

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE OF THE CITY OF DENTON, TEXAS, REGARDING A CHANGE IN THE ZONING DISTRICT AND USE CLASSIFICATION FROM RESIDENTIAL 1 (R1) AND RURAL RESIDENTIAL (RR) DISTRICTS TO A PLANNED DEVELOPMENT WITH A BASE ZONING OF RESIDENTIAL 4 (PD-R4) DISTRICT ON APPROXIMATELY 15.44 ACRES OF LAND GENERALLY LOCATED NORTHEAST OF THE INTERSECTION OF US 377 AND BRUSH CREEK ROAD, IN THE CITY OF DENTON, DENTON COUNTY, TEXAS; ADOPTING AN AMENDMENT TO THE CITY'S OFFICIAL ZONING MAP; PROVIDING FOR A PENALTY IN THE MAXIMUM AMOUNT OF \$2,000.00 FOR VIOLATIONS THEREOF; PROVIDING A SEVERABILITY CLAUSE AND AN EFFECTIVE DATE.

(PD24-0003a, The Reserves at Brush Creek)

WHEREAS, Omar Oweis, of Red Rock Consulting Group, LLC., applied on behalf of the property owner, Deno Maggi, to rezone approximately 15.44 acres from Rural Residential (RR) and Residential 1 (R1) Districts to a Planned Development Residential 4 (PD-R4) District, legally described and depicted in Exhibit "A" (hereinafter, the "Property"); and

WHEREAS, on November 13, 2024, the Planning and Zoning Commission, in compliance with the laws of the State of Texas, have given the requisite notices by publication and otherwise, and have held due hearings and afforded full and fair hearings to all property owners interested in this regard, and have recommended approval (3-1) of the amendment; and

WHEREAS, on December 3, 2024, the City Council likewise conducted a public hearing as required by law, and finds that the request meets and complies with all substantive and procedural standards for a zoning change to Planned Development (PD) District set forth in Section 2.7.3 of the Denton Development Code, and is consistent with the Denton 2040 Comprehensive Plan and the Denton Development Code; and

WHEREAS, the Planning and Zoning Commission and the City Council of the City of Denton, in considering the application for a change in the zoning classification of the property, have determined that the proposed use is in the best interest of the health, safety, morals, and general welfare of the City of Denton, and accordingly, the City Council of the City of Denton is of the opinion and finds that said zoning change is in the public interest and should be granted as set forth herein; NOW THEREFORE,

THE COUNCIL OF THE CITY OF DENTON HEREBY ORDAINS:

SECTION 1. The findings and recitations contained in the preamble of this ordinance are incorporated herein by reference and found to be true.

SECTION 2. The zoning district and use classification for the Property is hereby changed from Rural Residential (RR) and Residential 1 (R1) Districts to a Planned Development Residential 4 (PD-R4) District. The Development Standards for the Property are described in Exhibit "B" attached hereto and incorporated herein by reference, and the PD Development Plans depicting the proposed development layout for the Property is provided in Exhibit "C" attached

hereto and incorporated herein by reference. Development of the Property shall be in accordance with the Development Standards in Exhibit “B” and the Development Plans in Exhibit “C”.

SECTION 3. The City’s official zoning map is hereby amended to show the change in the zoning district and use classification.

SECTION 4. If any provision of this ordinance or the application thereof to any person or circumstance is held invalid by any court, such invalidity shall not affect the validity of the provisions or applications, and to this end the provisions of this ordinance are severable.

SECTION 5. Any person, firm, partnership, or corporation violating any provision of this ordinance shall, upon conviction, be deemed guilty of a misdemeanor and shall be punished by fine in a sum not exceeding \$2,000.00 for each offense. Each day that a provision of this ordinance is violated shall constitute a separate and distinct offense.

SECTION 6. In compliance with Section 2.09(c) of the Denton Charter, this ordinance shall become effective fourteen (14) days from the date of its passage, and the City Secretary is hereby directed to cause the caption of this ordinance to be published twice in the Denton Record-Chronicle, a daily newspaper published in the City of Denton, Texas, within ten (10) days of the date of its passage.

The motion to approve this ordinance was made by \_\_\_\_\_ and seconded by \_\_\_\_\_, the ordinance was passed and approved by the following vote [ \_\_\_ - \_\_\_ ]:

	Aye	Nay	Abstain	Absent
Gerard Hudspeth, Mayor:	_____	_____	_____	_____
Vicki Byrd, District 1:	_____	_____	_____	_____
Brian Beck, District 2:	_____	_____	_____	_____
Paul Meltzer, District 3:	_____	_____	_____	_____
Joe Holland, District 4:	_____	_____	_____	_____
Brandon Chase McGee, At Large Place 5:	_____	_____	_____	_____
Jill Jester, At Large Place 6:	_____	_____	_____	_____

PASSED AND APPROVED this the \_\_\_\_\_ day of \_\_\_\_\_, 2024.


---

GERARD HUDSPETH, MAYOR

ATTEST:  
LAUREN THODEN, CITY SECRETARY

BY: \_\_\_\_\_

APPROVED AS TO LEGAL FORM:  
MACK REINWAND, CITY ATTORNEY

BY:  \_\_\_\_\_

## Exhibit A

BEING a 15.44-acre tract of land located in the J. Severe Survey Abstract No. 1164 and the BBBB & C RR Survey No. 160, Denton, Denton County, Texas, being part of Tracts 1 & 2 as described in Warranty Deed with Vendor's Lien to MMRQ Land L.P. as recorded in Instrument No. 2014-93723, Official Records Denton County, Texas and being more particularly described as follows:

BEGINNING at a found ½-inch iron rod for the northeast corner of said Tract 2, being the northwest corner of Lot 7, Block A, Kiowa Trail Estates, an Addition to the City of Denton, Denton County Texas, as recorded in Cabinet F, Page 277, Plat Records Denton County Texas (PRDCT) and being on the southerly line of Bassinger Addition, an Addition to Denton, Texas as recorded in Document No. 2014-204, PRDCT;

THENCE S 07°01'55" W with the west line of Kiowa Trail Estates, at a distance of 612.66 feet pass a found 1/2-inch iron rod for the southwest corner of said Addition, at a distance of 1041.47 feet pass a found iron rod, continuing for a total distance of 1064.77 feet to a point for corner in Brush Creek Drive (a variable width prescriptive roadway);

THENCE N 89°41'02" W with the south line of the herein described parcel and in said roadway, a distance of 532.18 feet to a point for corner;

THENCE N 00°14'40" W leaving said roadway, a distance of 376.68 feet to a point for corner;

THENCE S 89°45'20" W, a distance of 142.92 feet to a point for corner;

THENCE N 00°14'40" W, a distance of 33.26 feet to a point for corner;

THENCE N 62°29'06" W, a distance of 69.13 feet to a point for corner on the easterly right of way line for US Highway 377 (variable width right of way);

THENCE northerly with said right of way line as follows:

N 21°55'58" E, a distance of 134.29 feet to a found TxDOT concrete monument;

N 27°41'48" E, a distance of 531.88 feet to a point for the northwest corner of the herein described tract;

THENCE N 88°17'26" E leaving said right of way line and with the aforesaid southerly line of the Bassinger Addition, a distance of 571.38 feet to the POINT OF BEGINNING and containing 15.44-acres of land, more or less.

Bearings hereon determined by GPS observation, giving the monument east line of the subject parcel a bearing of S 07°01'55" W.

## **EXHIBIT B – DEVELOPMENT STANDARDS**

PD24-0003, BRUSH CREEK SINGLE FAMILY DEVELOPMENT

PD-R4, Single-Family Living Use for 15.44 acres

City of Denton, Denton County, Texas

### **SECTION 1: Purpose Statement**

The purpose of the proposed Planned Development (PD) is to establish a single-family residential development with privately owned and maintained roadways at the intersection of Brush Creek Road and Highway US 377.

The regulations set forth in these development standards are for the PD District which consists of approximately 15.44 acres as described in Exhibit A.

### **SECTION 2: Definitions**

This PD introduces the definition Lot Width, Type B, in addition to those uses that are defined within Subchapter 9 – Definitions of the 2019 Edition of the Denton Development Code (DDC), as amended.

**Lot Width, Type A:** Type A lots shall follow the definition for Lot Width as defined in in the Denton Development Code.

**Lot Width, Type B:** Applies to lots with trapezoidal shape fronting a street knuckle. Lot width shall be measured at the front setback line. (See Exhibit C, Sheet EX-C3 )

### **SECTION 3-Zoning**

#### 3.1-Purpose and Organization

##### 3.1.1-Purpose

This PD shall follow the development standards only as provided for in the Residential 4 (R4) District of the Denton Development Code (DDC), as amended. The permitted uses allowed within this PD District shall be limited to only those primary and accessory uses listed in Section 3.1.2 below. Otherwise, all requirements of the 2019 Edition of the Denton Development Code (DDC), as amended, shall apply except where modified herein.

##### 3.1.2-Permitted Uses

###### A. Primary Uses

Single-Family Detached Dwelling

###### B. Accessory Uses

Accessory Dwellings

Home Occupations

C. Accessory Structures

Swimming Pools

Detached Garages

Carports

3.2-R4-Residential

A. Dimensional standards required for the R4 Zoning District as provided for in DDC Subsection 3.2.5, R4-Residential shall apply to this development, except as amended in this section.

B. R4 District Dimensional Standards.

Table 3.2-E: R4 District Dimensional Standards

Dimensional Standards

Lot Dimensions (Minimum)

- A. Minimum lot area of 7,000 square feet
- B. Minimum lot width of 60 feet
- C. Minimum lot depth of 120 feet

Setbacks (Minimum)

- D. Front yard = 16 feet
- E. Side Yard = 5 feet
- F. Corner Side Yard = 10 feet
- G. Rear yard = 20 feet

Other Standards

Building coverage (maximum) = 55 percent

C. Amenities

Developer shall provide no fewer than three (3) of the following amenities as part of the development:

- 1- Playground
- 2- Benches around pond
- 3- Fountain in Retention Pond
- 4- Pergola/gathering area
- 5- Dog Park

## SECTION 4: Development Standards

### 4.1-Purpose

- A. This PD shall comply with the development standards listed in this section below, and in accordance with the Development Plan as shown on Exhibit C.

### 4.2 Landscape Standards

#### 4.2.1- Purpose.

- A. All requirements of DDC Subchapter 7.7, Landscaping, Screening, Buffering, and Fences shall apply to this PD, except where amended by this Section.

#### 4.2.2-Street Tree Requirements

- A. Purpose.

In circumstances where the spacing requirements of DDC Subsection 7.7.7 cannot be met along existing and proposed right-of-way (public and private), minimum planting quantity is achieved by utilizing alternative locations and planting street trees outside of the right-of-way and in Homeowner's Association Lots.

- B. A total of 15 street trees shall be planted in Homeowner's Association Lots to meet minimum street tree requirements, and locations are depicted in Exhibit C, Sheet L1.

#### 4.2.3-Compatibility Landscape Buffer Requirements

- A. Purpose.

The following landscape elements shall be utilized to meet a portion of the requirements in addition to those requirements specified within Table 7.F: Buffer Points and Minimum Width Requirements.

- B. Buffer locations.

1. The eastern property line of the PD District shall have a 10-foot-wide landscape buffer extending along the entire property line but offset 10-feet to the west of said eastern property line (refer to Exhibit C, Sheet L1).
  - a. A solid masonry wall (minimum of 6 feet in height) shall be installed along the entire eastern property line of the PD District.
  - b. A continual row of landscaped trees shall be planted on the west side of the masonry wall referenced in a. above (by home builder & maintained by homeowner).
2. 15-foot-wide landscape buffer shall be provided along the southwest corner of the PD District and the remainder tract situated at the northeast corner of Brush Creek Road and US 377, as depicted in Exhibit C. The landscape buffer will terminate at the centerline of Street D as depicted in Exhibit C, Sheet L1.

#### 4.2.3 – Walls, Fencing, and Screening

##### A. Purpose.

The following fencing elements as written below, and depicted in Exhibit C, shall be utilized to meet a portion of the compatibility buffer requirements in addition to those requirements specified within DDC Subsection 7.7.8

##### B. Detailed Wall, Fencing, Screening locations

1. Developer shall provide a 6-foot-tall brick thin masonry screening with 7-foot-tall columns spaced 120 feet on-center set along the entire eastern property line of the PD District.
2. Developer shall provide a 6-foot-tall brick thin masonry screening with 7-foot-tall columns spaced 120 feet on-center along the entire western boundary of the PD District, except the fence type shall change to a 6-foot-tall ornamental metal fence with masonry columns spaced at 120 feet on-center at Street D Cul-de-sac and extend to the south property line of the PD District.
3. Developer shall provide a 6-foot-tall ornamental metal fence with masonry columns spaced at 120 feet on-center along the southern ROW line of Street D. This fence shall extend in between the retention pond and the southern boundary of the PD District along Brush Creek (refer to Exhibit C, Sheet HS1).
4. Developer shall provide a 6-foot-tall ornamental metal fence with masonry columns spaced at 120 feet on-center. The fence will be situated along the northern right-of-way of Brush Creek Road and extend to the south of the detention pond (refer to Exhibit C, Sheet HS1).
5. The west and south access shall have 6 feet tall ornamental metal fence and gates (refer to Exhibit C, Sheet HS1).

#### 4.3 Site and Building Design Standards

##### 4.3.1-Applicability.

- A. All requirements of DDC Subsection 7.10.3 – Single-Family Detached, Duplex, Townhome, Triplex, and Fourplex Dwelling Site and Building Design shall apply to this PD, except as noted below.

##### 4.3.2-Single-Family Detached, Duplex, Townhome, Triplex, and Fourplex Dwelling Site and Building Design.

- A. Lot Skip/Repetition Rule: The same floor plan and elevation shall not be used on the lot immediately on either side of the subject property or directly across the street from the subject property.
- B. Building Mass and Form. Building shall incorporate at least three of the following design features to provide visual relief along the front of the residence:
  1. Dormers;



2. Gables;
3. Recessed entries, a minimum of three feet deep;
4. Covered front porches;
5. Cupolas;
6. Architectural pillars or post;
7. Bay windows with a minimum 24 inches projection;
8. Shed roof accents;
9. Water tables;

**B. Garage Design**

2. For front-entry garages:
  - a. The total width of the garage door(s) shall not occupy more than 40 percent of the ground-floor building frontage. This shall not apply to J-swing garage configurations.
  - b. A front facing garage door shall be offset a minimum 2 feet from the front façade of the home.

**SECTION 5: Development Phasing & Offsite Improvements**

**5.1-Purpose.**

- A. This PD shall be developed in a single phase in accordance with the Development Plan as shown on Exhibit C.

**5.2 Off-Site Improvements**

- 5.2.1 The approved Traffic Impact Analysis Addendum identifies recommendations for improvements to be constructed when the residential component is built-out. A southbound left turn lane on US 377 shall be constructed, providing access to Street A of the residential development. The turn lane shall be designed and installed in conformance with TxDOT and City design standards, except where design variances are approved.

PROPOSED PLANNED DEVELOPMENT PLANS

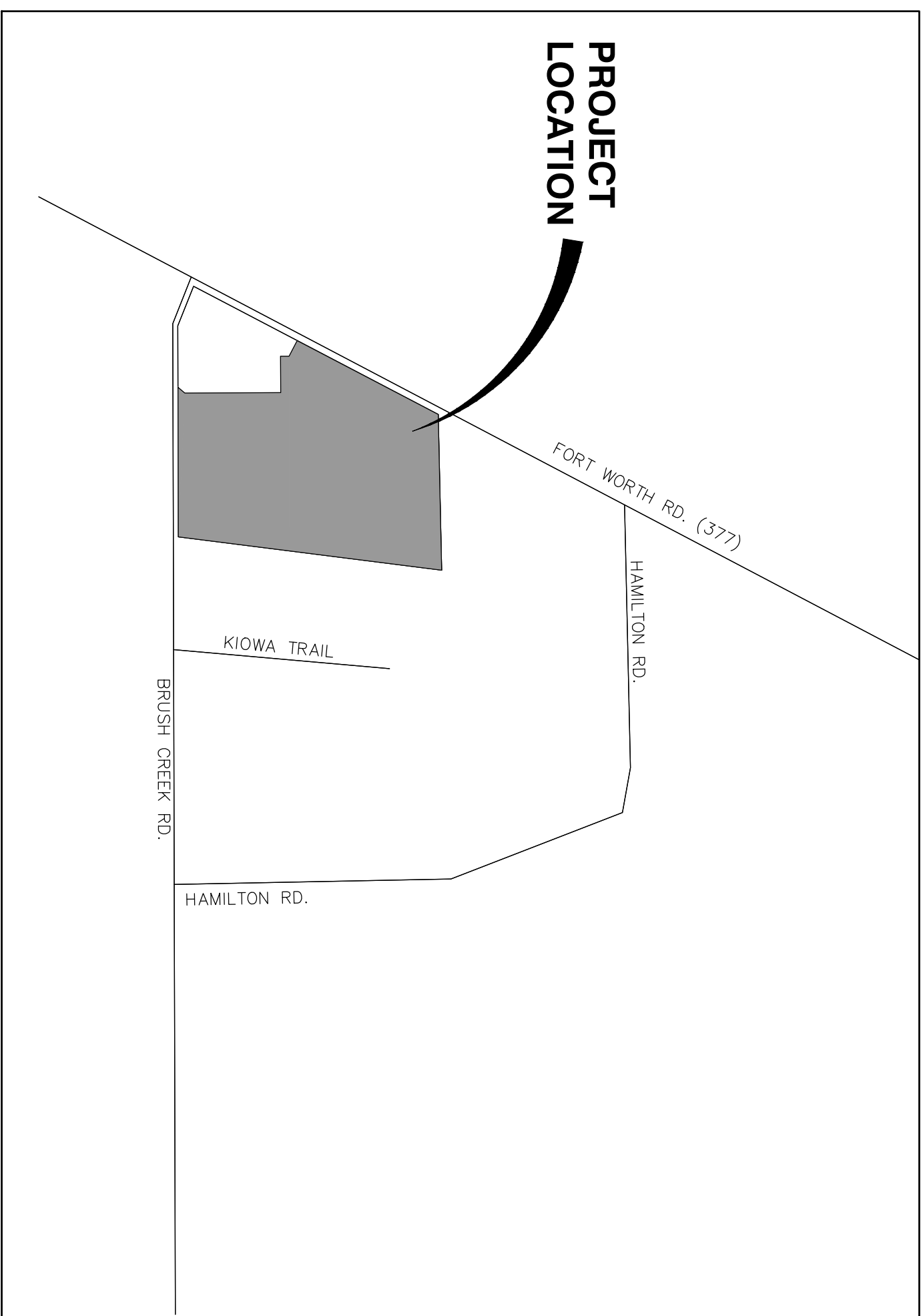
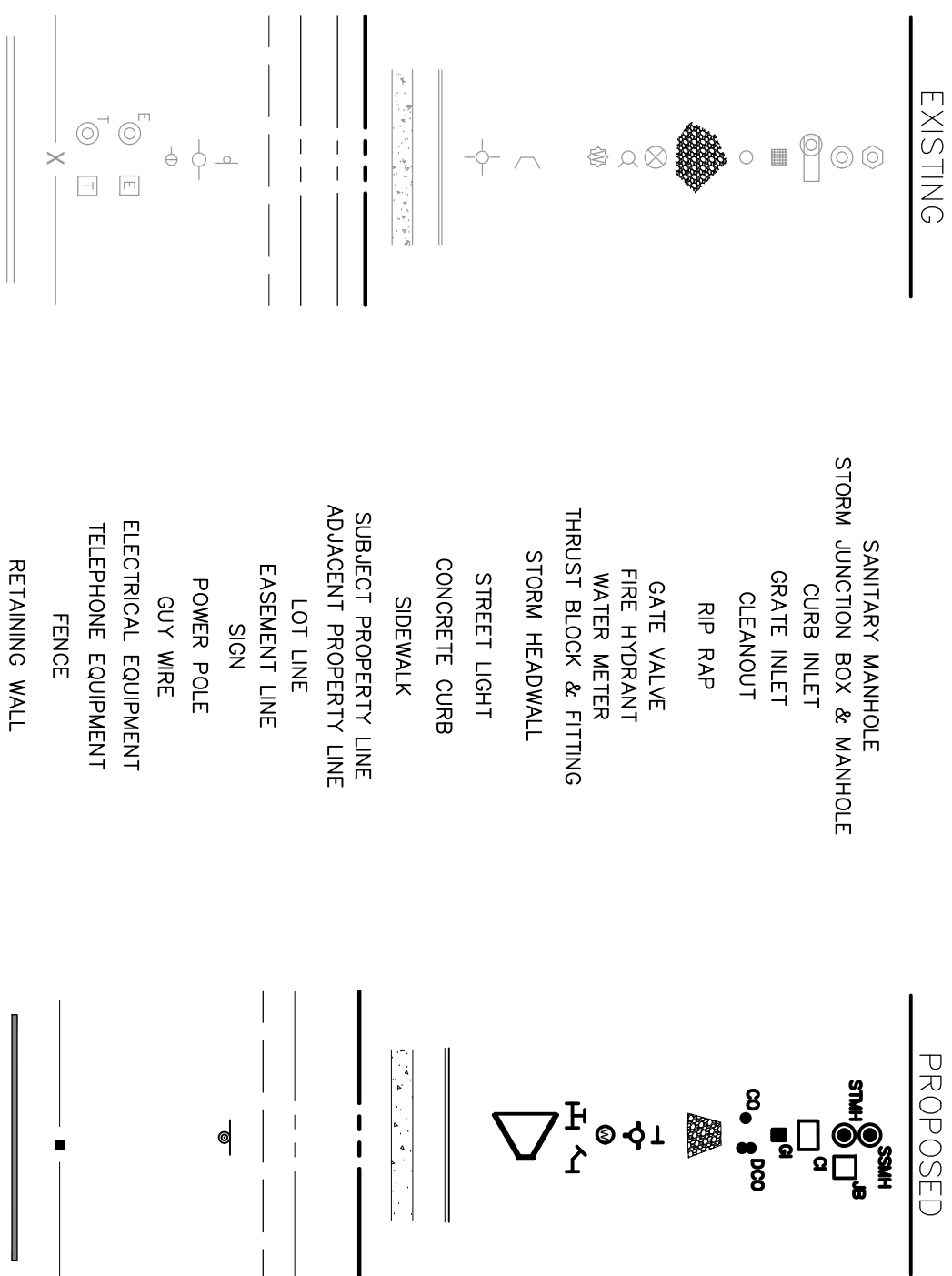
FOR

# RESERVE AT BRUSH CREEK

## PD-24-003

PROJECT LOCATION

CITY OF DENTON, DENTON COUNTY, TEXAS



SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
CI-0	TITLE PAGE
EX-C1	DEVELOPMENT PLAN
EX-C2	UTILITY PLAN
EX-C3	DEVELOPMENT PLAN DETAILS

NOTES:

1. THE BOUNDARY LINES AND TOPOGRAPHY FOR THIS PROJECT ARE BASED ON A SURVEY PREPARED BY LANDMARK SURVEYORS DATED FEBRUARY, 08, 2013. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY MANHARD CONSULTING AND THE CLIENT IN WRITING OF ANY DISCREPANCIES. MANHARD CONSULTING HAS NOT VERIFIED THIS SERVICE AND IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY BOUNDARY AND/OR TOPOGRAPHY.

**ABBREVIATIONS:**

AJU	ADJUST	GI	GRATE INLET	REM	REMOVAL
AGG	AGGREGATE GRAVEL	GV	GATE VALVE	ROW	RIGHT-OF-WAY
BC	BACK OF CURB	HDPE	HIGH DENSITY POLYETHYLENE	RR	RAILROAD
BR	BARBER FREE RAMP	HOPE	HORIZONTAL	R	RIGHT
BRP	BEGIN BOTTOM OF PIPE	HWD	HIGH WATER LEVEL	RS	REINFORCED CONCRETE
BVC	BEGIN VERTICAL CURVE	ICV	IRRIGATION CONTROL VALVE	SF	SQUARE FOOT
BW	BOTTOM OF WALL	INL	INLET	SH	SHEET
CB	CATCH BASIN	INV	INVERT	SHM	SANITARY SEWER MANHOLE
CI	CURB INLET	IP	INLET POINT	STA	STATION
CL	CORNER	IPB	INLET POINT BOX	STD	STANDARD
CM	CORRUGATED METAL PIPE	LP	LOW POINT	STW	STORM SEWER
CO	CLEANOUT	LT	LEFT	SW	SIDEWALK
CONN	CONCRETE CONNECTION	LY	LOW POINT	SY	SQUARE YARDS
CONC	CONCRETE	MAX	MAXIMUM	T	TELEPHONE
CT	CURB TYPED	MIN	MINIMUM	TB	THRUST BLOCK
DC	DOUBLE CLEANOUT	NS	NORTH	T/C	THRUST CURB
DIA	DIAMETER	PC	POINT OF CURVE	TEMP	TEMPORARY
DIP	DUCTILE IRON PIPE	PCC	POINT OF COMPOUND CURVE	TF	TEMPORARY
DOM	DOMESTIC	PI	POINT OF INTERSECTION	TI	TOP OF INLET
ELEV	ELEVATION	PL	PROPOSED	TOP	TOP OF PIPE
END	END OF TANGENCY	PROP	PROPOSED	TRANS	TRANSVERSE
EX	EXISTING	PT	POINT OF TANGENCY	TYP	TYPICAL
EXC	EXCISTING	PVC	POLYVINYL CHLORIDE PIPE	UE	UTILITY EASEMENT
FES	FIRE DEPARTMENT CONNECTION	PVC	POLYVINYL CHLORIDE PIPE	WM	WATER MAIN
FF	FINISHED FLOOR	PVI	POINT OF VERTICAL INTERSECTION	WSE	WATER SURFACE ELEVATION
FG	FINISHED GRADE	R	RADIUS	WV	WATER VALVE
FL	FLOW LINE	RCP	REINFORCED CONCRETE PIPE		

MANHARD CONSULTING, LTD. IS NOT RESPONSIBLE FOR THE SAFETY OF ANY PARTY AT OR ON THE CONSTRUCTION SITE. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND ANY OTHER PERSON OR ENTITY PERFORMING WORK OR SERVICES. NEITHER THE OWNER NOR ENGINEER ASSUMES ANY RESPONSIBILITY FOR THE JOB SITE SAFETY OF PERSONS ENGAGED IN THE WORK OR THE MEANS OR METHODS OF CONSTRUCTION.



<p><b>RESERVE AT BRUSH CREEK</b></p> <p>DENTON, DENTON COUNTY, TX</p> <p>TITLE PAGE</p>	<p>12225 Greenville Avenue, Suite 1000, Dallas, TX 75243 ph: 972.972.4250 manhard.com                  Civil Engineers   Surveyors   Water Resource Engineers   Water &amp; Waste Water Engineers                  Construction Managers   Environmental Scientists   Landscape Architects   Planners                  Texas Board of Professional Engineers and Land Surveyors Registration No. F-21732</p>
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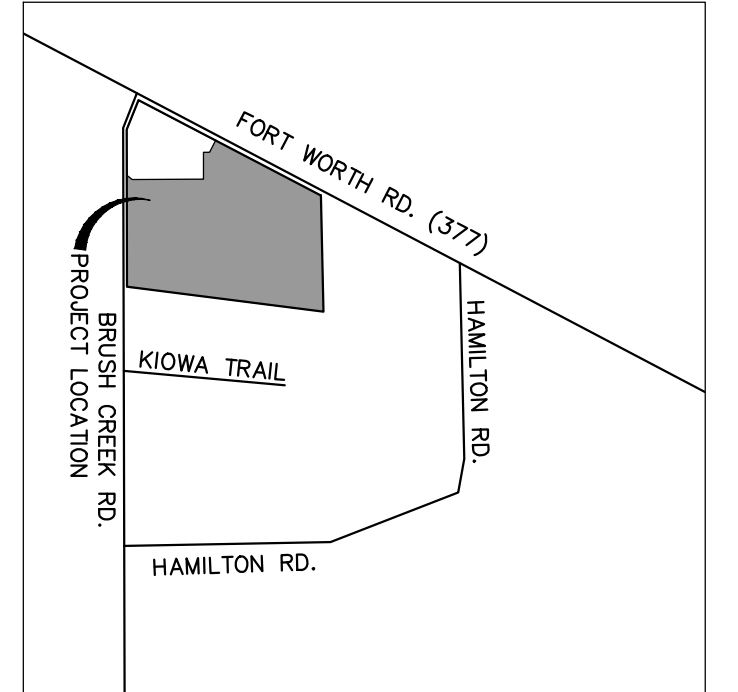
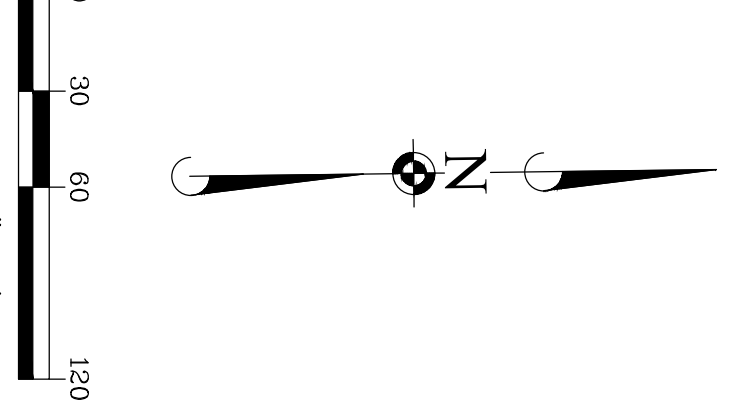


SHOWS THE EX TREES THAT WILL REMAIN ON THE SITE

**LOT WIDTH LEGEND:**  
 [A] TYPE A LOT WIDTHS (39)  
 [B] TYPE B LOT WIDTHS (3)

- NOTES:**
- REFER TO LANDSCAPING FOR PARAMETER AND MASONRY FENCING.
  - NO FEMA 100-YEAR FLOODPLAIN AREAS LOCATED NEAR SUBJECT SITE.
  - SOLID WASTE LOCATIONS CONSIDERED NON APPLICABLE TO THIS SITE.
  - PARKING SPACES WILL NOT BE LOCATED ON SITE.
  - BICYCLE FACILITIES WILL NOT BE LOCATED ON SITE.
  - SINGLE PHASE DESIGN WILL BE UTILIZED FOR THIS SITE.
  - PROPOSED DEVELOPMENT IS NOT LOCATED WITHIN ESA BOUNDARY.
  - HOUSE ELEVATION PROVIDED. HEIGHTS SHALL NOT EXCEED 40'. (SEE EXHIBIT F)

SEE SHEET EX-C3 FOR SECTION DETAIL



**SITE DATA**

SITE AREA	18.07 AC
GROSS AREA	15.44 AC
NET GROSS AREA	15.44 AC
SETBACKS	16 FT
FRONT YARD	5 FT
SIDE YARD	10 FT
CORNER SIDE YARD	20 FT
REAR YARD	20 FT
LOT INFORMATION	7000 SF
MINIMUM AREA	60 FT
MINIMUM WIDTH	60 FT
MINIMUM DEPTH	20 FT
NUMBER OF LOTS	42
MIN. 5% OF SITE TO BE OPEN SPACE	

**LAND USE SUMMARY TABLE**

USE	ACRES	% OF TOTAL ACRES
SINGLE FAMILY	8.45	54.73%
HOA/OPEN SPACE	1.79	11.59%
WET POND	0.54	3.50%
PUBLIC ROAD/ROW	3.16	20.47%
ROAD/PWAY EASEMENT	0.52	3.37%
DETENTION	0.98	6.35%
GROSS AREA	15.44	100.00%

42 TOTAL DWELLING UNITS WITH MAXIMUM  
 55% BUILDING COVERAGE  
 8 TOTAL HOA LOTS  
 1 TOTAL HOA POND LOT

- NOTES:**
- WHERE MODIFICATIONS ARE NOT EXPRESSED OR AUTHORIZED, ALL REQUIREMENTS OF THE DENTON DEVELOPMENT CODE, AS AMENDED MUST BE MET.
  - REFER TO COVER PAGE C1.0 FOR LEGEND & ABBREVIATIONS
  - ENGINEERING DOES NOT FORESEE ANY RETAINING WALL FOR THIS SITE. IF THEY ARE REQUIRED ENGINEERING WILL ENSURE THEY DO NOT CROSS ANY UTILITIES OR WITHIN PUBLIC EASEMENTS

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**RESERVE AT BRUSH CREEK**  
 DENTON, DENTON COUNTY, TX  
**DEVELOPMENT PLAN**

12225 Greenville Avenue, Suite 1000, Dallas, TX 75243 ph: 972.972.4250 manhard.com  
 Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers  
 Construction Managers | Environmental Scientists | Landscape Architects | Planners  
 Texas Board of Professional Engineers and Land Surveyors Registration No. F-21732

DATE	REVISIONS	DRAWN BY

PROJ. NO.: RB  
 PROJ. ASSOC.: WW  
 DRAWN BY: WW  
 DATE: 10/01/24

**EX-C1**  
 SHEET  
 611.15001

PENDING





**NOTES:**

- APPROXIMATE LOCATION OF EXISTING WATER AND SANITARY LINES OBTAINED FROM CITY OF DENTON
- PROPOSED WATER AND SANITARY LINE PLACEMENT DETERMINED USING THE CITY OF DENTON WATER DEPARTMENT WATERMASTER SHARED DETAIL OF EXISTING WATER MAINS AND REPLACEMENT OF EXISTING WATER LINES OBTAINED FROM CITY OF DENTON PROJECT MEMO
- PROPOSED EXTENSION AND REPLACEMENT OF EXISTING WATER LINES OBTAINED FROM CITY OF DENTON PROJECT MEMO

**NOTES:**

- REFER TO COVER PAGE C1.0 FOR LEGEND & ABBREVIATIONS
- STORM DESIGN SUBJECT TO CHANGE PENDING ENGINEER FINAL DRAINAGE ANALYSIS.

**LEGEND**

- EX-W (Blue dashed line): EXISTING WATER LINE
- PROPOSED WATER LINE (Blue solid line): PROPOSED WATER LINE
- MANHOLE (Black circle): MANHOLE
- FLOW DIRECTION (Black arrow): FLOW DIRECTION
- 8" PROPOSED GRAVITY MAIN (OFFSITE) (Cyan line): 8" PROPOSED GRAVITY MAIN (OFFSITE)
- 15" EXISTING GRAVITY MAIN (OFFSITE) (Red line): 15" EXISTING GRAVITY MAIN (OFFSITE)
- PRELIMINARY STORM LAYOUT (Magenta line): PRELIMINARY STORM LAYOUT
- PRELIMINARY CURB INLET (Red rectangle): PRELIMINARY CURB INLET

**VICINITY MAP**

N.T.S.

SCALE: 1" = 60'

**RESERVE AT BRUSH CREEK**

**DENTON, DENTON COUNTY, TX**

**UTILITY PLAN**

**Manhard CONSULTING**

12225 Greenville Avenue, Suite 1000, Dallas, TX 75243 ph: 972.972.4250 manhard.com  
 Civil Engineers | Surveyors | Water Resource Engineers | Water & Waste Water Engineers  
 Construction Managers | Environmental Scientists | Landscape Architects | Planners  
 Texas Board of Professional Engineers and Land Surveyors Registration No. F-21732

DATE	REVISIONS	DRAWN BY

PROJ. NO.: RB

PROJ. ASSOC.: WW

DRAWN BY: JO

DATE: 09/26/24

SHEET

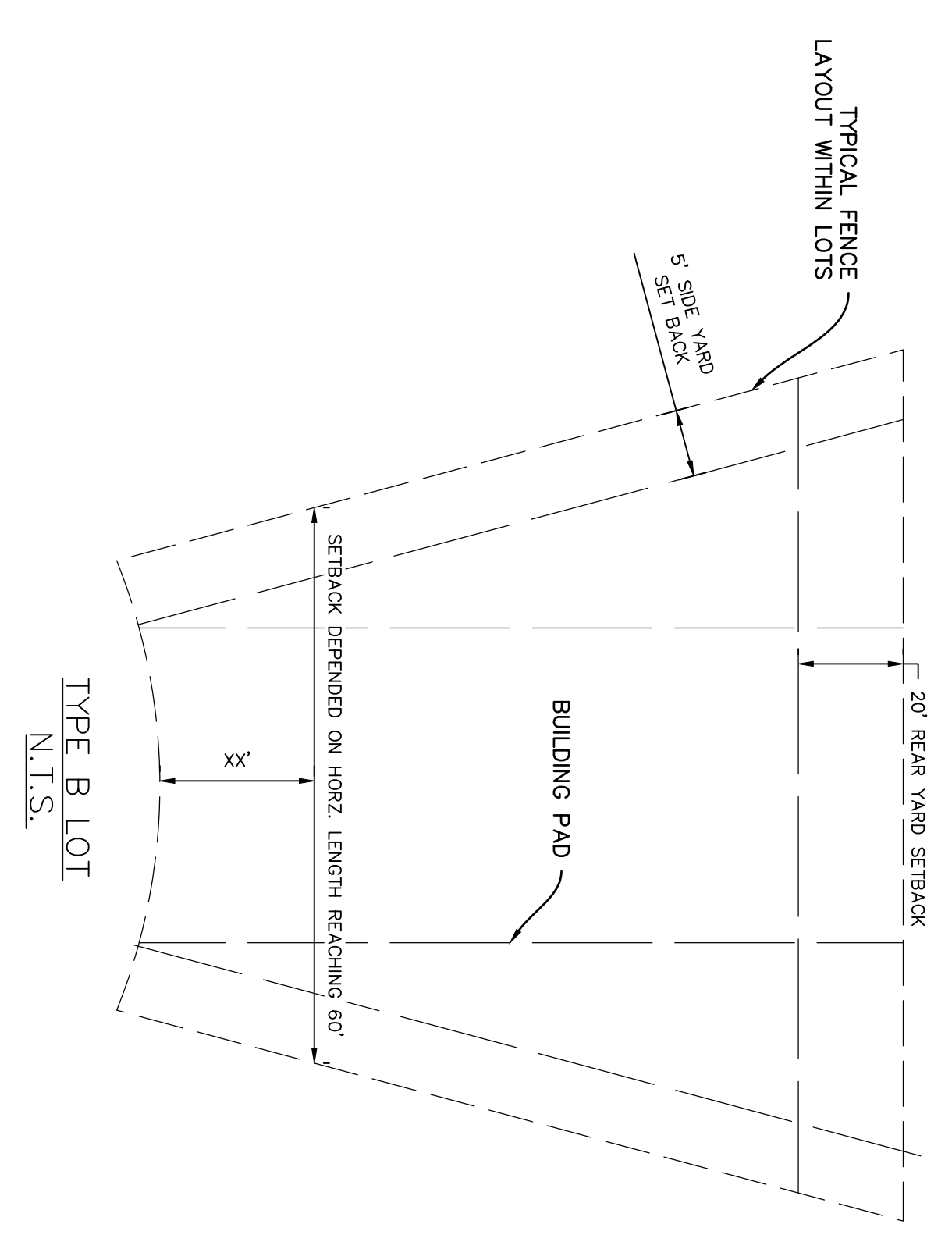
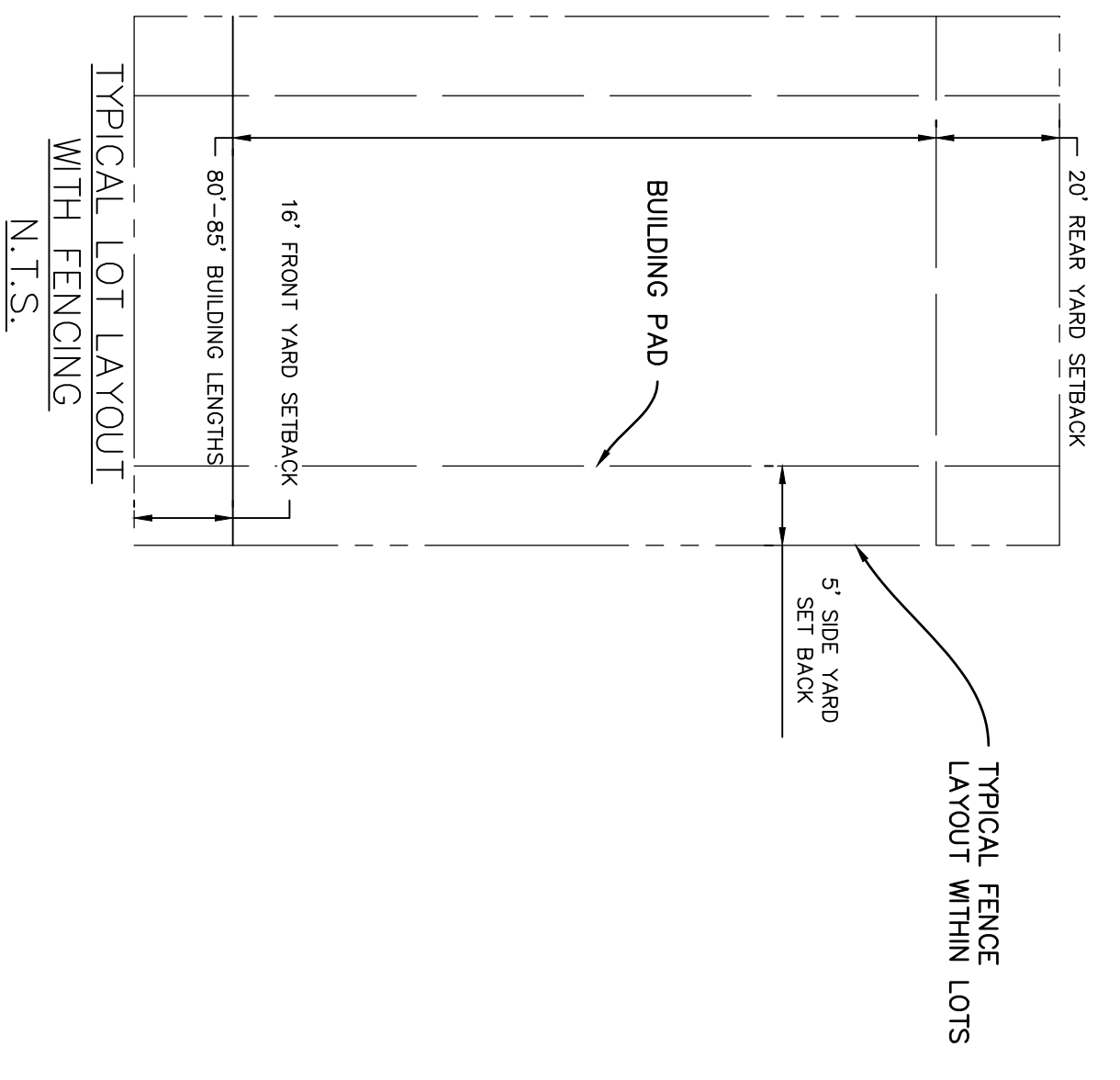
**EX-C2**

611.115001

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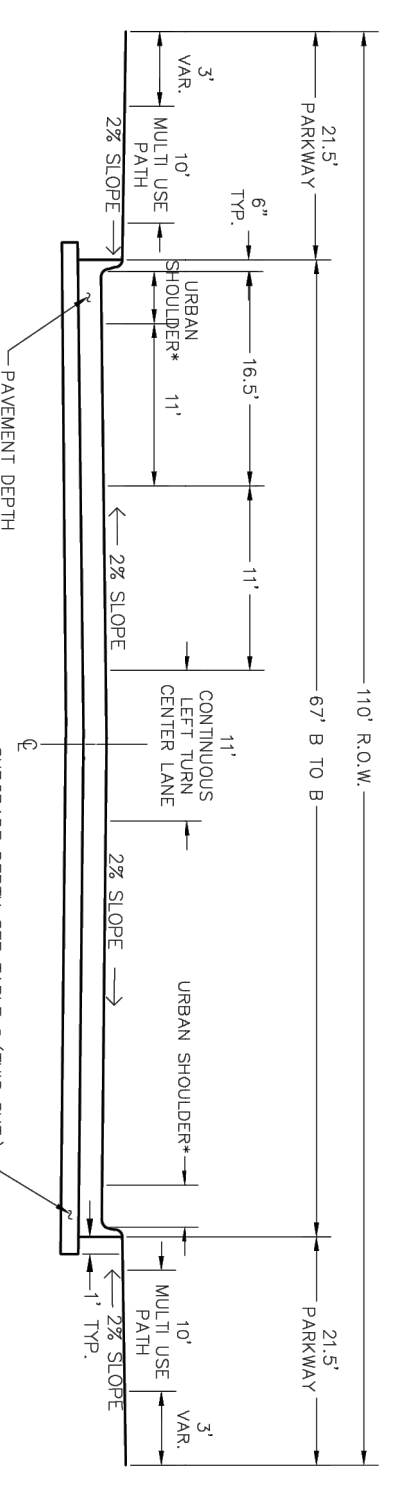
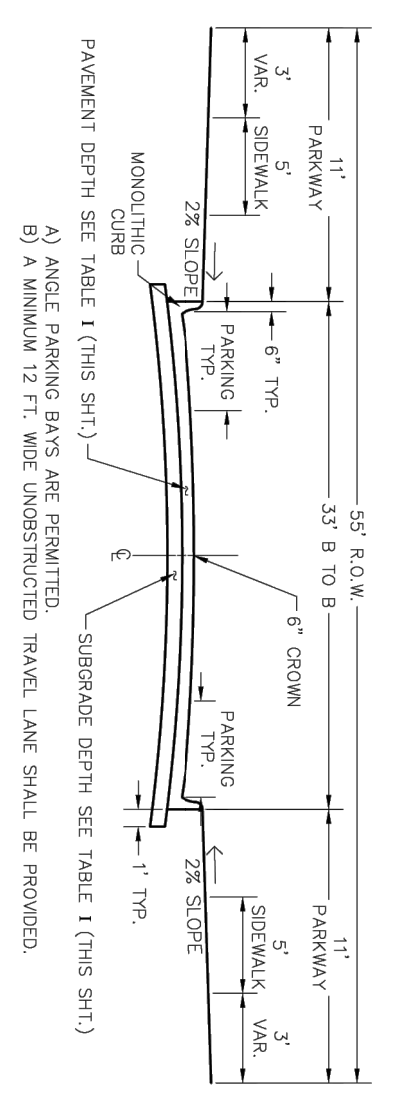
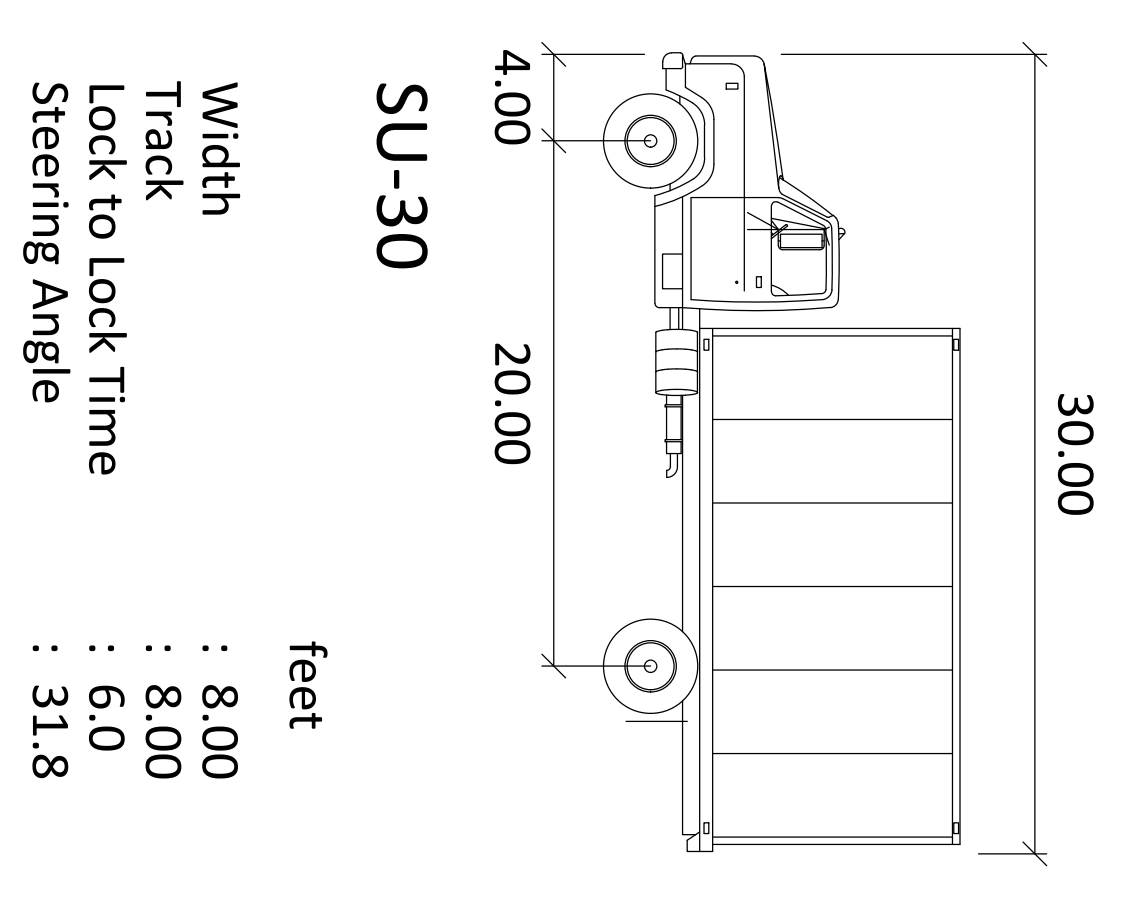
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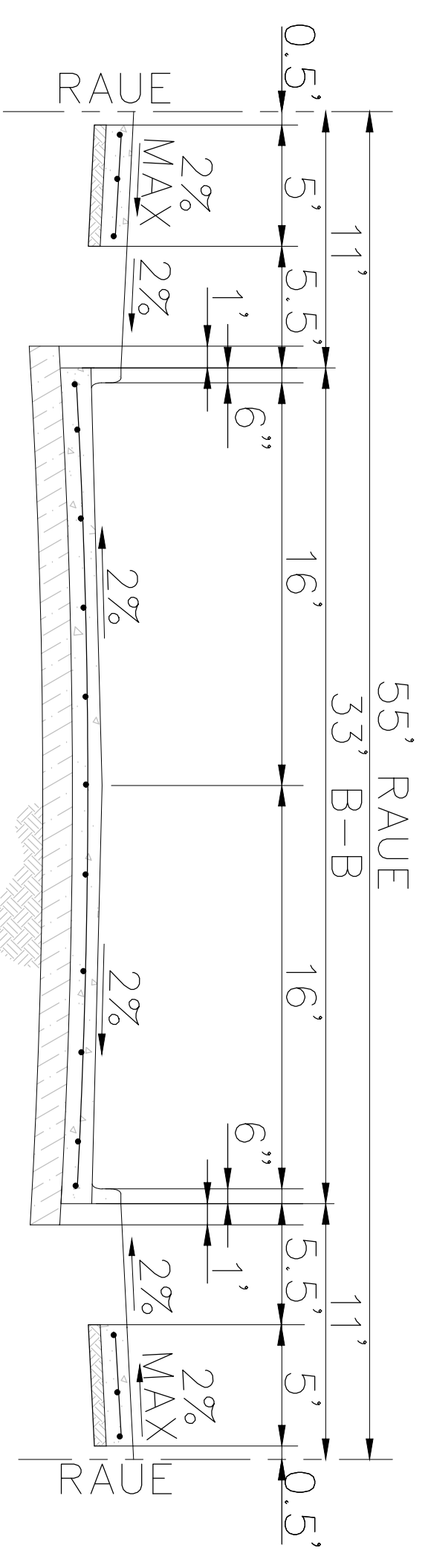
LOT WIDTH LEGEND:

[A]	TYPE A LOT WIDTHS (39)
[B]	TYPE B LOT WIDTHS (3)



**NOTES:**

THIS SECTION WILL BE MODIFIED TO A RAUE. DIMENSIONS WILL REMAIN THE SAME.



**NOTES:**

RAUE - ROADWAY ACCESS AND UTILITY EASEMENT  
REFERENCE STANDARD DETAILS T105C AND T109C  
OF THE CITY OF DENTON STANDARD DETAILS

**RESERVE AT BRUSH CREEK**  
DENTON, DENTON COUNTY, TX  
DEVELOPMENT PLAN DETAILS

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DATE	REVISIONS	DRAWN BY

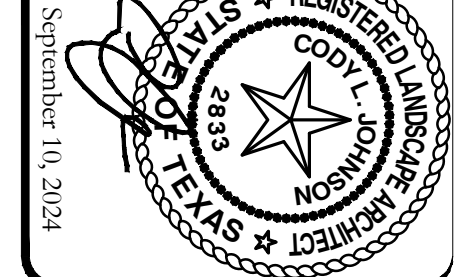
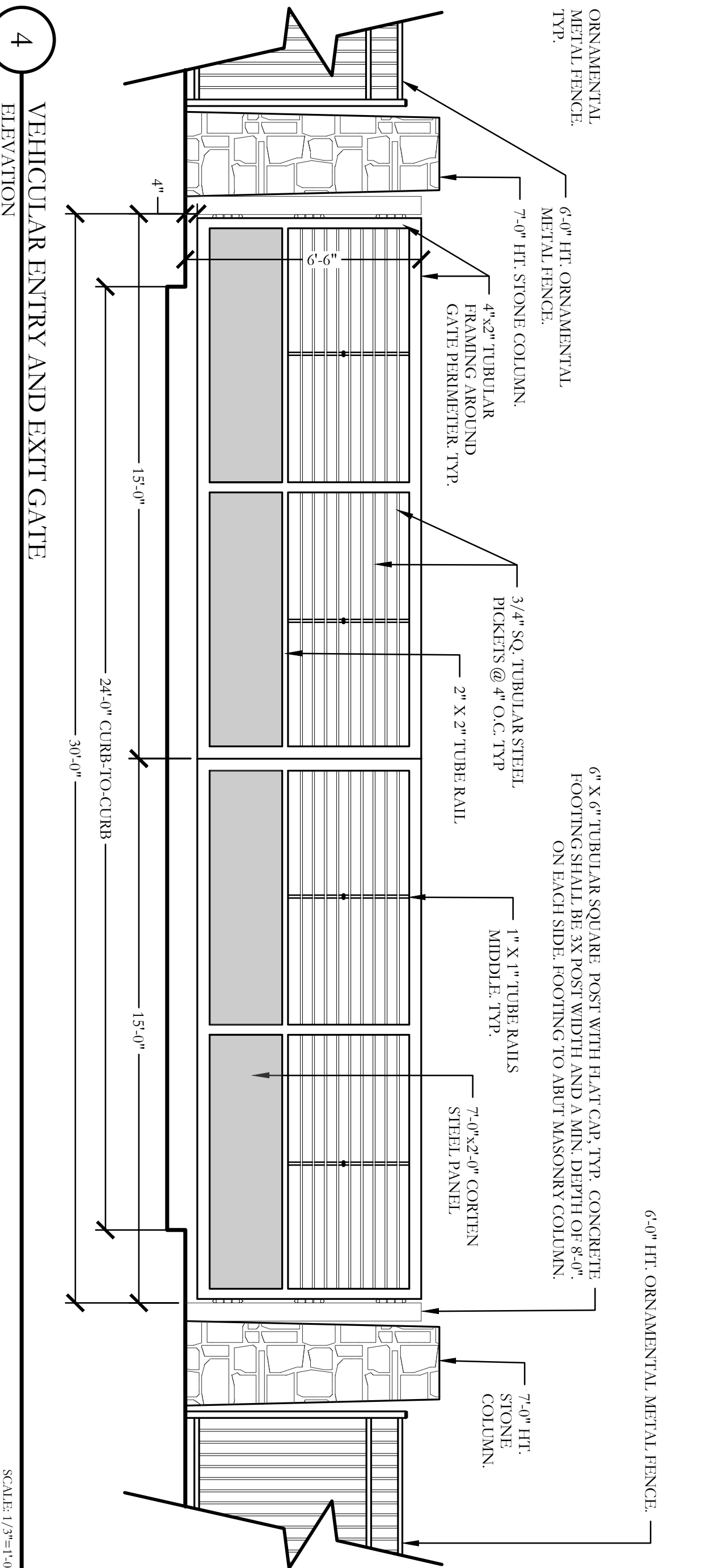
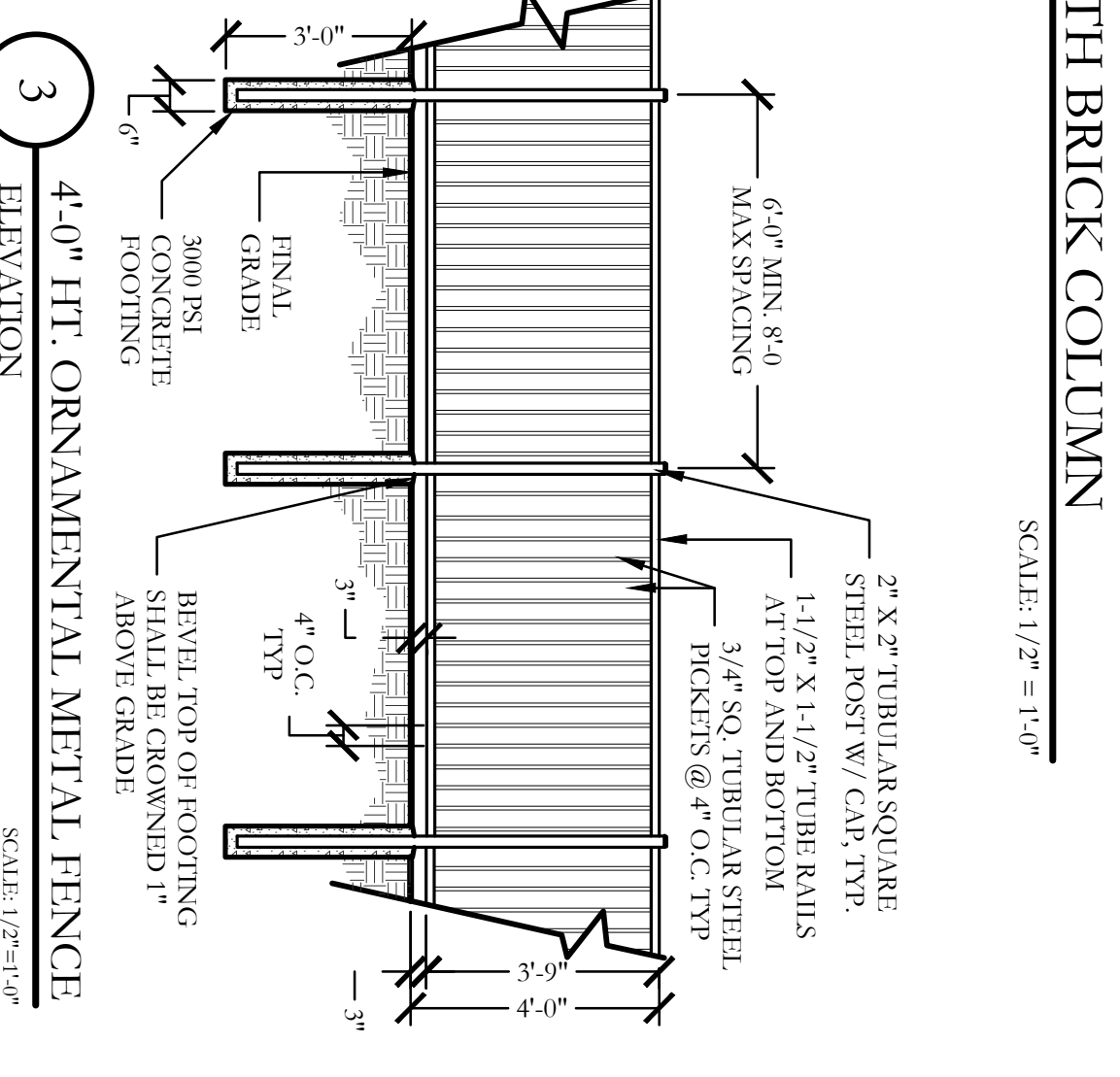
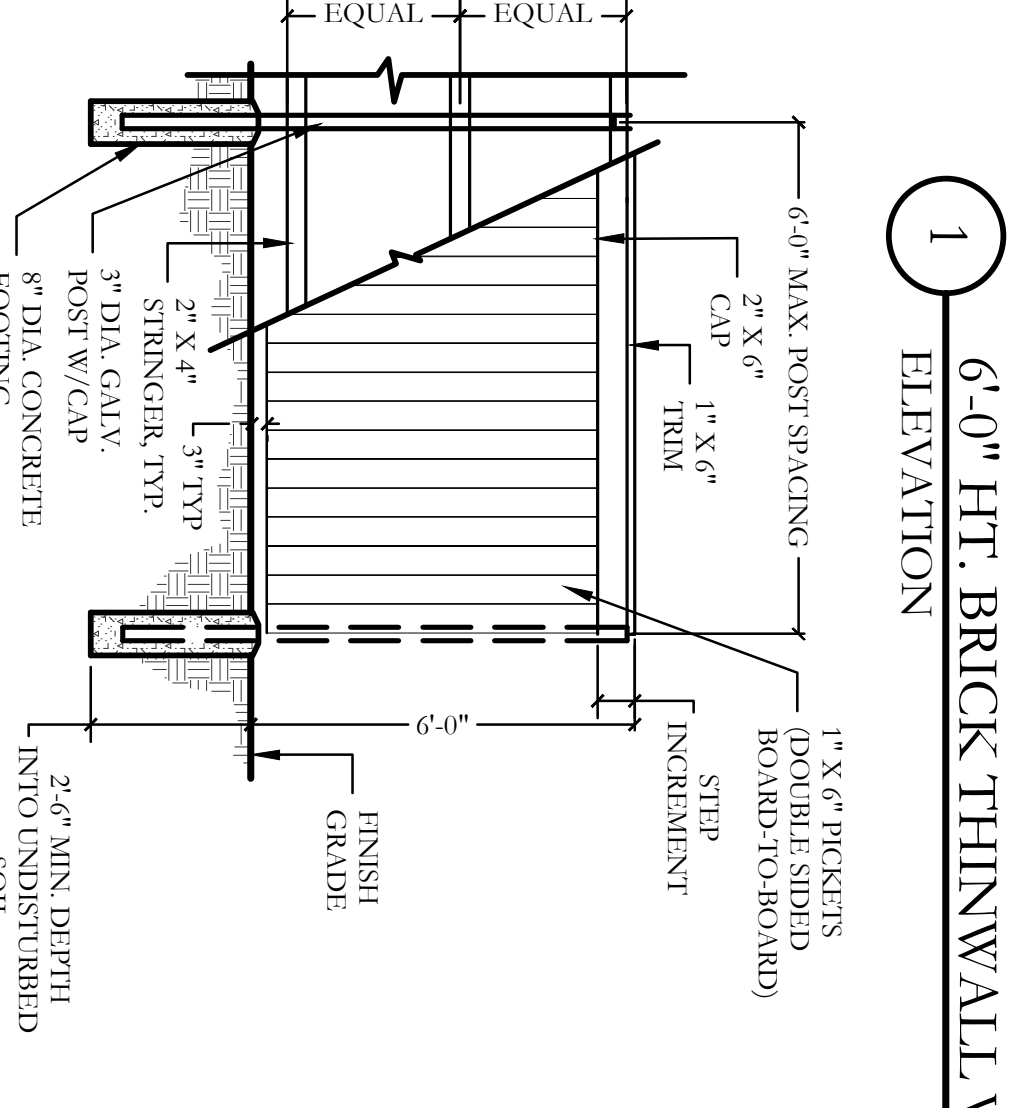
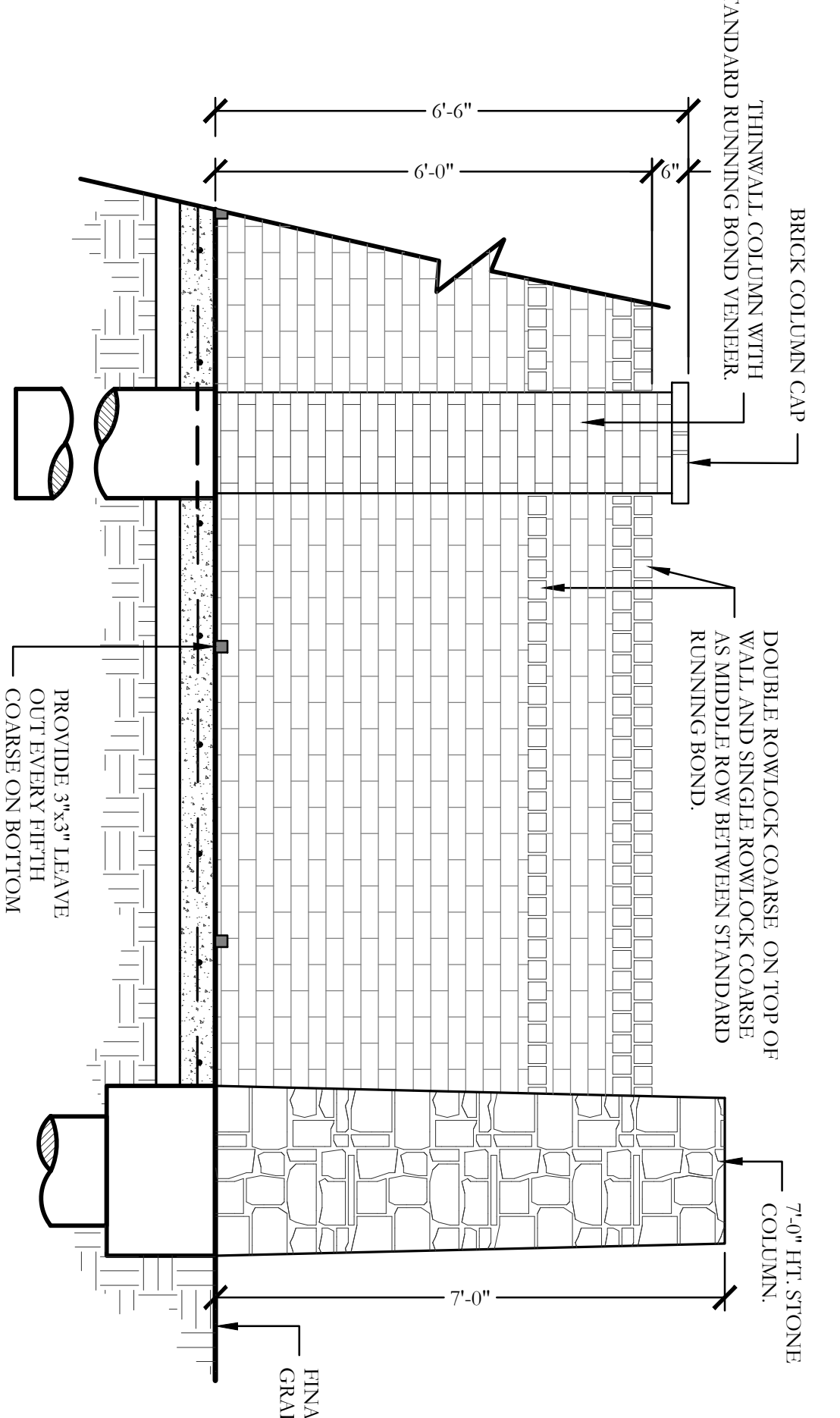
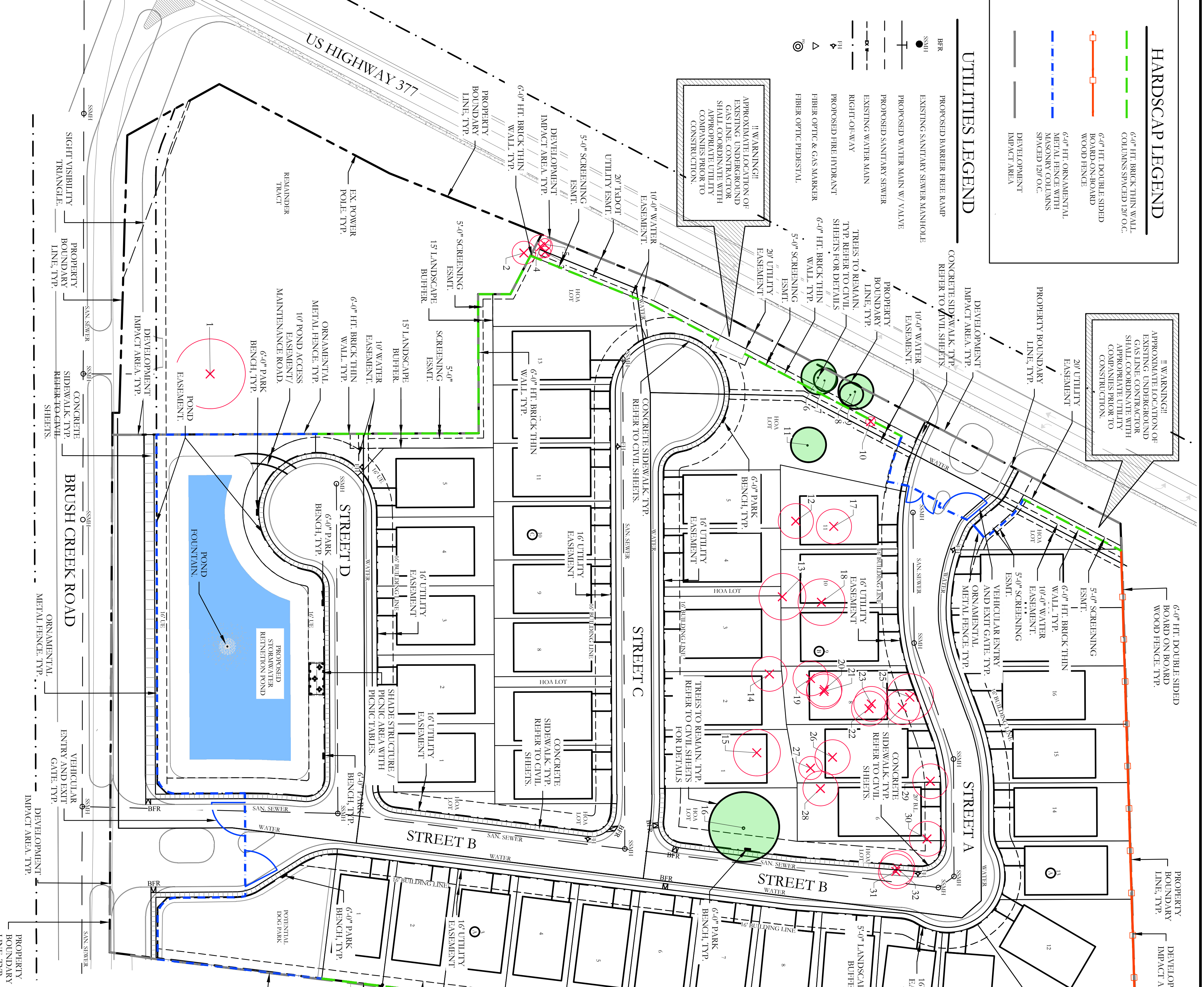
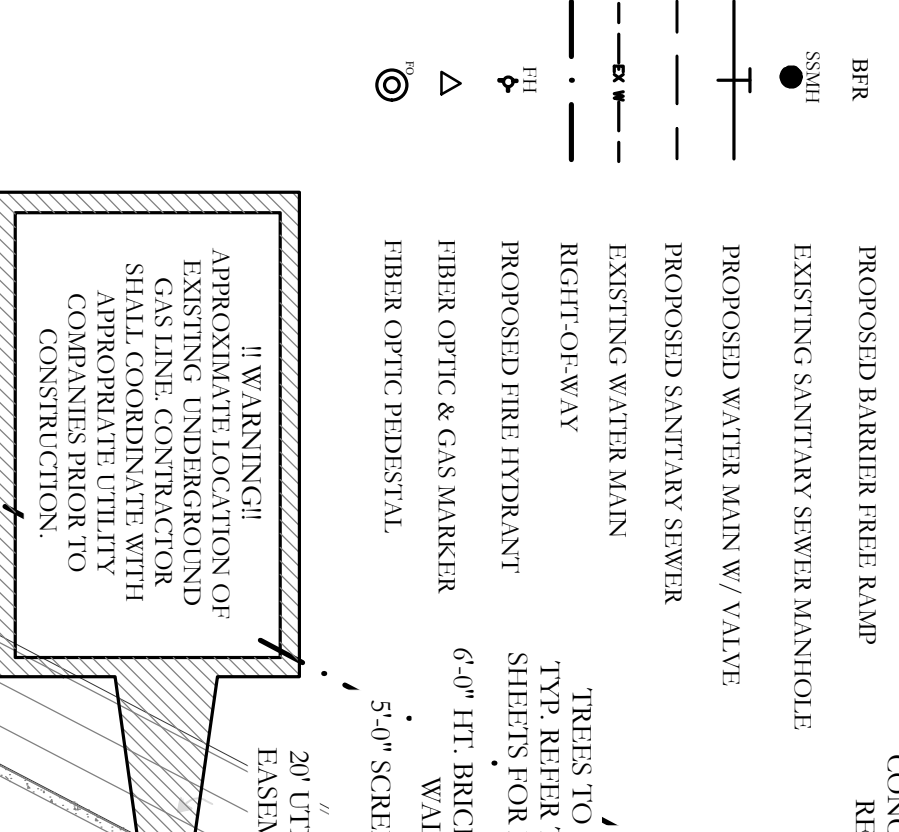
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PRJ. ASSOC.: MW  
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DATE: 10/01/24  
SHEET  
**EX-C3**  
611.15001



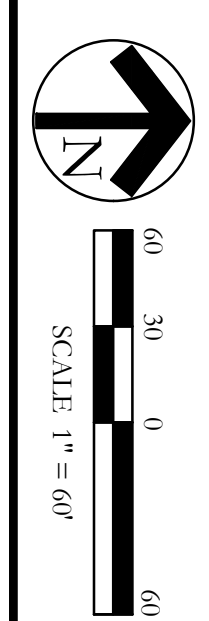
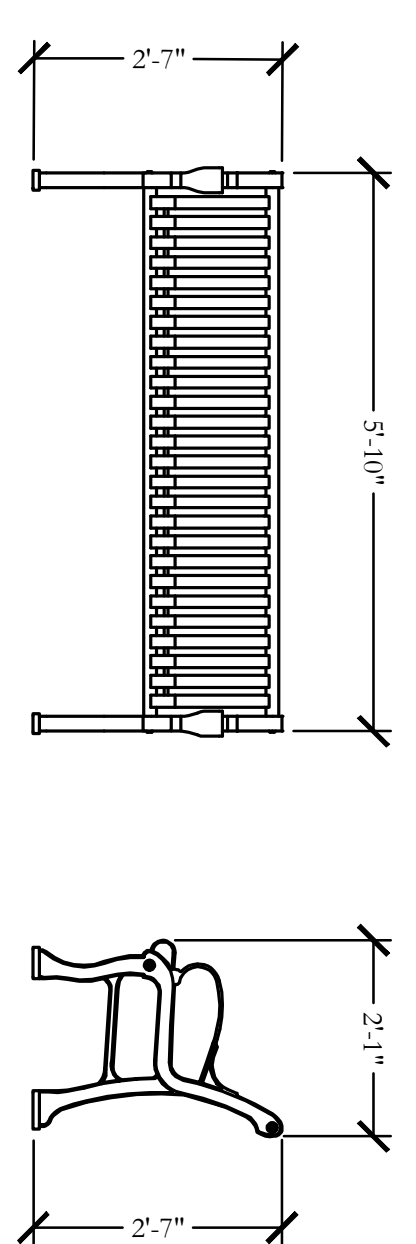
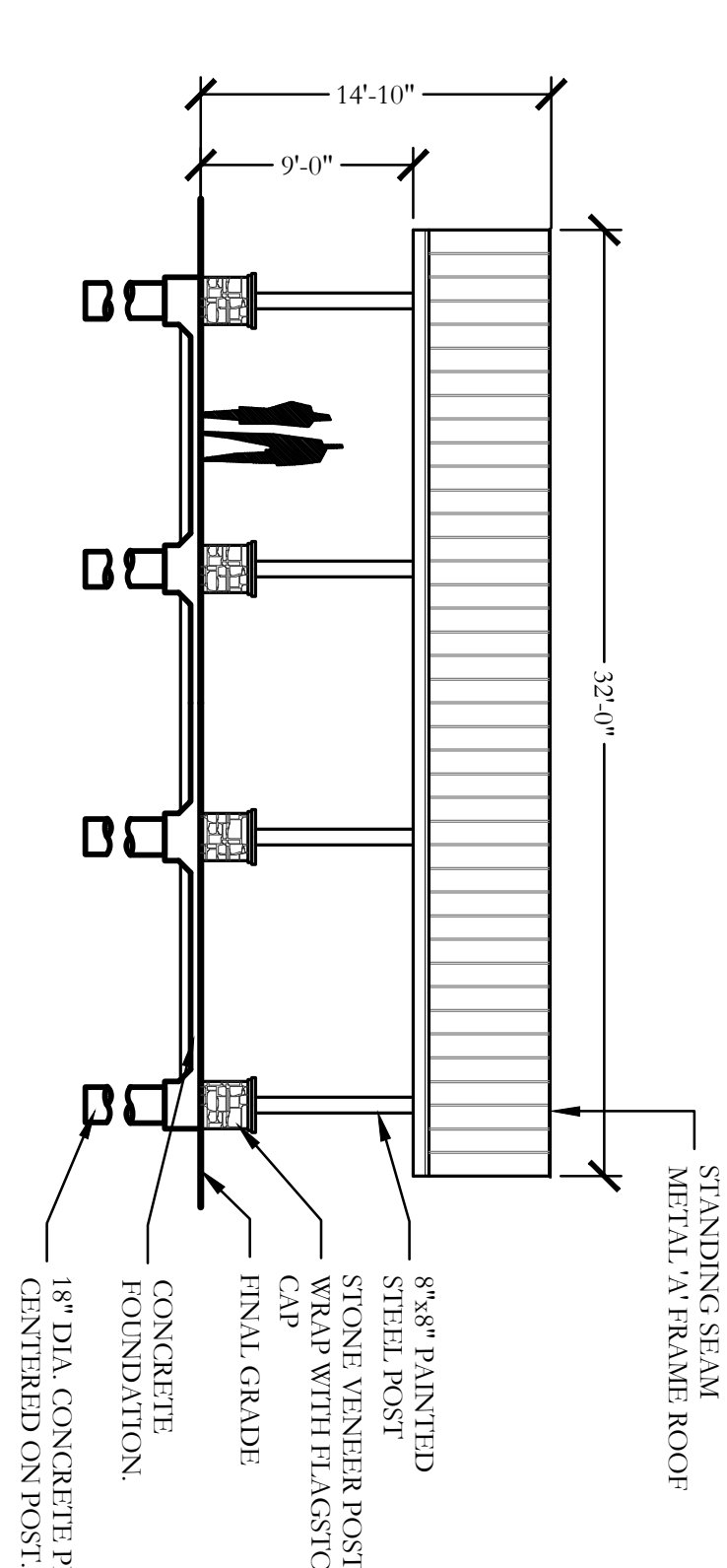
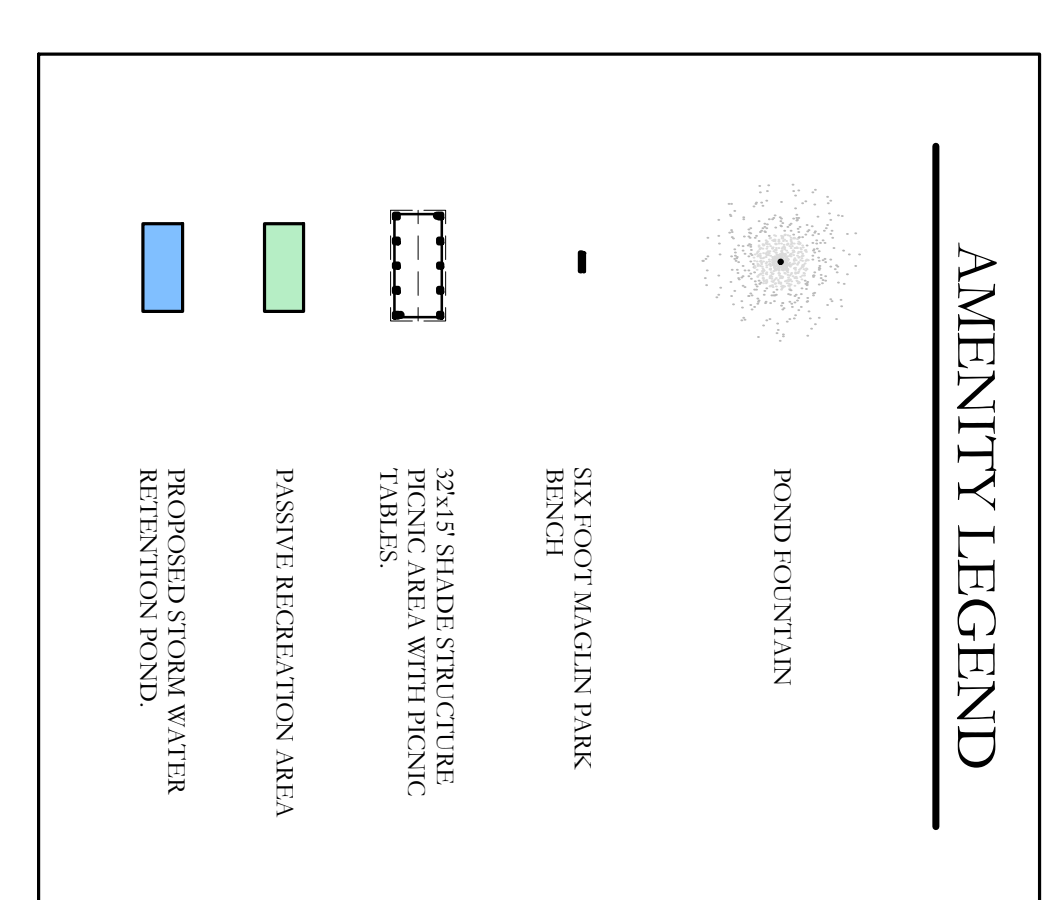
**HARDSCAPE LEGEND**

- 6'-0" HT. BRICK THIN WALL, COLUMNS SPACED 12@ 0.C.
- 6'-0" HT. DOUBLE SIDED BOARD-ON-BOARD WOOD FENCE
- 6'-0" HT. ORNAMENTAL METAL FENCE WITH MASONRY COLUMNS SPACED 12@ 0.C.
- DEVELOPMENT IMPACT AREA

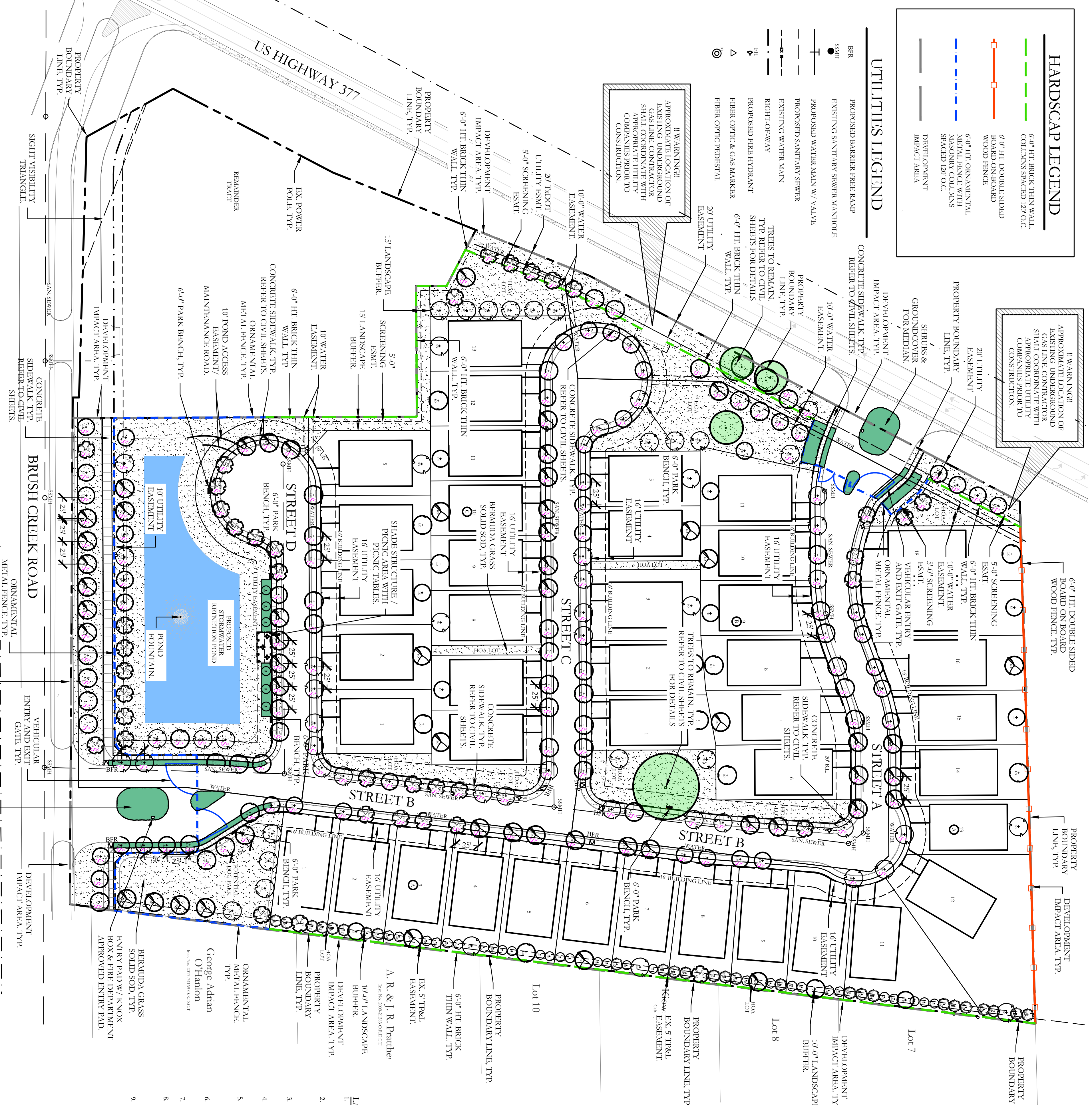
**UTILITIES LEGEND**











### HARDSCAPE LEGEND

- 6-6" HT. BRICK THIN WALL, COLUMNS SPACED 120" O.C.
- 6-6" HT. DOUBLE SIDED BOARD ON BOARD WOOD FENCE
- 6-6" HT. ORNAMENTAL METAL FENCE WITH MASONRY COLUMNS SPACED 120" O.C.
- DEVELOPMENT IMPACT AREA

### UTILITIES LEGEND

- PROPOSED BARRIER FREE RAMP
- EXISTING SANITARY SEWER MAIN/POLE
- PROPOSED WATER MAIN W/ VALVE
- PROPOSED SANITARY SEWER
- EXISTING WATER MAIN
- RIGHT-OF-WAY
- PROPOSED FIRE HYDRANT
- FIBER OPTIC & GAS MARKER
- FIBER OPTIC REDISTAL
- 20' UTILITY EASEMENT
- 16" UTILITY EASEMENT
- 10" UTILITY EASEMENT
- 5" UTILITY EASEMENT
- 2" UTILITY EASEMENT

WARNING: APPROXIMATE LOCATION OF EXISTING UNDERGROUND GAS LINE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO CONSTRUCTION.

6-6" HT. DOUBLE SIDED BOARD ON BOARD WOOD FENCE, TYP.

PROPERTY BOUNDARY LINE, TYP.

DEVELOPMENT IMPACT AREA, TYP.

PROPERTY BOUNDARY LINE, TYP.

PROPERTY BOUNDARY LINE, TYP.

PROPERTY BOUNDARY LINE, TYP.

PROPERTY BOUNDARY LINE, TYP.

### PLANT LEGEND

SYMBOL	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
(Symbol)	45	CATHERAL LIVE OAK	QUERCUS VIRGINIANA	3" CALIBER	AS SHOWN
(Symbol)	49	SILVARD OAK	QUERCUS SILVARDII	3" CALIBER	AS SHOWN
(Symbol)	42	BIR OAK	QUERCUS MACROCARPA	3" CALIBER	AS SHOWN
(Symbol)	36	GINCKGO OAK	QUERCUS MOULLENBERGII	3" CALIBER	AS SHOWN
(Symbol)	44	LACINBAR ELMI	ULMUS PARVIFOLIA	3" CALIBER	AS SHOWN
(Symbol)	8	EXISTING TREE TO BE PRESERVED			

### LARGE ORNAMENTAL TREE: 314SF

(Symbol)	26	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	2" CALIBER	AS SHOWN
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### SMALL ORNAMENTAL TREE: 79SF

(Symbol)	19	FOSTER HOLLY	ILEX X ATTENUATA 'FOSTER'	2" CALIBER	AS SHOWN
(Symbol)	16	LITTLE GEM MAGNOLIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2" CALIBER	AS SHOWN

### SHRUBS & GRASSES:

ALL SHRUBS & GRASSES TO BE INSTALLED PER THE CITY OF DENTON, TEXAS DISIGN CRITERIA MANUAL.

(Symbol)	9,575	COMMON BRUNNIA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD
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### TREE CANOPY CALCULATION TABLE

NEW CANOPY CALCULATION:	CANOPY AREA:
45 - LIVE OAK @ 1,256 SQ. FT. / EV	56,520 SQ. FT.
49 - SILVARD OAK @ 1,256 SQ. FT. / EV	61,544 SQ. FT.
42 - BUR OAK @ 1,256 SQ. FT. / EV	52,732 SQ. FT.
36 - TEXAS ASH @ 1,256 SQ. FT. / EV	45,216 SQ. FT.
44 - LACINBAR ELMI @ 1,256 SQ. FT. / EV	55,264 SQ. FT.
26 - EASTERN RED CEDAR @ 314 SQ. FT. / EV	8,164 SQ. FT.
19 - FOSTER HOLLY @ 79 SQ. FT. / EV	1,501 SQ. FT.
16 - LITTLE GEM MAGNOLIA @ 79 SQ. FT. / EV	1,264 SQ. FT.
<b>TOTAL:</b>	<b>282,225 SQ. FT.</b>

- ### LANDSCAPE STANDARDS:
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S DESIGNING DESIGN STANDARDS, PUBLIC ROW.
  - UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL ON ALL TREE PLACEMENTS.
  - 2001, 2006 SPECIFICATIONS SHALL GOVERN PLANT SPECIFICATIONS, GRASSES, AND STANDARDS.
  - THE INTERMUNICIPAL SOCIETY OF ARBORICULTURE (ISA) TREE PLANTING SHALL COMPLY WITH DESIGN HERBICIDE AND FERTILIZER APPLICATIONS.
  - TREES SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF THREE INCH DIAMETER HOLES, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
  - TREES SHALL HAVE 3" OF COMPOSTED SOIL, LYING FLAT TO A DEPTH OF 8" MINIMUM.
  - TECHNOLOGY OR APPROVED FOLIAR FEEDS AND FERTILIZERS SHALL BE USED TO MAINTAIN TREE HEALTH.
  - ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
  - STOCKPILED, NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.
  - ALL LANDSCAPE BEDS TO HAVE 4" STEEL EDGING.
  - IRRIGATION STANDARDS:
    - THE IRRIGATION SYSTEM WILL BE AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
    - PLANTING BED AREAS WILL RECEIVE SPRAY IRRIGATION.
    - IRRIGATION DESIGN STANDARDS SHALL COMPLY WITH THE CURRENT DENTON CODE OF ORDINANCE.

**LANDSCAPE NOTE:**  
 ALL LANDSCAPE DETAILS AND NOTES TO BE PROVIDED WITH FULL CONSTRUCTION DOCUMENTS PROVIDED AT A LATER DATE.  
 ALL SINGLE-FAMILY LOTS MUST CONTAIN A MINIMUM OF ONE LARGE SHADE TREE PER DWELLING. AT LEAST 20 PERCENT OF THE FRONT YARD SHALL BE LANDSCAPED.

**LANDSCAPE NOTE:**  
 ALL STREET TREES ARE IN ALTERNATIVE LOCATIONS DUE TO EASEMENTS, EXISTING UTILITIES, AND SITE CONSTRAINTS.

**BUILDER NOTE:**  
 ALL STREET TREES ADJACENT TO LOTS BETWEEN THE BACK OF CURB AND SIDEWALK SHALL BE INSTALLED BY BUILDER.

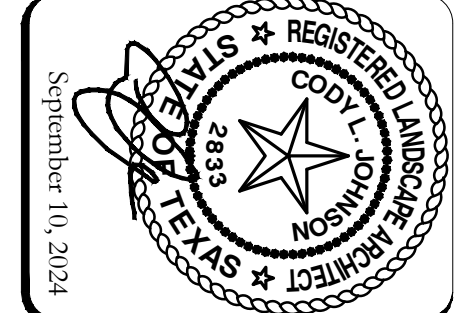
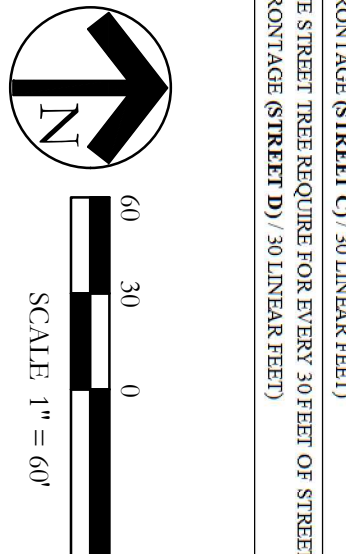
### BRUSH CREEK DENTON OVERALL LANDSCAPE DATA TABLE (LOTL BRICK)

OVERALL SITE DATE	REQUIRED	PROVIDED	POINTS PROVIDED
LOT SIZE IN SQUARE FEET	76,129 SQ. FT. (618' X 124')	67,128 SQ. FT.	10
ZONING DISTRICT	RS-80		10
DEVELOPMENT IMPACT AREA	67,128 SQ. FT.		10
FOOTPRINT OF PROPOSED BUILDINGS	47,030 SQ. FT. (68.6%)		10
LANDSCAPE AREA	13,466 SQ. FT. (28.0%)		0
PERCENTAGE OF LANDSCAPE AREA	17.29%		0
PERCENTAGE OF LANDSCAPE AREA	28,225 SQ. FT. (41.9%)		0
<b>TOTAL POINTS REQUIRED:</b>			<b>40</b>

### 7.7.7 STREET TREE REQUIREMENTS

REQUIRED	PROVIDED
17 NEARLY PROPOSED TREES & EXISTING TREES & ALTERNATIVE STREET TREES	243
18 TREES	168
29 TREES & ALTERNATIVE	313
54 TREES & ALTERNATIVE	84
94 TREES & ALTERNATIVE	1746
26 TREES & ALTERNATIVE	26



SCREENING AND BUFFERING  
 ALTERNATIVE LANDSCAPE PLAN

BRUSH CREEK DENTON  
 CITY OF DENTON  
 DENTON COUNTY, TEXAS





### LEGEND

- 33 EXISTING TREE TO REMAIN
  - 2 EXISTING TREE TO BE REMOVED
  - PROPOSED TREE PROTECTION FENCE
  - DEVELOPMENT IMPACT AREA
- INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINES OF ALL TREES SHOWN TO REMAIN. TYP.
- APPROXIMATE LOCATION OF EXISTING UNDERGROUND UTILITY CONDUITS SHALL BE COORDINATED WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- TREE PROTECTION FENCE TREE PRESERVATION AND PROTECTION DETAIL ON THIS SHEET.

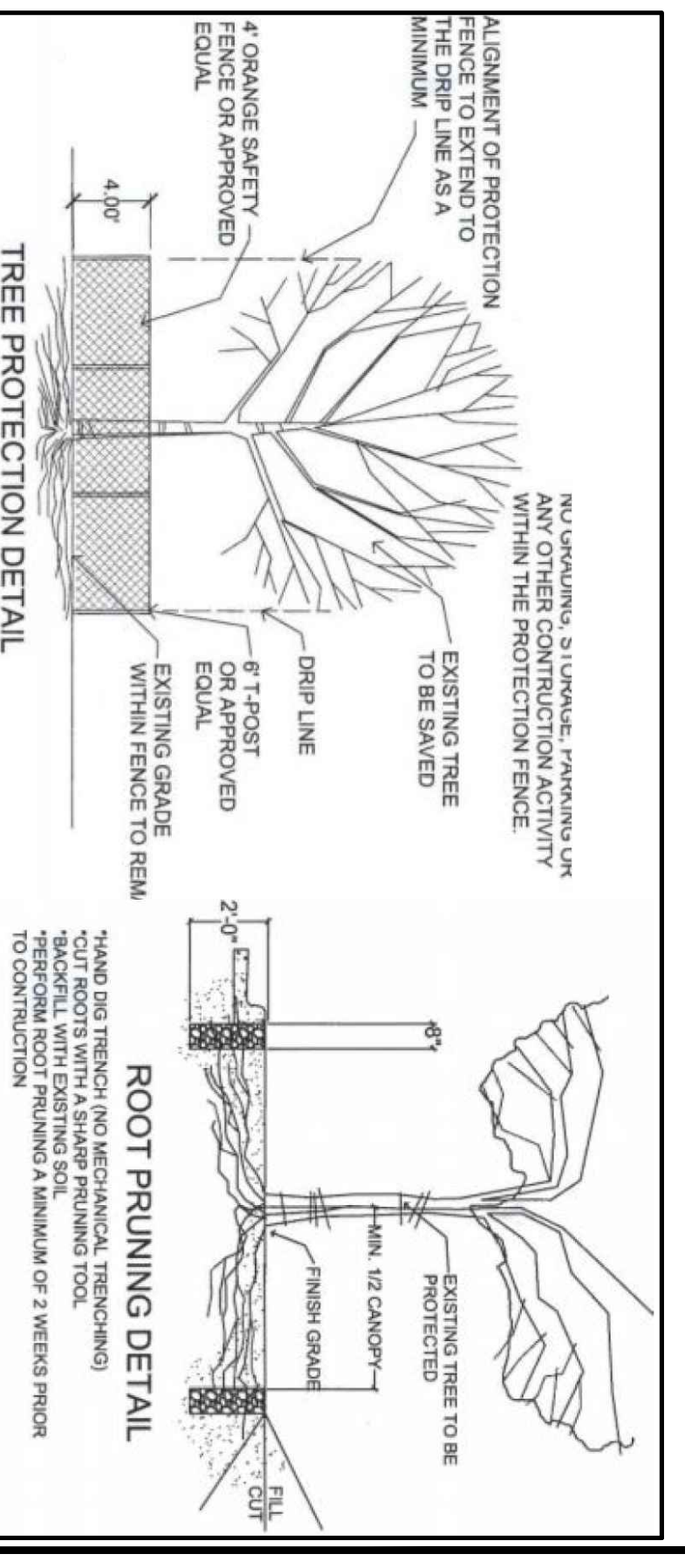
- TREE PROTECTION NOTES:**
- ALL TREES WITHIN THE PROTECTION AREA SHALL BE PROTECTED BY THE PROPOSED TREE PROTECTION FENCE. THE FENCE SHALL BE INSTALLED AT THE DRIP LINE OF THE TREE OR THE CONSTRUCTION SETBACK OR PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND INSPECTED BY DEVELOPMENT SERVICES. LOCATIONS OF PROTECTIVE FENCING SHALL BE SHOWN ON THIS SHEET.
  - TREES TO REMAIN SHALL BE IDENTIFIED BY A GREEN CIRCLE WITH A DOT. TREES TO BE REMOVED SHALL BE IDENTIFIED BY A RED CIRCLE WITH AN X.
  - PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND INSPECTED BY DEVELOPMENT SERVICES. LOCATIONS OF PROTECTIVE FENCING SHALL BE SHOWN ON THIS SHEET.
  - TREES TO REMAIN SHALL BE IDENTIFIED BY A GREEN CIRCLE WITH A DOT. TREES TO BE REMOVED SHALL BE IDENTIFIED BY A RED CIRCLE WITH AN X.
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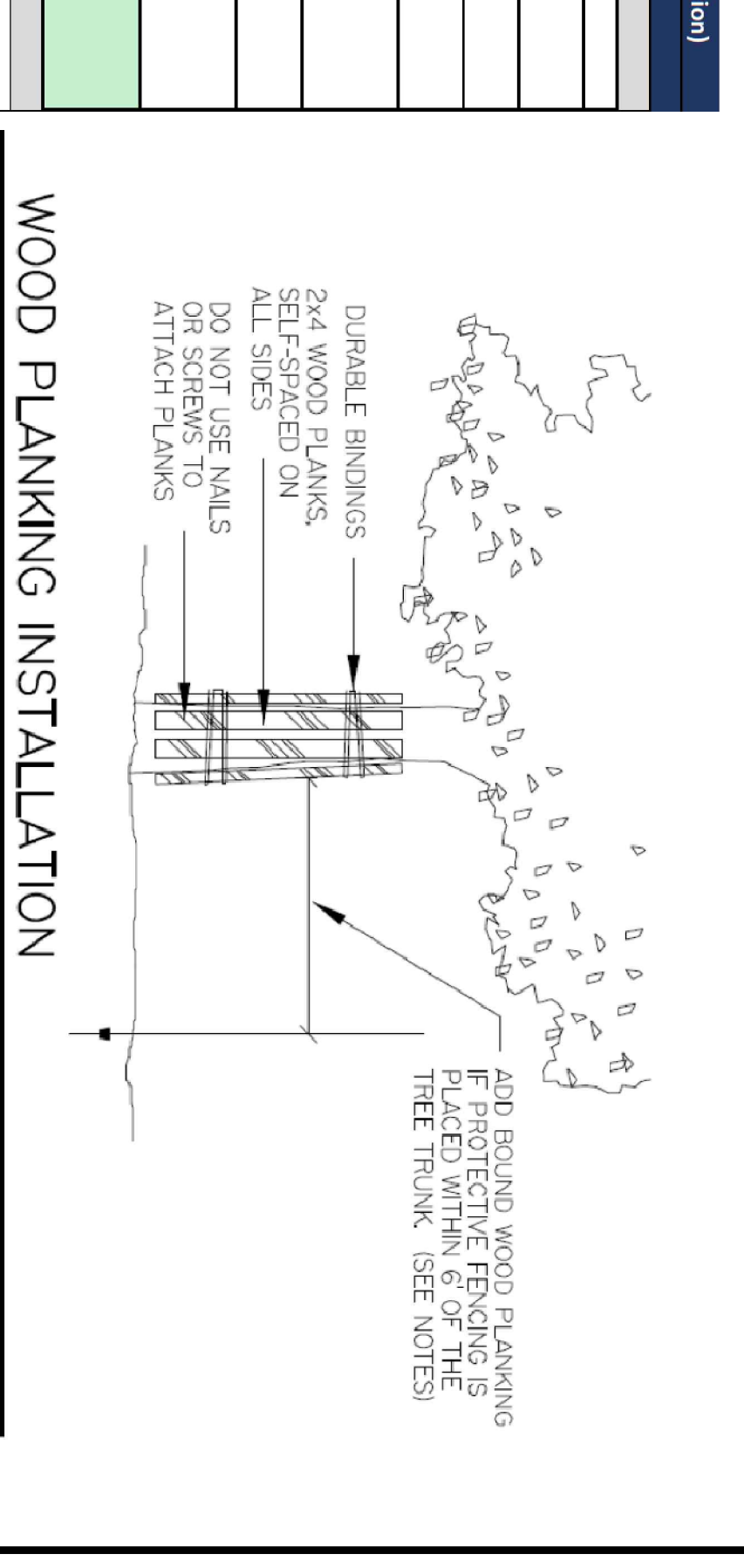
CODY JOHNSON, BEING A QUALIFIED LANDSCAPE ARCHITECT AS DEFINED IN THE DENTON DEVELOPMENT CODE, ATTESTS THAT THE IDENTIFICATION AND DRIP OF TREES IDENTIFIED ON THIS SURVEY ARE CORRECT AND THAT ALL TREES HAVE BEEN SHOWN.

SIGNATURE:

DATE: 08-13-2024



Tree Inventory	Tree Number	Common Name of Tree	%c. Density	Species (dbH)	Landmark Tree	Diameter (dbH)	Height (ft)	Health	Notes	Preservation/Removal
1	Red Oak	12	12	36.00	Healthy	Remove	DA			
2	Red Oak	12	12	32.00	Healthy	Remove	DA			
3	Red Oak	12	12	22.00	Healthy	Remove	DA			
4	Red Oak	12	12	22.00	Healthy	Remove	DA			
5	Red Oak	12	12	18.00	Healthy	Remove	DA			
6	Red Oak	12	12	18.00	Healthy	Remove	DA			
7	Red Oak	12	12	18.00	Healthy	Remove	DA			
8	Red Oak	12	12	18.00	Healthy	Remove	DA			
9	Red Oak	12	12	18.00	Healthy	Remove	DA			
10	Red Oak	12	12	18.00	Healthy	Remove	DA			
11	Red Oak	12	12	18.00	Healthy	Remove	DA			
12	Red Oak	12	12	18.00	Healthy	Remove	DA			
13	Red Oak	12	12	18.00	Healthy	Remove	DA			
14	Red Oak	12	12	18.00	Healthy	Remove	DA			
15	Red Oak	12	12	18.00	Healthy	Remove	DA			
16	Red Oak	12	12	18.00	Healthy	Remove	DA			
17	Red Oak	12	12	18.00	Healthy	Remove	DA			
18	Red Oak	12	12	18.00	Healthy	Remove	DA			
19	Red Oak	12	12	18.00	Healthy	Remove	DA			
20	Red Oak	12	12	18.00	Healthy	Remove	DA			
21	Red Oak	12	12	18.00	Healthy	Remove	DA			
22	Red Oak	12	12	18.00	Healthy	Remove	DA			
23	Red Oak	12	12	18.00	Healthy	Remove	DA			
24	Red Oak	12	12	18.00	Healthy	Remove	DA			
25	Red Oak	12	12	18.00	Healthy	Remove	DA			
26	Red Oak	12	12	18.00	Healthy	Remove	DA			
27	Red Oak	12	12	18.00	Healthy	Remove	DA			
28	Red Oak	12	12	18.00	Healthy	Remove	DA			
29	Red Oak	12	12	18.00	Healthy	Remove	DA			
30	Red Oak	12	12	18.00	Healthy	Remove	DA			
31	Red Oak	12	12	18.00	Healthy	Remove	DA			
32	Red Oak	12	12	18.00	Healthy	Remove	DA			
33	Red Oak	12	12	18.00	Healthy	Remove	DA			
34	Red Oak	12	12	18.00	Healthy	Remove	DA			
35	Red Oak	12	12	18.00	Healthy	Remove	DA			
36	Red Oak	12	12	18.00	Healthy	Remove	DA			



Tree Mitigation Worksheet (20% Preservation)			
Type	dbH	Replacement Ratio	Calculated DBH
Total (Healthy) dbH	634	0	0
Dead/Deceased Tree	0	4/4	4/4
Total (Healthy) dbH	634	94.8	94.8
Heritage/Quality dbH	114	114	114
Required (Preservation 20%)	19.2	19.2	19.2
Heritage/Quality dbH	28.2	28.2	28.2
Required (Mitigation Max 10%)	28.2	28.2	28.2
Required (Preservation dbH Achieved?)	Yes		

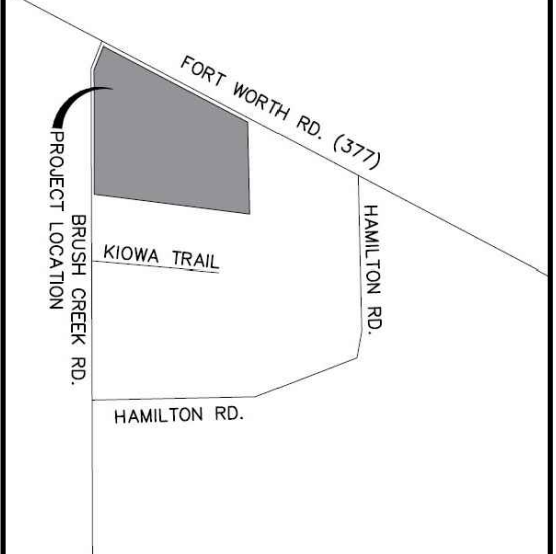
Type	dbH	Replacement Ratio	Calculated DBH
Heritage	42	2.75:1	115.5
Quality	5-4	2.25:1	12.15
Subtotal	47.4		127.65
Higher Mitigation (Total dbH achieved?)	Yes		

Type	dbH	Replacement Ratio	Calculated DBH
Heritage	288	2.5:1	720
Quality	24.6	2.1	49.2
Subtotal	312.6		769.2
Trees Removed	6	4" : 1 tree	24
Secondary	6	15% Reduction	920.55
Preliminary Mitigation dbH	306		466.425
Required Mitigation dbH	114		318
Required Mitigation dbH	114		142.425

### LOCATION MAP

NOT TO SCALE



SITE DATA	
SITE AREA	18.07 AC
GROSS AREA	15.44 AC
SETBACK AREA	16.67 AC
SETH FRONT YARD	5 FT
SIDE YARD	10 FT
CORNER SIDE YARD	20 FT
REAR YARD	7000 SF
LOT INFORMATION	60 FT
MINIMUM WIDTH	120 FT
MINIMUM DEPTH	42
NUMBER OF LOTS	12
5% OF SITE TO BE OPEN SPACE	10% PROVIDED

