = Permitted S = specific use permit required Blank cell = use prohibited + = use-specific standards apply					
	Residential		Mixed-Use		Other Non-Residential	Use-Specific Stnds
	R4	R7	MN	MR	PF	
Community Service	P	P	P	P	P	
Day Care, Adult or Child	S	P	P	P		
Religious Assembly	P+	P+	P+	P+	P+	
School, Private	P	P	P	P	P	
School, Public	P	P	P	P	P	
School, Charter	P	P	P	P	P	
	Healthcare Facilities					
Hospital Services				P+		5.3.4F
Medical Clinic			P+	P+		5.3.4G
Medical Office			P+	P+		5.3.4H
	Agricultural					
General Agriculture	P+	P+	P+	P+	P+	5.3.5A
Community Garden	P	P	P	P	P	
	Recreational and Entertainment					
Amenity Center	P	P	P	P		
Indoor Recreation Facility			P	P		
Outdoor Recreation Facility	P	P	S	S		
	Food and Beverage Services					
Bar, Tavern, or Lounge			S+	P		5.3.5F
Mobile Food Court			S+	S+		5.3.5G
Restaurant			P	P		
Restaurant, with Drive-Through			P+	P+		5.3.5J
	Office, Business, and Professional Services					
Administrative, Professional, & Government Office			P+	P	P	5.3.5K

Table 5.2-A: Table of Allowed Uses						
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	Residential		Mixed-Use		Other Non-Residential	Use-Specific Stnds
	R4	R7	MN	MR	PF	
Bank or Financial Institution			P+	P		5.3.5L
General Retail Unless Otherwise Specified, less than 5,000 sf		P	P	P	P	
General Retail Unless Otherwise Specified, Between 5,000 sf and 15,000 sf			P	P		
General Retail Unless Otherwise Specified, Greater than 15,000 sf			S	P		
Lodging Facilities						
Hotel			P	P		
Short-Term Rental			P+			5.3.5T
Vehicles and Equipment						
Auto Wash				P		
Automotive Fuel Sales			S+	P+		5.3.5U
Automotive Repair Shop, Major				P+		5.3.5V
Automotive Repair Shop, Minor			S+	P+		5.3.5W
Public and Semi-Public Utility Uses						
Basic Utilities	P	P	P	P	P	
Power Stations, Electric Substations, Interchanges, and Switch Stations			P+	P+	P+	5.3.7A
Solar Collector as a Principal Use	P+	P+	P+	P+	P+	5.3.7B
Accessory Uses						

	Table 5.2-A: Table of Allowed Uses					
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	Residential		Mixed-Use		Other Non-Residential	Use-Specific Stnds
	R4	R7	MN	MR	PF	
Accessory Dwelling Unit	P+	P+				5.4.4A
Home Occupation	P+	P+	P+	P+		5.4.4C
Solar Collector, (Ground or Building Mounted)	P+	P+	P+	P+	P+	5.4.4F
Temporary Uses						
Model Home Park	P	P				
Concrete Washout Lot	P	P				
Temporary Storage Containers & Other Portable Storage Units	P+	P+	P+	P+		5.5.6A
Concrete or Asphalt Batching Plant, Temporary	P+	P+	P+	P+		5.5.6B
Farmer's Market or Open Air Market	P+	P+	P+	P+		5.5.4
Field or Construction office	P+	P+	P+	P+		5.5.6C
Seasonal Sales			P+	P+		5.5.4
Special Event	P+	P+	P+	P+		5.5.4
Portable Wireless Telecommunications Facility	P+	P+	P+	P+		5.5.4

3.1.2 **Prohibited Uses:**

Any land use not expressly permitted within these PD District Standards.

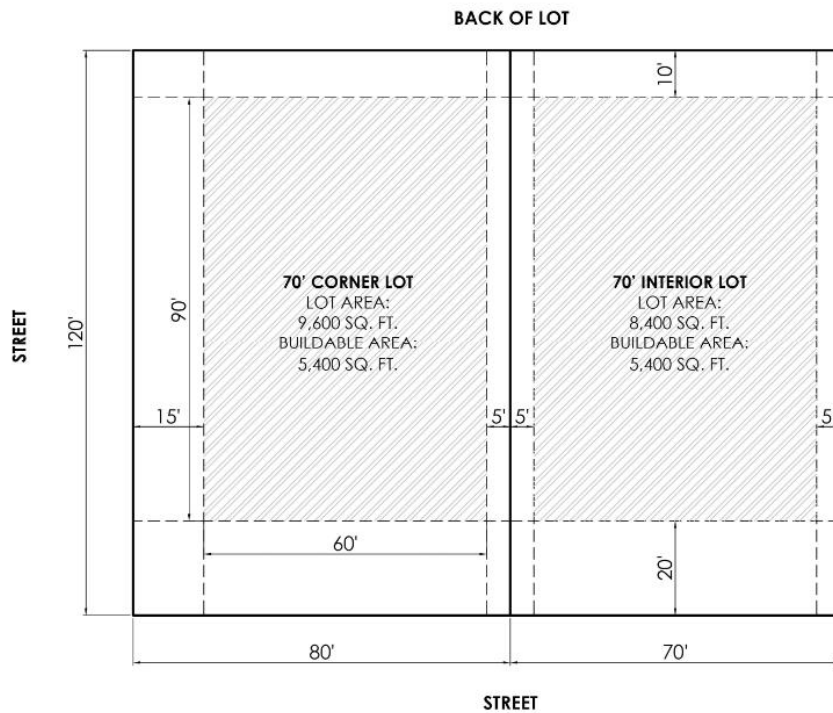
3.2 **Dimensional Standards:** The property shall be developed in accordance with the Zoning Plan attached as Exhibit C. The development shall comply

with the dimensional and development standards as outlined, unless otherwise outlined in Section 3.2 below.

Subdivision Regulations:

- a) Lot planning and subdivision design shall comply with DDC 8.3, except where modified below.
- b) The lot widths shall be measured along the arc of the primary structure setback line.
- c) For Cul-de-sacs and eye-brows/elbows, for all lots 40' in width or wider, the minimum lot width measured at the building line may be reduced by a maximum of five (5) feet; the minimum lot width measured at the right-of-way line shall be thirty-five (35) feet.
- d) Side lot lines may deviate from perpendicular or radial to the right-of-way up to 15 degrees.

3.2.1 70' Lot – Residential



Minimum Lot Dimensions

- Lot area: 8,400 square feet
- Lot width: 70 feet (interior); 80 feet (corner lot)
- Lot depth: 120 feet

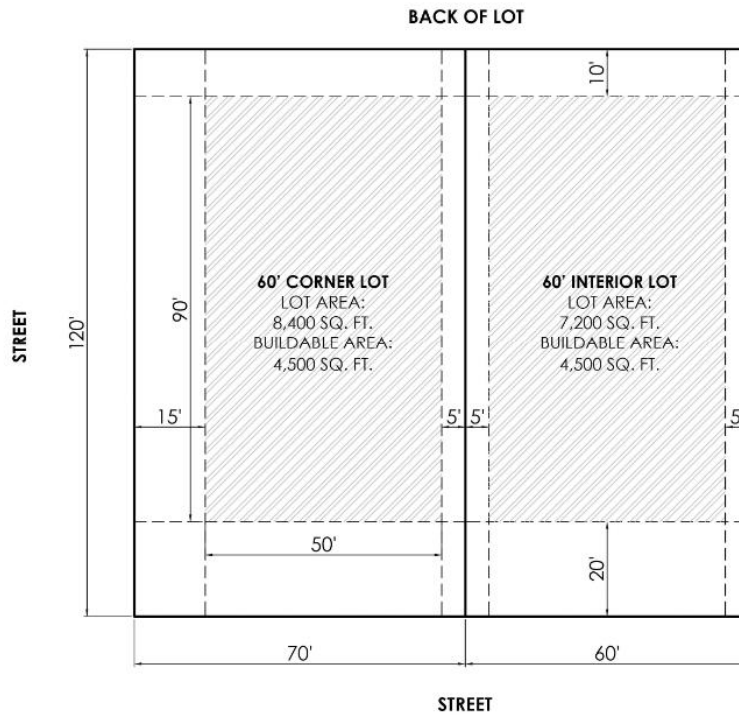
Minimum Setbacks:

- Front yard: 20 feet
- Side yard: 5 feet (interior); 15 feet (corner lot)
- Rear yard: 10 feet

Other Standards:

- Building height (maximum): 2-story and 40 feet
- Building coverage (maximum): 65%

3.2.2 60' Lot – Residential



Minimum Lot Dimensions

Lot area: 7,200 square feet
Lot width: 60 feet (interior); 70 feet (corner lot)
Lot depth: 120 feet

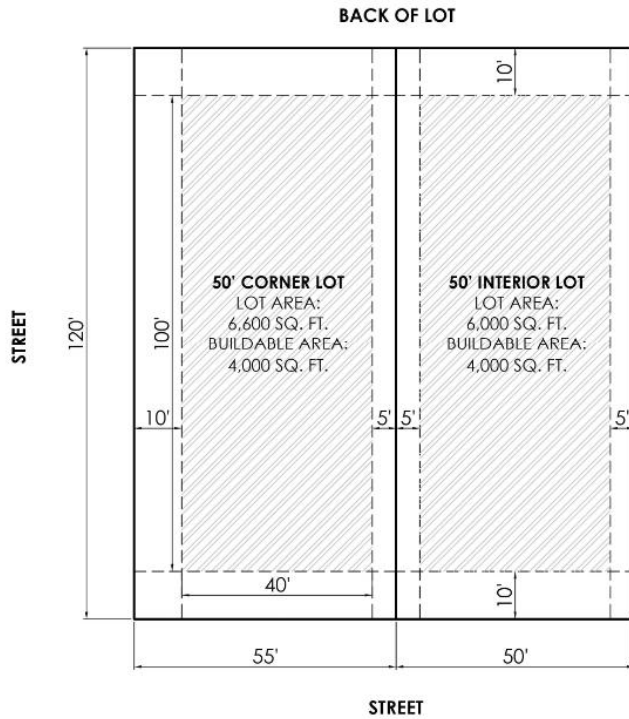
Minimum Setbacks:

Front yard: 20 feet
Side yard: 5 feet (interior); 15 feet (corner lot)
Rear yard: 10 feet

Other Standards:

Building height (maximum): 2-story and 40 feet
Building coverage (maximum): 65%

3.2.3 50' Lot – Residential



Minimum Lot Dimensions

Lot area: 6,000 square feet
Lot width: 50 feet (interior); 55 feet (corner lot)
Lot depth: 120 feet

Minimum Setbacks:

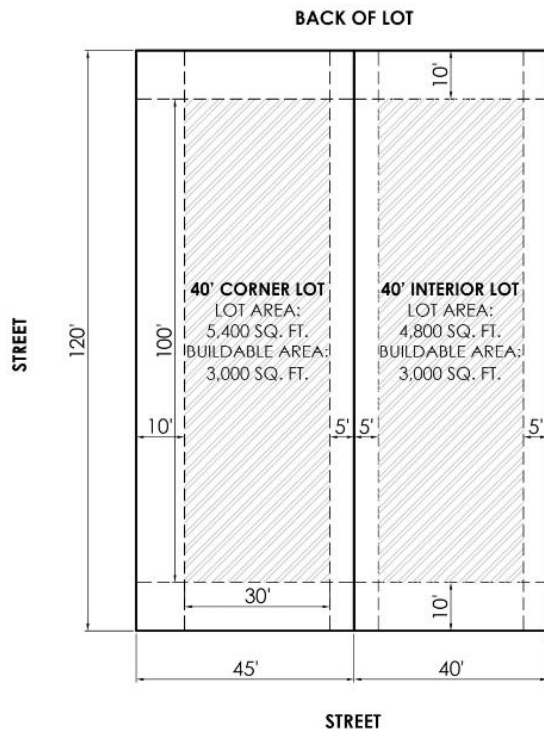
Front yard: 10 feet
Side yard: 5 feet (interior); 10 feet (corner lot)
Rear yard: 10 feet

Other Standards:

Building height (maximum): 2-story and 40 feet
Building coverage (maximum): 67%
Maximum number of residential lots: 3,056*

* The maximum number of 50' wide lots may vary by ten percent (10%) as approved administratively if the overall number of residential lots is not exceeded.

3.2.4 40' Lot – Residential



Minimum Lot Dimensions

Lot area: 4,800 square feet
Lot width: 40 feet (interior); 45 feet (corner lot)
Lot depth: 120 feet

Minimum Setbacks:

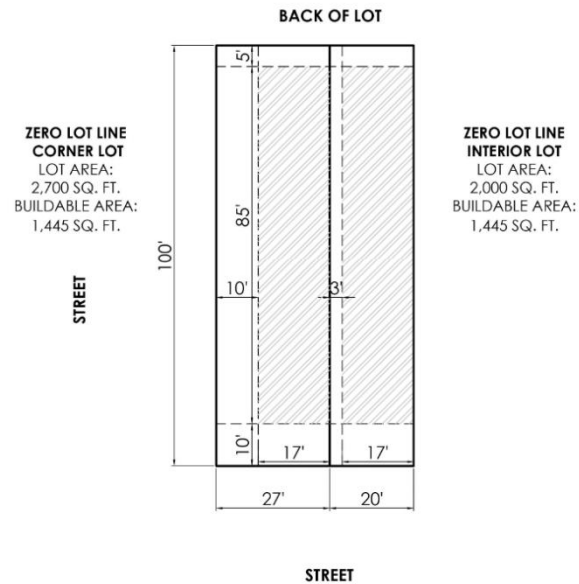
Front yard: 10 feet
Side yard: 5 feet (interior); 10 feet (corner lot)
Rear yard: 10 feet

Other Standards:

Building height (maximum): 2-story and 40 feet
Building coverage (maximum): 65%
Maximum number of residential lots: 2,254*

* The maximum number of 40' wide lots may vary by ten percent (10%) as approved administratively if the overall number of residential lots is not exceeded.

3.2.5 Zero Lot Line – Residential



Minimum Lot Dimensions

Lot area: 2,000 square feet
Lot width: 20 feet (interior); 27 feet (corner lot)
Lot depth: 100 feet

Minimum Setbacks:

Front yard: 10 feet
Side yard: 0 feet and 3 feet (interior); 10 feet (corner lot)

Each lot shall have a 0-foot side yard setback and a minimum 3-foot setback for the opposite side yard lot line.

Rear yard: 5 feet

Other Standards:

Any zero lot line residential lots shall have rear-entry garages accessible from alleys.

Building height (maximum): 2-story and 40 feet

Building coverage (maximum): 85%

Maximum number of residential lots: 1,084*

* The maximum number of zero lot line (ZLL) lots may increase by decreasing the corresponding number of multi-family units, as approved administratively if the overall number of TH and ZLL lots plus multi-family unit total is not exceeded. The zero lot line unit count shall be considered in the maximum number of townhome units (i.e. not a part of the single-family lot).

3.2.6 MN – Mixed-Use Neighborhood

Minimum Lot Dimensions

Lot area: 2,500 square feet

Lot width: 20 feet

Lot depth: 50 feet

Minimum Setbacks:

Front yard: 10 feet

Side yard: none

Rear yard: none

Other Standards:

Building height (maximum): 65 feet

Building coverage (maximum): 80%

3.2.7 MR – Mixed-Use Regional

Minimum Lot Dimensions

Lot area: none

Lot width: none

Lot depth: none

Minimum Setbacks:

Front yard: none

Side yard: none

Rear yard: none

Other Standards:

Building height (maximum): 100 feet

Building coverage (maximum): 90%

3.2.8 Overall Residential Development Summary

- a. The following summary of residential lots corresponds with the Development Plan, Exhibit D.1.
- b. The number of lot types shall be as prescribed in the above table and as provided within the PD Development Plan. The Director may administratively approve an increase in the total maximum number of 50-foot and 40-foot wide lots permitted by no more than 10%.

	GROSS AREA	SF UNITS	TH/ZERO LOT LINE UNITS	MF UNITS
TOTAL	±2,499.35	7,091	1,084 ¹	1,015 ¹

¹ Number of multi-family units may be decreased by increasing the townhome or zero lot line units by the corresponding number of units.

SECTION 4: Development Standards

This PD District shall comply with the development standards listed in this Section below, and in accordance with the Zoning Plan and Landscape & Open Space Plan as attached Exhibits respectively. Otherwise, all requirements of the 2019 Edition of the Denton Development Code (DDC) shall apply except where modified herein.

4.1 Residential Landscape Standards

4.1.1 Screening Regulations

- a. Mechanical equipment shall be located in the rear yard or on the side of the residence, outside of the side yard setback.
- b. The screening requirement for all residential uses shall be a six (6) foot solid masonry wall for lots backing or siding to a Major Arterial, Minor Arterial, Major Collector, and Minor Collector.

4.1.2 Minimum Landscaping

- a. Front yard landscaping shall be minimum 30% of the front yard area.
- b. Rear yard landscaping shall be minimum 20% of the rear yard area.
- c. Unless specified below, every residential lot shall have at least one (1) tree of a minimum 3"-caliper in a location determined by the builder.

- a. Zero Lot Line and townhome residential lots shall be required to have at least one (1) small accent tree of a minimum 30-gallon container in a location determined by the builder.
- d. All residential lot trees described here shall be planted by the homebuilder.
- e. Full landscaped yard (front, side and rear) sod and irrigation required for all residential lots.

4.1.3 Street Trees

- a. Street trees for internal streets shall be located within the street right-of-way or within private open space lots adjacent to the street, subject to spacing needs.
- b. At least one (1) street tree is required for every 40 feet of street frontage

4.1.4 Fencing

- a. Fencing in the front yards is not allowed.
- b. Masonry, wrought iron / tubular steel / decorative metal, or a combination of the two is required for the portion of any lot's boundary that is adjacent to an amenity, open space, greenbelt, or other open area.
 - a. Fencing adjacent to an amenity, open space, greenbelt, or other open areas shall be installed by the developer.
 - b. A continuous row of evergreen shrubs shall be installed by the developer on the amenity, open space, greenbelt, or other open areas lot along any wrought iron / tubular steel / decorative metal fence.
 - c. Maintenance of the fence and landscaping within the amenity, open space, and greenbelt areas shall be the responsibility of a Property Owners' Association.
- c. Wood Fencing:
 - a. All wooden fencing shall be stained and preserved.
 - b. All fencing adjacent to public ROW, open spaces, or public view on a Lot shall be no less than six feet (6') in height from grade, and shall be constructed board-on-board, of spruce wood with steel posts.
 - c. Posts for all wood fences must not be visible on any fence facing the street, front of a home, any Common Area, Open Space or other highly visible area.
 - d. Fencing for interior Lots not visible from any public standpoint shall be board-to-board, spruce or better.
 - e. All wood fences shall adjust for grade and maintain at least one inch (1") gap between the ground and wood to prevent rotting or decay. Vertical posts spacing should be no more than eight feet (8') on center or less and set in concrete post footings of a minimum of 1/3 the height of the post. All fencing shall include a top cap or trim and be stained.

- d. Wrought Iron / Tubular Steel / Decorative Metal Fencing:
 - a. In addition to the standards below, the use of wrought iron, tubular steel, and/or decorative metal fencing shall comply with the Denton Development Code in regard to location, material, height, and style.
 - b. Wrought iron, tubular steel, and/or decorative metal fencing, to be installed by the Developer, shall be black and of a type designed to be rust proof and suitable for Texas weather.
 - c. Minimum height shall be no less than three (3) feet and maximum of six (6) feet.
- e. Masonry Fencing:
 - a. Masonry Fencing shall consist of brick, stone, or decorative concrete panels.
 - b. Masonry fencing shall be no less than six feet (6') in height from grade.
 - c. Decorative masonry pilasters shall be required at a maximum of 50' on center.

4.2 Parking Standards

4.2.1 Amount of off-street parking required

- a. The minimum parking requirements will comply with DDC Section 7.9.
- b. The minimum parking requirement for Zero Lot line development is two (2) spaces per dwelling unit.

4.3 Site and Building Design Standards

Site and building design shall comply with DDC 7.10, as amended, except where modified below:

4.3.1.1 Anti-Monotony Requirements.

- a. No front house elevation on a single-family residence shall be repeated on the same side of the street unless it is separated by a minimum of four (4) lots from the same elevation. No front house elevation on a single-family residence shall be repeated directly across the street or within two (2) lots of one another on either side of the residence and on either side of the street.

4.3.2 Parkland

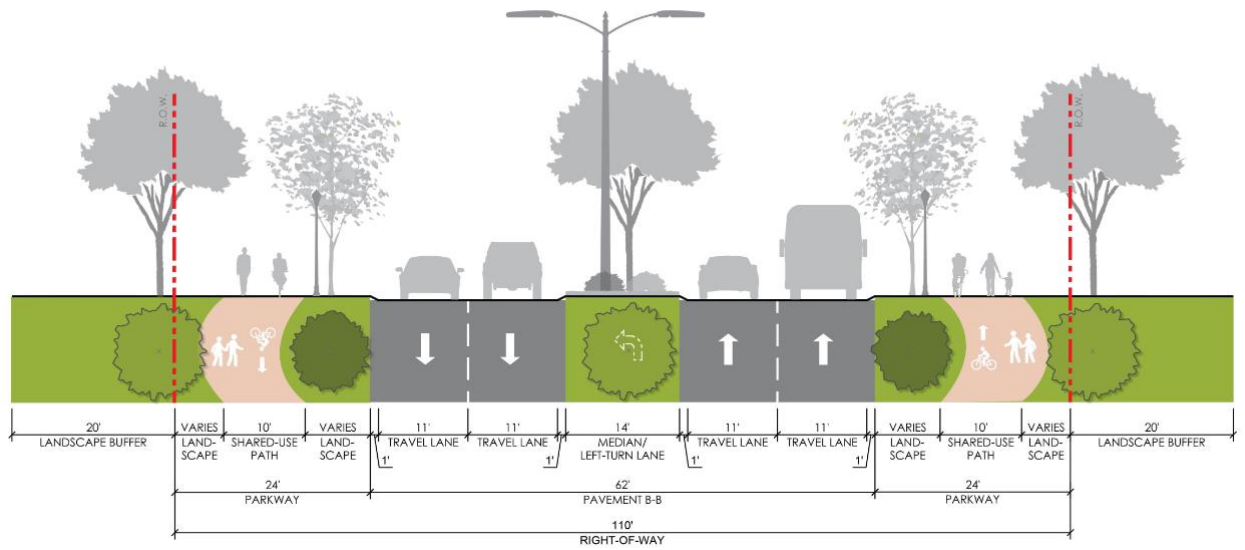
The developer shall coordinate park land dedication with the City's Parks and Recreation Department to compose a Project Agreement (the "Agreement") specifying required park land dedication and improvements. The agreement shall require approval of the Denton City Council. No part of the Agreement shall conflict with the Landscape/Open Space Plan included within the PD Zoning and Development Plan. Required park land dedication and improvements shall be comply with the Agreement.

4.4 Access and Circulation

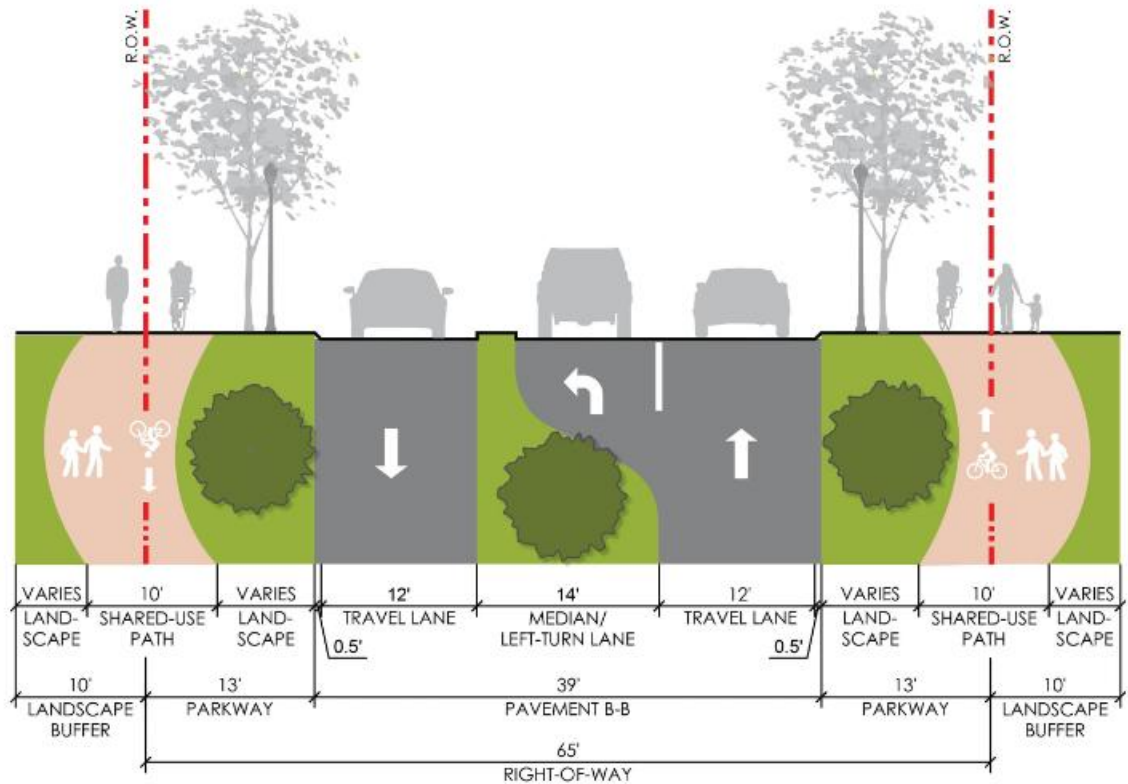
4.4.1 Traffic Circles:

When determined to be necessary by a TIA, traffic circles with surmountable curb shall be utilized as a traffic calming measure. Any landscape islands installed within the public right-of-way must be constructed with a surmountable curb and landscaping which does not impede visibility and complies with the City's Standard Details for curb and gutter.

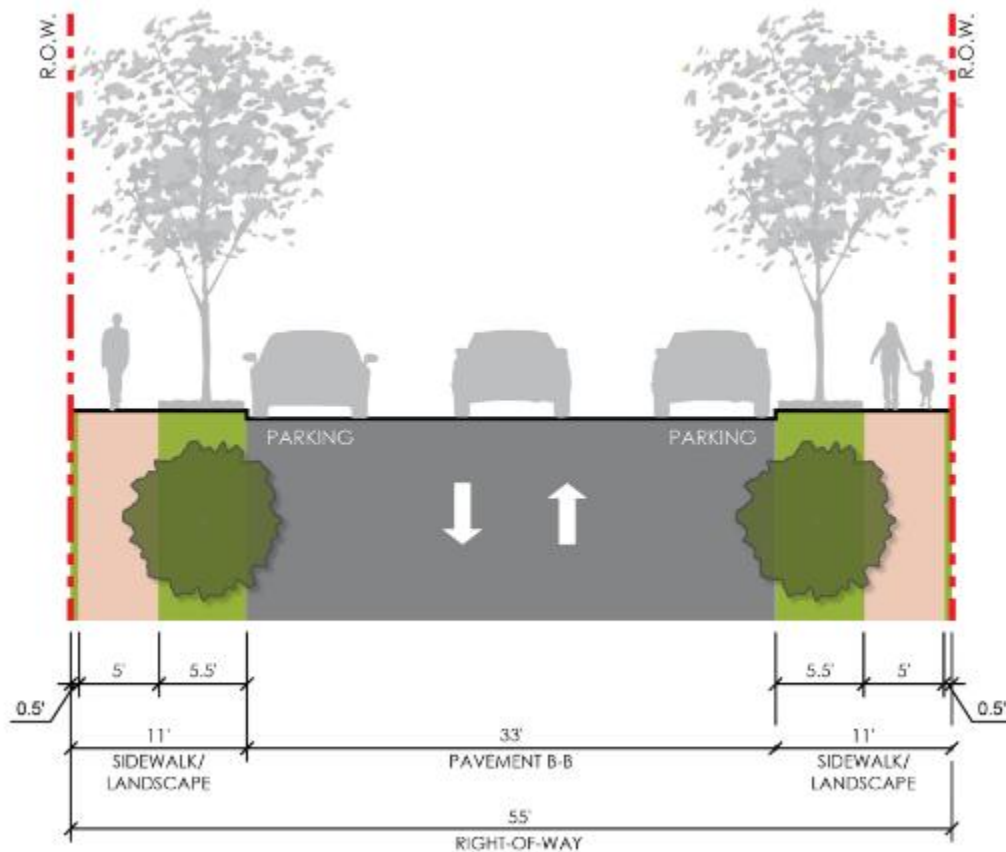
4.4.2 Secondary Arterial Street Cross-Section:



4.4.3 Collector Street Cross-Section:



4.4.4 Residential Street Cross-Section:



4.5 Regulation of Signs

4.5.1 General Signage Requirements (Residential and Commercial)

- New signs shall comply with the Denton Code of Ordinances Chapter 33, except where modified below.
- No ground signs shall have an effective copy display area greater than one hundred fifty (150) square feet or a greater height than twenty (20) feet.
- No wall sign(s) shall have an effective sign area greater than 30% of the total area of the façade for which the sign is proposed.
- Vinyl signs and signs painted on windows and doors of new nonresidential buildings may be permitted and shall not require a permit.
- Public facilities and community service facilities may be permitted to construct on-site electronic message boards. This includes signs, illuminated from within, which have any type of intermittent illumination, including flashing, fading, revolving or blinking lights, or any type of moving,

traveling or changing message by means of illumination. The images and messages on these signs may change at intervals no less than 15 seconds.

- f. Any illuminated (internal or external) ground sign exceeding 15 feet in height shall maintain a minimum separation of 200 feet from all single-family residential lot.

SECTION 5: Subdivision

The PD District shall follow all subdivision standards in DDC Subchapter 8, as amended, except where modified herein.

5.1 Permits for Construction Activity or Public Improvements

5.1.1 Model Homes

- a. A developer may construct no more than eight (8) model homes within a single-family detached, duplex, or townhome development phase containing public improvements that have not yet been finally accepted, provided that:
 - a. All off-site, drainage or regional improvements have been installed, inspected and accepted;
 - b. Each model home is inspected and found to meet all building, plumbing and fire code requirements prior to being opened to observation by the public;
 - c. The home will not be sold or occupied as a dwelling unit until all public improvements within that phase have been completed and accepted by the city; and
 - d. The homes comply with Section 7.3 *Land-Disturbing Activities*.

SECTION 6: Development Phasing

The PD District will be developed in multiple phases as depicted on the Phasing Plan provided as Exhibit G. The development phases are subject to builder take down and market conditions. While the phasing plan depicts numeric phases, they may be taken out of sequence based on market demands. Construction/Dedication of public improvements (excluding schools) shall occur with the adjacent phase.