



City of Denton

City Hall
215 E. McKinney St.
Denton, Texas 76201
www.cityofdenton.com

Meeting Agenda

Development Code Review Committee

Monday, October 13, 2025

3:00 PM

Development Services Center

After determining that a quorum is present, the Development Code Review Committee of the City of Denton, Texas will convene in a Regular Meeting on Monday, October 13, 2025, at 3:00 p.m. in Training Rooms 3, 4, and 5, at the Development Service Center, 401 N. Elm Street, Denton, Texas, at which the following items will be considered:

1. ITEMS FOR CONSIDERATION

- A. [DCRC25-151](#) Consider approval of minutes for September 22, 2025.

Attachments: [September 22, 2025](#)

- B. [DCRC25-153](#) Receive a report, hold a discussion, and give staff direction regarding tree canopy goals contained within the Denton Development Code Subsection 7.7.2 and the Urban Forest Master Plan.

Attachments: [Exhibit 1 - Agenda Information Sheet](#)

[Exhibit 2 - DDC 7.7.2 - Intent](#)

[Exhibit 3 - Presentation](#)

- C. [DCRC25-095](#) Receive a report, hold a discussion, and give staff direction regarding proposed Code amendments related to Tree Preservation.

Attachments: [Exhibit 1 - Agenda Information Sheet](#)

[Exhibit 2- Proposed Redline Markups \(DDC 7.7.4.C-E, Tree Removal Permit, Tr](#)

[Exhibit 3- Draft Presentation](#)

2. DEVELOPMENT CODE REVIEW COMMITTEE PROJECT MATRIX

- A. [DCRC25-152](#) Hold a discussion regarding the Development Code Review Committee Project Matrix.

Attachments: [DCRC Matrix](#)

3. CONCLUDING ITEMS

A. Under Section 551.042 of the Texas Open Meetings Act, respond to inquiries from the Development Code Review Committee or the public with specific factual information or recitation of policy, or accept a proposal to place the matter on the agenda for an upcoming meeting AND Under Section 551.0415 of the Texas Open Meetings Act, provide reports about items of community interest regarding which no action will be taken, to include: expressions of thanks, congratulations, or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee, or other citizen; a reminder about an upcoming event organized or sponsored by the governing body; information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the governing body that was attended or is scheduled to be attended by a member of the governing body or an official or employee of the municipality; or an announcement involving an imminent threat to the public health and safety of people in the municipality that has arisen after the posting of the agenda.

CERTIFICATE

I certify that the above notice of meeting was posted on the official website (<https://tx-denton.civicplus.com/242/Public-Meetings-Agendas>) and bulletin board at City Hall, 215 E. McKinney Street, Denton, Texas, on October 7, 2025, in advance of the three (3) business day posting deadline, as applicable, and in accordance with Chapter 551 of the Texas Government Code.

OFFICE OF THE CITY SECRETARY

NOTE: THE CITY OF DENTON'S DESIGNATED PUBLIC MEETING FACILITIES ARE ACCESSIBLE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. THE CITY WILL PROVIDE ACCOMMODATION, SUCH AS SIGN LANGUAGE INTERPRETERS FOR THE HEARING IMPAIRED, IF REQUESTED AT LEAST TWO (2) BUSINESS DAYS IN ADVANCE OF THE SCHEDULED MEETING. PLEASE CALL THE CITY SECRETARY'S OFFICE AT 940-349-8309 OR USE TELECOMMUNICATIONS DEVICES FOR THE DEAF (TDD) BY CALLING 1-800-RELAY-TX SO THAT REASONABLE ACCOMMODATION CAN BE ARRANGED.

MINUTES
DEVELOPMENT CODE REVIEW COMMITTEE
September 22, 2025

After determining that a quorum is present, the Development Code Review Committee of the City of Denton, Texas will convene in a Regular Called Meeting on Monday, September 22, 2025, at 3:01 p.m. in Training Rooms 3, 4, and 5 at the Development Services Center, 401 N. Elm Street, Denton, Texas, at which the following items will be considered:

PRESENT: Chair Brian Beck, and Members: Suzi Ruhmor, Lisa Dyer, and Clay Riggs

ABSENT: Members: Jill Jester and Eric Pruett

REGULAR MEETING

1. ITEMS FOR CONSIDERATION

A. DCRC25-147: Consider approval of minutes for September 8, 2025.

AYES (4): Chair Brian Beck, and Members: Suzi Ruhmor, Lisa Dyer, and Clay Riggs

NAYS (0): None

ABSENT FOR VOTE (2): Members: Jill Jester and Eric Pruett

Member Rumohr moved to approve the minutes as presented. Motion seconded by Member Dyer. Motion carried.

B. DCRC25-05c: Receive a report, hold a discussion, and give staff direction regarding proposed Code amendments related to Tree Preservation.

Staff presented the Code amendments, and Committee discussed specific language proposed as part of the amended definitions and long-term repercussions of said changes. Following discussion, the Committee provided staff direction and sought clarification of various terms discussed. No action was taken and further discussion is required.

2. DEVELOPMENT CODE REVIEW COMMITTEE PROJECT MATRIX

A. DCRC25-148: Hold a discussion regarding the Development Code Review Committee Project Matrix.

Angie Manglaris, Development Review Manager, presented the item.

Discussion followed.

3. CONCLUDING ITEMS

With no further business, the Regular Meeting was adjourned at 4:52 p.m.

X

Brian Beck
Chair

X

Carly Blondin
Administrative Assistant

Minutes approved on: _____



City of Denton

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AGENDA INFORMATION SHEET

DEPARTMENT: Department of Development Services

DCM: Cassey Ogden

DATE: October 13, 2025

SUBJECT

Receive a report, hold a discussion, and give staff direction regarding tree canopy goals contained within the Denton Development Code Subsection 7.7.2 and the Urban Forest Master Plan.

BACKGROUND

On September 8, 2025, the Development Code Review Committee (DCRC) held a discussion regarding tree canopy goals established with the adoption of the City of Denton's 2020 Urban Forest Master Plan (UFMP). Staff also provided an overview of the City's most recent tree canopy data (2024), information on current City-managed planting efforts, and future canopy projections based on these plantings.

As part of the discussion, the DCRC directed staff to bring back an item reviewing the City's tree canopy goals as stated in the Denton Development Code (DDC) and in the Urban Forest Master Plan. At the October 13, 2025 DCRC meeting, staff will provide an overview of DDC Subsection 7.7.2: Intent as well as the tree canopy goals stated in the UFMP. In addition, staff will provide an overview of Tree Equity Scores and the intent to shift towards this utilizing this metric more frequently as the City continues to refine tree canopy goals.

At the end of the discussion, staff will seek consensus on next steps as it relates to the tree canopy goals contained within the DDC.

EXHIBITS

1. Agenda Information Sheet
2. DDC 7.7.2 – Intent
3. Draft Presentation (finalized version will be distributed at meeting)

Respectfully submitted:
Hayley Zagurski, AICP
Planning Director

Prepared by:
Angie Manglaris, AICP
Development Review Manager

7.7.2 Intent.

- A. The intent of these regulations is to achieve and maintain an average minimum of 30 percent tree canopy coverage citywide from preserved trees and newly planted trees, and to promote a multi-aged urban forest. Specifically, to achieve the city's goal of a city-wide average tree canopy cover of at least 30 percent, the following goals are established for specific areas of the city based upon the unique ecoregions present in different areas of the city:
 - 1. For areas east of the Interstate 35/Interstate 35-W corridor, where the Cross Timbers ecoregions is more prevalent, the minimum canopy goal shall be 40 percent coverage.
 - 2. For areas west of the Interstate 35/Interstate 35-W corridor, where the Grand Prairie ecoregion is more prevalent, the minimum canopy goal shall be 20 percent coverage.
- B. These regulations are intended to promote the functional distribution of that canopy throughout various land uses as development occurs through a combination of planting and retention goals and requirements for tree canopy cover.

DCRC25-153 Tree Canopy Goals

Angie Manglaris, AICP
Development Review Manager
October 13, 2025




Landscaping, Screening, Buffering and Fences – DDC Subsection 7.7.2 Intent

A. **The intent of these regulations is to achieve and maintain an average minimum of 30 percent tree canopy coverage citywide** from preserved trees and newly planted trees, and to promote a multi-aged urban forest. Specifically, to achieve the city's goal of a city-wide average tree canopy cover of at least 30 percent, **the following goals are established for specific areas of the city based upon the unique ecoregions** present in different areas of the city:

1. For areas **east of the Interstate 35/Interstate 35-W corridor**, where the Cross Timbers ecoregions is more prevalent, the minimum canopy goal shall be **40 percent coverage**.
2. For areas **west of the Interstate 35/Interstate 35-W corridor**, where the Grand Prairie ecoregion is more prevalent, the minimum canopy goal shall be **20 percent coverage**.

B. **These regulations are intended to promote the functional distribution of that canopy throughout various land uses** as development occurs **through a combination of planting and retention goals** and requirements for tree canopy cover.



A safe and healthy urban forest

- Goal 1: Efficiently manage the community tree resource.
- Goal 2: Promote tree health and good structure.
- Goal 3: Mitigate and reduce risk of wildfire.

Primary Objectives:

- Improve understanding of the structure and composition of Denton's community tree resource.
- Following completion of a tree inventory, develop pruning and maintenance cycles.
- Continue to use planting funds successfully.
- Explore the feasibility of the City taking responsibility for the maintenance of community trees in neighborhoods.
- Revise policies and standards for pruning young trees to promote healthy growth and structure.
- Ensure community trees are maintained according to industry standards to promote tree health, longevity, and also public safety.
- Contribute to a fire safe community.




Sustain environmental benefits

- Goal 4: Recognize trees as green infrastructure.
- Goal 5: Promote tree preservation and protection.
- Goal 6: Develop a City-wide planting plan.
- Goal 7: Adopt Plant Health Care (PHC) policies.

Primary Objectives:

- Minimize the encroachment of other utilities.
- Develop maintenance and design strategies for mitigating conflict with otherwise healthy trees.
- Ensure design standards adequately consider trees.
- Revise and amend the Code of Ordinances to promote the protection of community trees.
- Continue to contribute mitigation fees to the Tree Fund.
- Mitigate the impacts of development on native post oak stands.
- Educate the community about their role in maintaining a safe urban forest.
- Achieve 40% canopy cover by 2040.
- Promote species diversity in the urban forest.
- Encourage equitable distribution of tree canopy across the City.
- Set emphasis on planting the right tree in the right place.
- Encourage the expansion of the urban forest through tree plantings on private property.
- Support stormwater management through the strategic growth of canopy.
- Monitor invasive species.



Engage the community to ensure the future of the urban forest

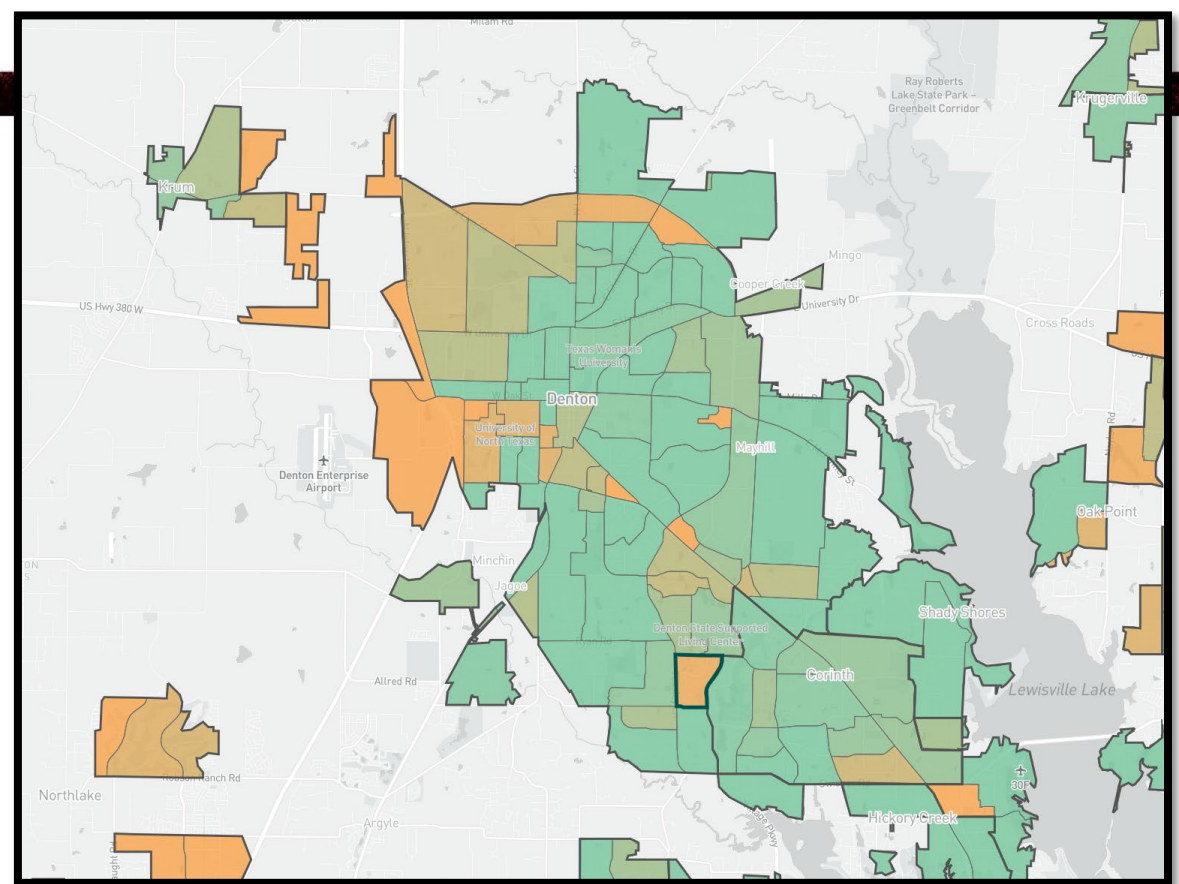
- Goal 8: Support community engagement and stewardship of the urban forest.
- Goal 9: Celebrate the importance of urban trees.

Primary Objectives:

- Develop and maintain a web page for the Urban Forestry Division on the City website.
- Interact with community members through a variety of outlets.
- Maintain Tree City USA.

Tree Equity Scores

Tree Equity Score measures how well the critical benefits of urban tree canopy are reaching those who need them most. The score establishes an equity-first standard to guide investment in communities.



Tree Equity Score combines information from a variety of sources to create a single measure from 0 to 100. The lower the score, the greater the need for investment.



TREE CANOPY



BUILDING DENSITY



INCOME & EMPLOYMENT



RACE



SURFACE TEMPERATURE



HEALTH



LANGUAGE



AGE

Landscaping, Screening, Buffering and Fences – DDC Subsection 7.7.2 Intent

A. The intent of these regulations is to help support the City's tree canopy goals as outlined in the Urban Forest Master plan through ~~achieve and maintain an average minimum of 30 percent tree canopy coverage citywide from~~ preserved trees and newly planted trees, and to promote a multi-aged urban forest. ~~Specifically, to achieve the city's goal of a city-wide average tree canopy cover of at least 30 percent, the following goals are established for specific areas of the city based upon the unique ecoregions present in different areas of the city:~~

- ~~1. For areas east of the Interstate 35/Interstate 35-W corridor, where the Cross Timbers ecoregions is more prevalent, the minimum canopy goal shall be 40 percent coverage.~~
- ~~2. For areas west of the Interstate 35/Interstate 35-W corridor, where the Grand Prairie ecoregion is more prevalent, the minimum canopy goal shall be 20 percent coverage.~~

B. These regulations are intended to promote the functional distribution of that canopy throughout various land uses as development occurs through a combination of planting and retention goals and requirements for tree canopy cover.

Questions?



City of Denton

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AGENDA INFORMATION SHEET

DEPARTMENT: Department of Development Services

DCM: Cassey Ogden

DATE: October 13, 2025

SUBJECT

Receive a report, hold a discussion, and give staff direction regarding proposed Code amendments related to Tree Preservation.

BACKGROUND

In late 2024, City Council prioritized a review of the Tree Preservation Code, and on December 9, 2024, the Development Code Review Committee (DCRC) held a discussion regarding prioritizing future potential Denton Development Code (DDC) amendment topics and similarly provided direction to staff regarding the prioritization of amendments to the DDC related to Tree Code. Staff has been tasked with assessing the current DDC Tree Code standards and presenting amendments to the DDC where appropriate.

The proposed amendments Staff has identified relate to industry best practices, improving clarity, and simplification of implementation of regulations for applicable development. Examples of sections that Staff is proposing to amend for clarifications include Tree Protection Requirements During Construction, Minimum Preservation Requirements, and Tree Replacement.

At the May 12, 2025, DCRC meeting, Staff introduced the current Tree Preservation Code regulations in DDC Subsection 7.7.4 and provided an overview of current standards. The discussion included an array of topics including but not limited to tree removal requirements, mitigation and replacement requirements, and City canopy goals.

At the June 23, 2025, DCRC meeting, Staff presented background on the City of Denton's Tree Code ordinance and how it relates to various provisions in the Texas Local Government Code, including discussions on vesting and state law relating to a city's authority to regulate tree preservation. A portion of the discussion regarding state law was held in a Closed Session meeting. The discussion on TLGC 212.905 was continued in closed session along with an overview of takings law at the July 14, 2025 DCRC Meeting.

Also at the July 14, 2025 DCRC meeting, Staff began the discussion of proposed Tree Code amendments; specifically, amendments to Subsection 9.2: Definitions. Following an overview of the proposed amendments, Staff requested consensus and opened the floor for additional feedback from the Committee regarding the proposed edits to the DDC.

At the September 22, 2025 DCRC meeting, Staff continued discussion of proposed amendments to the Tree Code, and revisited Subsection 9.2: Definitions, taking into consideration feedback gathered from the Committee at the July 14, 2025 meeting. Following the presentation of the proposed amendments, Staff

presented proposed amendments to Subsection 7.7.4.A and B: Purpose and Intent and Applicability and Exemptions.

At the October 13, 2025 DCRC meeting, Staff will present proposed amendments to Subsections 7.7.4.C through E. These Subsections relate to tree removal permits, tree protection during construction, and tree preservation plans. Following presentation of these amendments, Staff will open the floor for additional feedback from the Committee regarding the proposed DDC amendments.

A draft of Staff's presentation is provided as Exhibit 3. Please note that the presentation is still being refined, and a finalized version will be shared at the meeting.

EXHIBITS

1. Exhibit 1 – Agenda Information Sheet
2. Exhibit 2- Proposed Redline Markups (DDC 7.7.4.C-E, Tree Removal Permit, Tree Protection Requirements During Construction, Tree Survey and Preservation/Replacement Plan)
3. Exhibit 3 – Draft Presentation

Respectfully submitted:
Hayley Zagurski, AICP
Planning Director

Erin Stanley & Bryce VanArsdale
Assistant Planners

7.7.4 Tree Preservation.

C. Tree Removal Permit.

1. New Development/Construction.

- a. In the event it becomes necessary to remove a tree for development or construction, a tree removal permit is required. No protected tree may be removed for development or construction until the final plat has been approved and the Building Official has properly issued a tree removal permit for that purpose. In instances where a final plat is not required, proposed removal of protected trees shall be reviewed with any required site plan for development.
- b. All areas within the public rights-of-way, utility easements or drainage easements, as shown on an approved plat, and areas designated as cut/fill on the related drainage plan approved by the City Engineer, shall be subject to the requirements of this section.
- c. Dead or diseased trees within 50 feet of proposed improvements shall be noted for removal on the Tree Preservation Plan and removed during the construction phase of development.

2. Municipal/Public Property.

Property owned by the City of Denton, State of Texas, a political subdivision of the State of Texas, or any public school, public school district, or nonprofit charter school shall be subject to requirements of Subsection 7.4.3.

3. Tree Removal Permit Required.

- a. No protected trees may be removed or transported until authorized by a tree removal permit. It shall be an affirmative defense to prosecution that permitting is exempted by Subsection 7.7.4B.

4. Tree Removal Permit Review and Approval Process.

- a. Applicant submits a complete application, along with the applicable fees.
- b. A tree survey and tree preservation plan is required for all new development, in accordance with Subsection 7.7.4D.
- c. A tree removal permit is valid for 180 days, or for the duration of a building permit, clearing and grading permit, or clearing and grubbing permit issued in conjunction with the tree removal permit, whichever is longer.
- d. Protected trees shall not be removed until:
 - i. Proper mitigation or replacement requirements have been determined and approved for the lot or site on an approved tree survey and preservation plan; and
 - ii. A preconstruction meeting has been held with proper city staff authorizing grading and construction activities to begin on the lot or site; and/or
 - iii. A tree removal permit has been issued for the lot or site.

5. Standards for Relocating Heritage and Quality Trees.

All permitted tree relocations shall be in accordance with the Landscape and Tree Preservation Criteria Manual. ~~applicable American National Standards for Tree Care Operations ANSI A300.~~

6. Permits Issued for Public Need, Danger, or Calamity.

The Director or designee may issue a permit for the removal of a protected tree provided that it:

- a. Is determined to be in a hazardous or dangerous condition so as to endanger the public health, welfare, or safety;

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- b. Hinders or obstructs the construction, maintenance, repair, or replacement of city streets, water and sewer lines, and drainage and storm sewer;
 - c. Is located in any right-of-way required under the mobility/thoroughfare plan to be dedicated to, and accepted by the city. This does not include trees being removed for proposed driveways, right and left turn lanes, or median openings required or warranted by a development. Trees removed in these instances shall be replaced per paragraph 7.7.7F.5;
 - d. Hinders or obstructs the construction, repair, maintenance, or replacement of public improvement projects including, but not limited to, major collection lines for sanitary sewer, distribution lines for water, collection and management of storm water runoff, and thoroughfares designated for construction in the City's Capital Improvement Project Plan, Water and Sanitary Distribution Line Maps, or Mobility/Thoroughfare Plan;
 - e. Is damaged beyond repair or killed by a tornado, ice or wind-storms, flooding, or other acts of nature; or
 - f. Is otherwise required by statute.

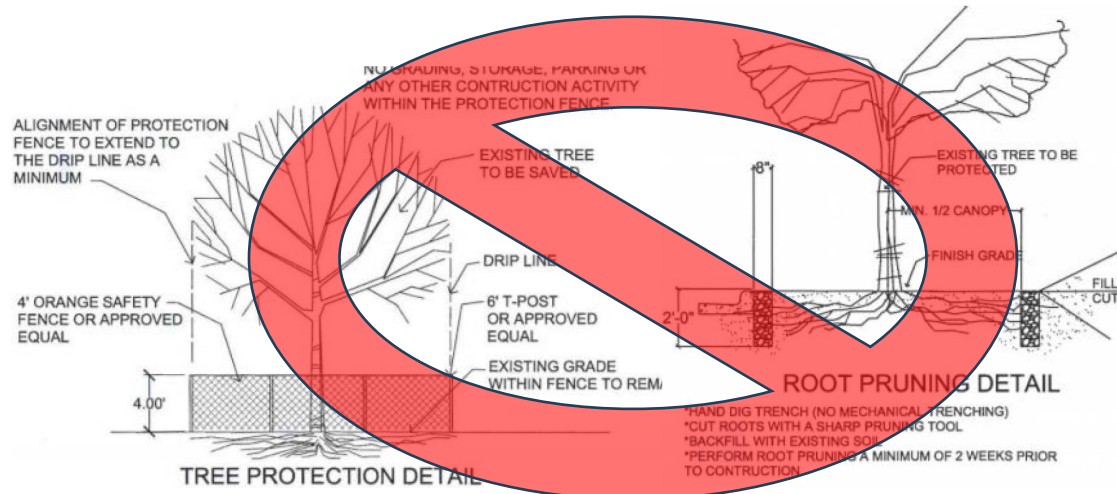
7. Trees Removed Without a Permit Trees removed without a permit will be charged fees per the city's adopted fee schedule.

- D. **Tree Protection Requirements During Construction.** Property owners shall adhere to the following tree protection measures on all construction sites, consistent with details and standards provided for in Landscape and Tree Preservation Criteria Manual. ~~Figure 7-7-1: Tree Protection and Root Pruning Details.~~
- 1. Prior to grading, brush removal, or construction, the developer shall clearly tag ~~or mark~~ all trees to be preserved with a round metal tag affixed on the south side of the trunk.
 - 2. **Tree protection fencing:**
 - a. The developer shall erect a ~~an~~ UV resistant, heavy duty, reusable orange plastic mesh fence, or other approved fencing material, a minimum of four feet in height around each quality tree or group of trees to prevent the placement of debris, equipment, or fill within the dripline or critical root zone, as depicted on a plan approved by staff.
 - b. When a heritage tree or group of heritage trees is fenced separately from other trees to be preserved: The developer shall erect a chain link fence around each heritage tree or group of heritage trees to prevent the placement of debris, equipment, or fill within the dripline or critical root zone, as depicted on a plan approved by staff.
 - c. The fencing shall be placed at the Dripline of trees to be preserved.
 - i. Fencing may be located at the edge of the Critical Root Zone if additional protection, as specified in the Landscape and Tree Preservation Criteria Manual, is provided, and in accordance with DDC 7.7.4.D.3.
 - ii. At no time shall the fencing be located within the Critical Root Zone.
 - d. One tree protection zone sign shall be installed for every 20 linear feet of tree protection fencing in accordance with the Landscape and Tree Preservation Criteria Manual.
 - ~~ed.~~ The fence shall be installed prior to the release of any permit. If the protection fence is found removed, damaged, or altered at any time during construction prior to final inspection or landscape installation, a stop work order may be issued by the Building Official.
 - 3. In instances where 20% or more of the area within the Dripline of a preserved tree is proposed to be impacted, a signed and notarized letter from an arborist shall be required. This letter shall include

[additional protection methods, a maintenance plan, and any root pruning, fungicide, or growth hormone treatments.](#)

4. During the construction phase of development, the developer shall prohibit cleaning, parking, or storage of equipment or materials under the canopy of any tree or group of trees required to be preserved. The developer shall not allow the disposal of any waste material harmful to tree growth and health, such as, but not limited to, paint, oil, solvents, asphalt, concrete, or mortar in the dripline area.

Figure 7.7 1: Tree Protection and Root Pruning Details



4. No attachments or wires of any kind, other than those intended to identify or protect a protected tree, shall be attached to any tree.
5. No fill or excavation [four inches or greater in depth](#) may occur within the ~~d~~Dripline of a tree to be preserved unless there is a specific approved plan for use of tree wells or retaining walls.
 - a. [Any change in grade surrounding preserved trees shall maintain positive drainage away from the tree to avoid standing water.](#)
 - b. [If positive drainage is not attainable then subsurface drainage shall be installed.](#)
 - c. [Trenching, if necessary, within the Dripline of a tree shall be done with the approval of an ISA Certified Arborist.](#)
6. Any plan proposing the use of tree wells or retaining walls within the ~~d~~Dripline of a tree to be preserved shall be designed by a licensed landscape architect, [and in accordance with the following](#);
 - a. Major changes of grade (four inches or greater) will require additional measures to maintain proper oxygen and water exchange with the roots [in accordance with ANSI A300 as revised](#). ~~In addition, the developer should adhere to the following guidelines to protect the trees to be preserved:~~
 - b. ~~a.~~ [With grade changes, a Any proposed](#) reinforced retaining wall or tree well [\(including required footings\)](#) ~~of a design must be~~ approved by the city ~~should and shall~~ be constructed ~~around the tree outside of the Critical Root Zone. no closer than half the distance between the trunk and the drip line.~~

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- b. ~~At no time should a wall, pavement, or porous pavement be placed closer than five feet or one foot for every two inches in caliper, whichever is greater, to the trunk of the tree.~~
- c. The retaining wall ~~should~~ shall be constructed so as to maintain the existing grades around a tree or group of trees.
- d. ~~e.~~ In instances where tree wells or retaining walls are approved, root pruning in accordance with ANSI A300 as revised may be necessary when the ~~critical root zone~~ Dripline is to be disturbed. ~~See Figure 7.7-1.~~
- e. Tree wells or retaining walls must be constructed within two weeks of initial site grading. Extensions may be approved subject to Director approval.
7. ~~d.~~ If a patio, sidewalk, drive, parking lot, or other paved surface must be placed within the drip line of an existing tree, material such as a porous pavement or other approved construction methods that will allow the passage of water and oxygen ~~may~~ shall be required. However, at no time shall said paved surfaces, including porous pavement or other approved construction methods, be placed closer than five feet or one foot for every two inches in caliper, whichever is greater, to the trunk of ~~within the Critical Root Zone of the tree.~~

E. Tree Survey and Preservation/Replacement Plan.

1. A tree survey and preservation/replacement plan is required for the development impact areas and shall accompany the initial application for a site plan, Civil Engineering Plan, ~~preliminary plat, replat,~~ gas well site plan, or a ~~clear and grade~~ permit where tree preservation is applicable, regardless of the number of trees present on a property.
2. A tree survey and preservation/replacement plan ~~may~~ shall be required to accompany a zoning application, specific use permit, or a planned development amendment where tree and landscaping requirements are relevant to the requested zoning or development amendment, as determined by the Director.
3. Each tree survey and preservation/replacement plan shall contain, but not be limited to, the following required elements:
 - a. The locations of all trees to be preserved and removed on the subject site.
 - i. Trees to be preserved shall be represented by a symbol equivalent to the Dripline.
 - b. A table containing the following information for all trees:
 - i. Tree number;
 - ii. Common name of each tree;
 - iii. Botanical name of each tree ~~Circumference of each landmark tree;~~
 - iv. Diameter (~~dbh~~ DBH) of each tree;
 - v. General health and condition of each tree;
 - vi. Average canopy spread (calculated as $R^2 \times 3.14$, where R= the DBH value provided in the inventory table);
 - vii. Classification (quality, heritage, landmark, secondary, or non-protected) and status (preserve or remove) for each tree; and
 - viii. Mitigation worksheet as shown in Table 7.C.

-
4. The tree survey and preservation/replacement plan shall be prepared by or under the supervision of an ISA certified or ASCA registered arborist, a SAF certified forester, botanist, [registered landscape architect, or a professional land surveyor in coordination with an ISA certified arborist, TFA Accredited Forester, or ASCA registered arborist.](#) ~~professional land surveyor that has documented completion of at least eight hours of training in Texas tree identification, or a registered landscape architect.~~
 5. Residential subdivisions that are to be developed in phases must provide a plan that complies with the preservation requirements at full build-out as approved on the preliminary plat, [final plat, zoning compliance plan, or approved development plan as part of a planned development](#) ~~or general development plan.~~
 6. Any subsequent redevelopment of property shall preserve the minimum percentage ~~dbh~~ [DBH](#) inches as indicated by the initial tree survey and preservation/replacement plan.
 7. A notation must be placed on the preliminary plat; ~~and~~ [final plat; stating that a tree survey and preservation/replacement plan will be required prior to development and the release of building permits in accordance with the City of Denton Standard Plat Notes. If an approved TPP exists: a notation shall be placed on the](#) ~~site~~ [Final Plat, Zoning Compliance plan, Specific-Use Permit Site Plan, Planned Development District Development Plan, and building permit referring to the approved tree survey and preservation/replacement plan.](#) ~~identifying the dbh of trees to be preserved and the location of the lots that contain preserved trees.~~ The notation shall limit any future unauthorized land disturbing activity or construction that would impact and/or damage the tree(s) preserved.
 8. A tree survey and preservation/replacement plan shall be approved if the minimum preservation and replacement requirements are met.
 9. If there are no protected trees on a property, then a signed and notarized letter indicating such shall be prepared by or under the supervision of an ISA certified or ASCA registered arborist, a SAF certified forester, botanist, [registered landscape architect, or a professional land surveyor in coordination with an ISA certified arborist, TFA Accredited Forester, or an ASCA registered arborist](#) ~~professional land surveyor that has documented completion of at least eight hours of training in Texas tree identification, or a registered landscape architect~~ and submitted with the initial development application.

10. Tree Survey Expiration:

- a. Tree surveys must be completed within 6 months of the initial project submittal.
- b. Tree surveys shall expire 24 months after initial submittal if progress toward completion of the project has lapsed for a period greater than 9 months. A 6-month extension may be granted subject to Director approval.
- c. Should a Tree survey expire, a new tree survey and preservation plan shall be conducted and submitted for review.

DCRC25-0095c Tree Code Definitions

Bryce Van Arsdale & Erin Stanley
Assistant Planners

October 13, 2025



7.7.4.C. Tree Removal Permit

1. New Development/Construction

- c. Dead or diseased trees within 50 feet of proposed improvements shall be noted for removal on the Tree Preservation Plan and removed during the construction phase of development.

5. **Standards for Relocating Heritage and Quality Trees.** All permitted tree relocations shall be in accordance with the Landscape and Tree Preservation Criteria Manual. ~~applicable American National Standards for Tree Care Operations ANSI A300.~~

7. Trees Removed Without a Permit Trees removed without a permit will be charged fees per the city's adopted fee schedule.

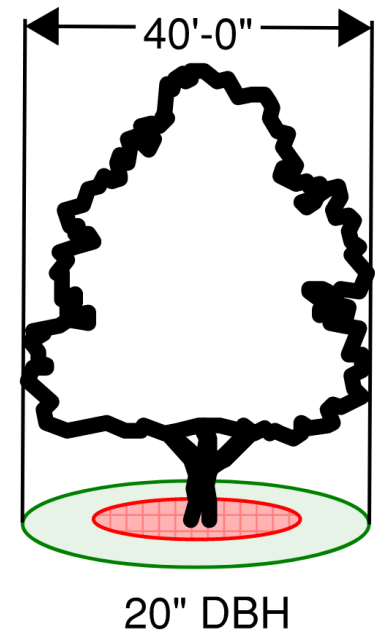
7.7.4.D. Tree Protection During Construction

1. Prior to grading, brush removal, or construction, the developer shall clearly tag ~~or mark~~ all trees to be preserved with a round metal tag affixed on the south side of the trunk.

7.7.4.D. Tree Protection During Construction

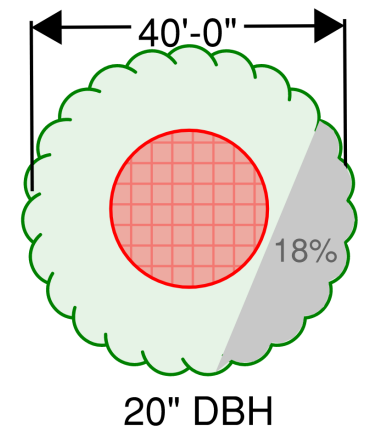
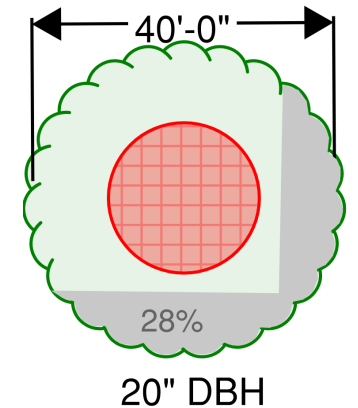
2. Tree protection fencing:

- b. When a heritage tree or group of heritage trees is fenced separately from other trees to be preserved: The developer shall erect a chain link fence around each heritage tree or group of heritage trees to prevent the placement of debris, equipment, or fill within the dripline or critical root zone, as depicted on a plan approved by staff.
- c. The fencing shall be placed at the **Dripline** of trees to be preserved.
 - i. Fencing may be located at the edge of the **Critical Root Zone** if additional protection, as specified in the Landscape and Tree Preservation Criteria Manual, is provided, and in accordance with DDC 7.7.4.D.3.
 - ii. At no time shall the fencing be located within the Critical Root Zone.
- d. One tree protection zone sign shall be installed for every 20 linear feet of tree protection fencing in accordance with the Landscape and Tree Preservation Criteria Manual.



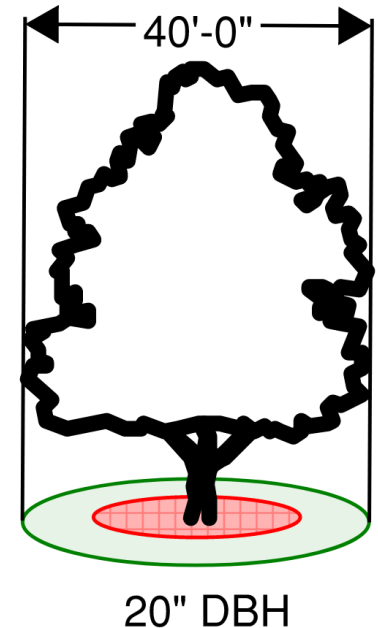
7.7.4.D. Tree Protection During Construction

3. In instances where 20% or more of the area within the Dripline of a preserved tree is proposed to be impacted, a signed and notarized letter from an arborist shall be required. This letter shall include additional protection methods, a maintenance plan, and any root pruning, fungicide, or growth hormone treatments.



7.7.4.D. Tree Protection During Construction

5. No fill or excavation four inches or greater in depth may occur within the ~~d~~Dripline of a tree to be preserved unless there is a specific approved plan for use of tree wells or retaining walls.
 - a. Any change in grade surrounding preserved trees shall maintain positive drainage away from the tree to avoid standing water.
 - b. If positive drainage is not attainable then subsurface drainage shall be installed.
 - c. Trenching, if necessary, within the Dripline of a tree shall be done with the approval of an ISA Certified Arborist.



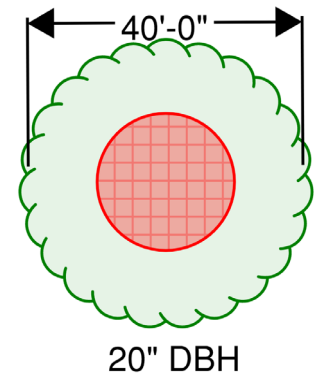
7.7.4.D. Tree Protection During Construction

6. Any plan proposing the use of tree wells or retaining walls within the dripline of a tree to be preserved shall be designed by a licensed landscape architect, and in accordance with the following;

e. Tree wells or retaining walls must be constructed within two weeks of initial site grading. Extensions may be approved subject to Director approval.

7.7.4.E. Tree Survey and Preservation/Replacement Plan

3. Each tree survey and preservation/replacement plan shall contain, but not be limited to, the following required elements:
 - a. The locations of all trees to be preserved and removed on the subject site.
 - i. Trees to be preserved shall be represented by a symbol equivalent to the Dripline.
 - b. A table containing the following information for all trees:
 - i. Tree number;
 - ii. Common name of each tree;
 - iii. Botanical name of each tree ~~Circumference of each landmark tree;~~
 - iv. Diameter (~~dbh~~ DBH) of each tree;
 - v. General health and condition of each tree;
 - vi. Average canopy spread (calculated as $R^2 \times 3.14$, where R= the DBH value provided in the inventory table);
 - vii. Classification (quality, heritage, landmark, secondary, or non-protected) and status (preserve or remove) for each tree; and
 - viii. Mitigation worksheet as shown in Table 7.C.



7.7.4.E. Tree Survey and Preservation/Replacement Plan

4. The tree survey and preservation/replacement plan shall be prepared by or under the supervision of an ISA certified or ASCA registered arborist, a SAF certified forester, botanist, registered landscape architect, or a professional land surveyor in coordination with an ISA certified arborist, TFA Accredited Forester, or ASCA registered arborist. ~~professional land surveyor that has documented completion of at least eight hours of training in Texas tree identification, or a registered landscape architect.~~

7.7.4.E. Tree Survey and Preservation/Replacement Plan

10. Tree Survey Expiration:

a. Tree surveys must be completed within 6 months of the initial project submittal.

b. Tree surveys shall expire 24 months after initial submittal if progress toward completion of the project has lapsed for a period greater than 9 months. A 6-month extension may be granted subject to Director approval.

c. Should a Tree survey expire, a new tree survey and preservation plan shall be conducted and submitted for review.

Questions?

DCRC Matrix

****The below is an estimated timeline to discuss the DCRC's top priorities.
Dates subject to change based upon the amount of time it takes to
discuss each topic.***

Meeting Date	Topic
13-Oct-25	Tree Code Continued / UFMP and DDC Goals
27-Oct-25	Tree Code Continued Prioritize staff-suggested topics
17-Nov-25	Tree Code Continued Begin staff-initiated DDC Amendment

Running Topic List

**The following includes a list of running topics the DCRC has identified as items for discussion as well as a list of topics staff is monitoring and may require DCRC review.*

Running DCRC Priorities	Topics Being Monitored
Access and Circulation	Food Trucks
Affordable and Missing Middle Housing	Public Notification*
Definitions	
Land Disturbance and ESAs	
Land-use and Land-preservation	
Low-intensity Neighborhood Commercial (ACUs)	
Site and Building Design	
Subdivision Design Improvements	
Table of Allowed Uses and Use-Specific Standards	

*An overview of this item was provided at the April 14, 2025 DCRC Meeting. The item was placed on hold until the conclusion of the 89th Texas Legislative Session. Staff is assessing possible DDC amendments needed given changes in State Law.