

## **Project Narrative**

**Project Title:** 615 W Oak St, Denton, Texas 76201

**Applicant:** Jacob Moses **Property Owner:** Jacob Moses **Property Address:** 615 W Oak St, Denton, Texas 76201 **Historic District:** Oak-Hickory Historic District

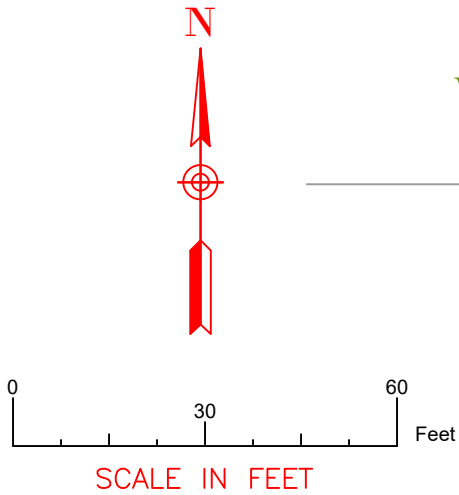
## **Project Description**

This project proposes the reconstruction of the original front porch of the historic building located at 615 W Oak St, Denton, Texas 76201. The goal is to restore the architectural integrity of the structure by reinstating the porch to its original design, using historically appropriate materials and construction methods.

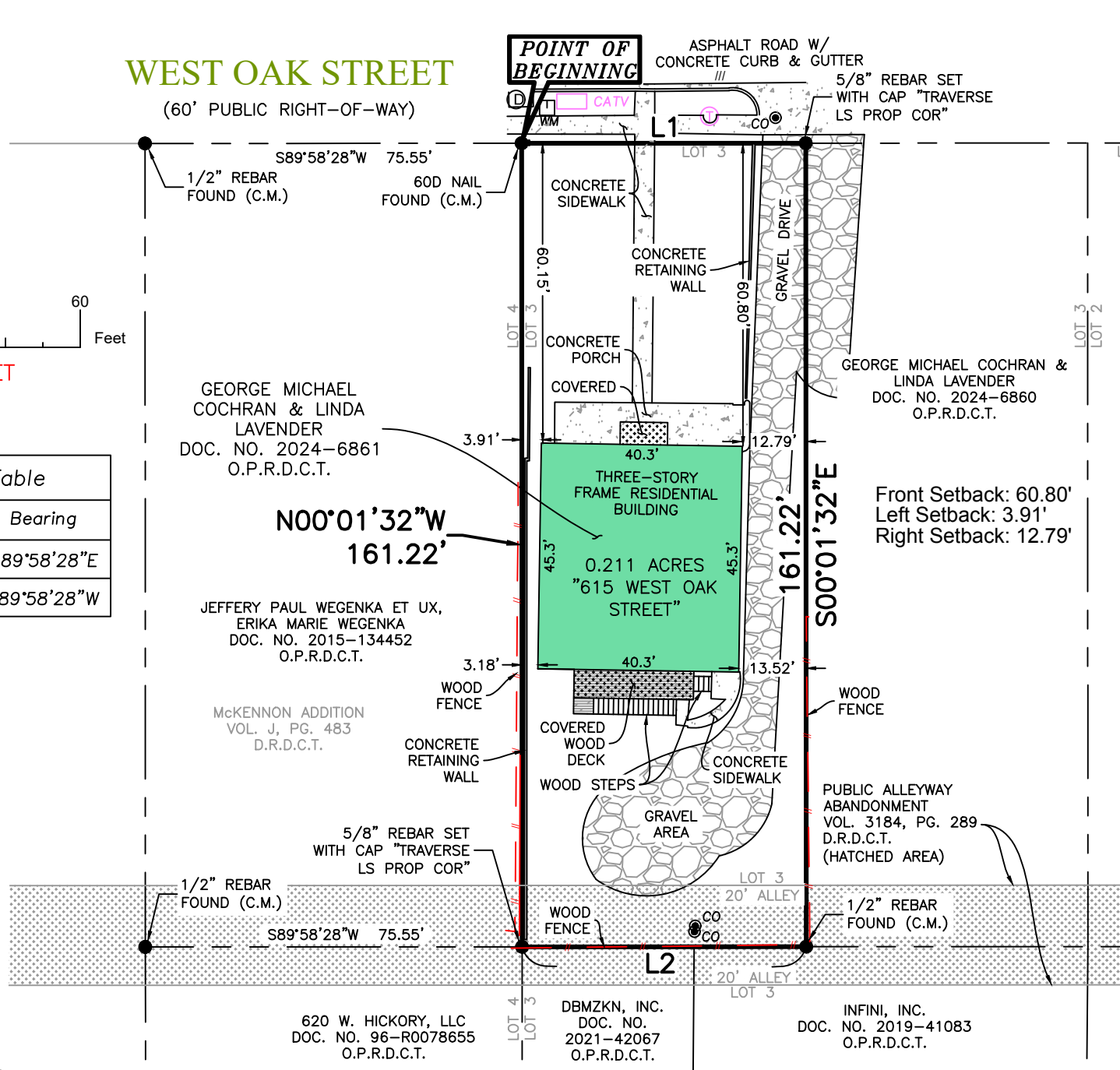
## **Historical Significance & Justification**

The subject property is a contributing structure to the historic character of the area, and the original porch played a vital role in its architectural identity. Based on archival research, historic photographs, and physical evidence, the original porch design featured a gable shingled roof with horizontal wood siding, eave bracket support and trim, and brick columns and low railing. Over time, the porch was either removed or significantly altered, diminishing the historic integrity of the building. This reconstruction aims to correct those changes and restore the building's historic character.

LEGEND	
	BOUNDARY LINE
	ADJOINER BOUNDARY LINE
	EASEMENT LINE (AS NOTED)
	WATER LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE (AS NOTED)
	OVERHEAD ELECTRIC LINE
	SET OR FOUND MONUMENT (AS NOTED)
	GAS METER
	GAS VALVE
	UNDERGROUND GAS MARKER
	UNDERGROUND CABLE MARKER
	UNDERGROUND CABLE TV VAULT
	PROPANE TANK
	TELEPHONE PEDESTAL
	ELECTRIC PEDESTAL
	AIR CONDITIONING
	WATER METER
	WATER VALVE
	WATER MAN HOLE
	CLEANOUT
	BOLLARD
	FIRE HYDRANT
	TELECOM MAN HOLE
	STORM MAN HOLE
	ELECTRIC METER
	ELECTRIC VAULT
	TRANSFORMER
	POWER POLE
	GUY ANCHOR
	LIGHT POLE
	IRRIGATION CONTROL VALVE
	CABLE VAULT
	TRAFFIC SIGNAL VAULT
	TRAFFIC SIGNAL LIGHT
	TRAFFIC SIGN
	LIGHT POLE
	FLAG POLE
	MAIL BOX
	BENCH MARK
	CONTROL MONUMENT
	DRAINAGE & UTILITY EASEMENT
	BUILDING LINE
	VOLUME, PAGE
	DOCUMENT NUMBER
	OFFICIAL PUBLIC RECORDS DENTON COUNTY, TEXAS
	DEED RECORDS DENTON COUNTY, TEXAS
	PLAT RECORDS DENTON COUNTY, TEXAS



Line Data Table		
Line #	Distance	Bearing
L1	57.00'	N89°58'28"E
L2	57.00'	S89°58'28"W



LAND DESCRIPTION

BEING a 0.211 acre tract of land situated in the William McNeill Survey, Abstract Number 971, City of Denton, Denton County, Texas, and being a portion of Lot 3, of McKennon Addition, an Addition to the City of Denton, Denton County, Texas, according to the Plat thereof recorded in Volume J, Page 483, Deed Records of Denton County, Texas (D.R.D.C.T.), and being all of a tract of land described to George Michael Cochran and Linda Lavender, by the Deed recorded in Document Number 2024-6861, Official Public Records of Denton County, Texas (O.P.R.D.C.T.), and being more particularly described by metes and bounds as follows:

BEGINNING at a 60D nail found for the northwesterly corner of the herein described tract, and same being the northwesterly corner of said Lot 3, also being the northeasterly corner of Lot 4, of said McKennon Addition, also being the northeasterly corner of a tract of land described to Jeffery Paul Wegenka et ux, Erika Marie Wegenka, by the Deed recorded in Document Number 2015-134452, O.P.R.D.C.T., also being a point on the southerly right-of-way line of West Oak Street (60 foot public right-of-way), from which a 1/2 inch rebar found for the northeasterly corner of said Wegenka tract, bears South 89 degrees 58 minutes 28 seconds West for a distance of 75.55 feet;

THENCE North 89 degrees 58 minutes 28 seconds East along the southerly right-of-way line of said Oak Street, for a distance of 57.00 feet to a 5/8 inch rebar set with a cap stamped "TRAVERSE LS PROP COR" for the northeasterly corner of the herein described tract, and same being the northwesterly corner of a tract of land described to George Michael Cochran and Linda Lavender, by the Deed recorded in Document Number 2024-6860, O.P.R.D.C.T.;

THENCE South 00 degrees 01 minutes 32 seconds East along the westerly boundary line of said Cochran tract (Document Number 2024-6860), for a distance of 161.22 feet to a 1.2 inch rebar found for the southwesterly corner thereof, and same being the southeasterly corner of the herein described tract, also being a point on the northerly boundary line of a tract of land described to Infini, Inc., by the Deed recorded in Document Number 2019-41083, O.P.R.D.C.T.;

THENCE South 89 degrees 58 minutes 28 seconds West along the northerly boundary line of said Infini, Inc. tract, passing the northeasterly corner of a tract of land described to DBMZKN, Inc. by the Deed recorded in Document Number 2021-42067, O.P.R.D.C.T., continuing along the northerly boundary line of said DBMZKN tract, for a total distance of 57.00 feet to a 5/8 inch rebar set with a cap stamped "TRAVERSE LS PROP COR" for the southwesterly corner of the herein described tract, and same being the southwesterly corner of said Lot 3, also being the southeasterly corner of said Lot 4, also being the southwesterly corner of said Wegenka tract, also being the northeasterly corner of a tract of land described to 620 W. Hickory, LLC, by the Deed recorded in Document Number 96-R0078655, O.P.R.D.C.T., from which a 1/2 inch rebar found for the southwesterly corner of said Wegenka tract, bears South 89 degrees 58 minutes 28 seconds West for a distance of 75.55 feet;

THENCE North 00 degrees 01 minutes 32 seconds West along the easterly boundary line of said Wegenka tract, for a distance of 161.22 feet to the POINT OF BEGINNING containing 0.211 acres of land, more or less.

GENERAL NOTES

- Bearings and Distances are based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (NAD83) (US Foot) with a combined scale factor of 1.00015063.
- According to the Flood Insurance Rate Map, Community Panel No. 48121C0360G, dated April 18, 2011 by graphic plotting only. This property appears to be within Zone "X", (areas determined to be outside the 0.2% annual chance floodplain). This statement does not imply that the property and/or its structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made causes. This statement shall not create liability on the part of the surveyor.
- This survey was created with the information provided by the client or their representative. the surveyor did not abstract the subject property and cannot be used to represent warranty of title or guarantee of ownership.



SURVEYOR'S CERTIFICATION

The undersigned does hereby certify that this survey substantially complies with the current Texas Society of Professional Surveyors Manual of Practice Requirements for a Category 1B, Condition II Land Title Survey, and that this Survey was this day made on the ground of the property legally described hereon and is correct and to the best of my knowledge, there are no visible discrepancies, conflicts, shortages in area, boundary line conflicts, encroachments, overlapping of improvements, easements or rights of way that I have been advised of except as shown hereon. Bearings and Distances are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD83) (US Foot) with a combined scale factor of 1.00015063.

Date of Plat or Map: November 21, 2024

Cole Carpenter  
Registered Public Land Surveyor  
Texas Registration No. 6892

CATEGORY 1B, CONDITION II  
LAND TITLE SURVEY

PORTION OF LOT 3  
McKENNON ADDITION  
WILLIAM NEILL SURVEY, ABSTRACT NO. 971  
CITY OF DENTON, DENTON COUNTY, TEXAS

TRaverse  
LAND SURVEYING LLC

14200 Midway Road, Suite 130, Dallas, TX 75224 | T: 469.784.9321  
W: TraverseLandSurveying.com | Texas Firm No. 10194631

Surveying | Construction Staking | Platting

DRAWN	CHECK	DATE	SCALE	PROJECT NO.	SHEET NO.
CMC	CDC	11-21-2024	1" = 30'	TR-579-24	1

## **Porch Framing Scope of Work**

**Project Title:** 615 W Oak St, Denton, Texas 76201

**Applicant:** Jacob Moses **Property Owner:** Jacob Moses **Property Address:** 615 W Oak St, Denton, Texas 76201 **Historic District:** Oak-Hickory Historic District

### **Scope of Work: Framing Plan for Historic Porch Reconstruction**

**Project Overview:** This scope of work outlines the framing plan for reconstructing an original historic porch while ensuring structural integrity and adherence to local building codes. The reconstruction will utilize modern materials while maintaining the porch's historic character.

#### **Scope of Work:**

##### **Structural Framing Installation:**

- **Beams:** Install LVL beams (11" 7/8') and 2"x12' beams as primary structural support.
- **Rafters:** Position and secure 2"x6' rafters to maintain proper spacing and load distribution.
- **Joists:** Install 2"x6' joists for floor framing to support porch decking.
- **Ridge Beam:** Secure a 2"x8' ridge beam for roof structure support.
- **Posts:** Install 6"x6' pressure-treated posts for vertical support and structural stability.

##### **Roofing System:**

- Install Timberline HDZ shingles for weather protection and aesthetic consistency with the historic structure.
- Ensure proper flashing and water drainage measures are in place.





**MKOA**Studio

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Oak St Historic Porch Addition  
Concept Design | March 2025





EXTERIOR BEFORE



EXTERIOR TODAY





FINAL



- Main Siding  
SW 2851: Sage Green Light
- Accent Siding  
SW 2826: Colonial Revival Green Stone
- Trim  
SW 2822: Downing Sand
- Brick  
Acme Forest Hills
- Cast Stone
- Roofing  
Mission Brown
- Porch Roof  
SW 2853: New Colonial Yellow

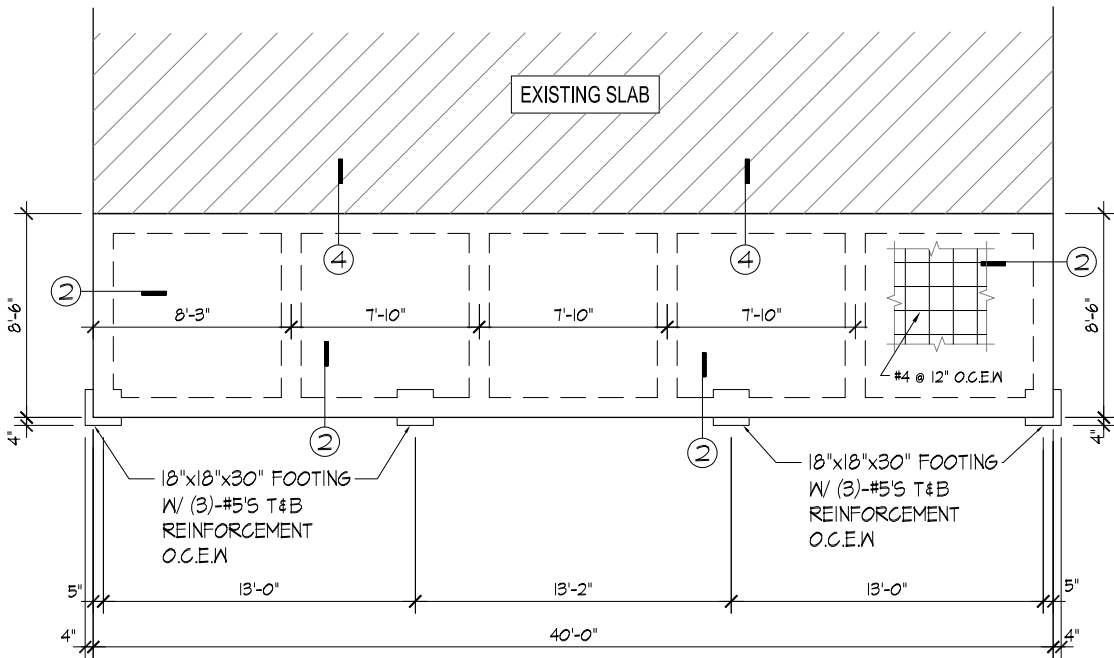
Notes:  
Forest Hills Brick only available in Queen size  
Lead time 2+ weeks for brick

FINAL

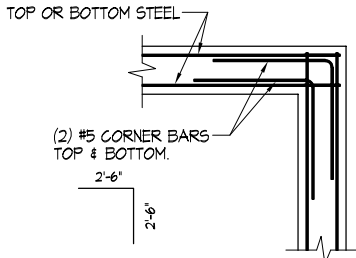


Photo of proposed materials in sunlight. Acme Amaretto Brick used as a placeholder for Acme Forest Hills Brick.

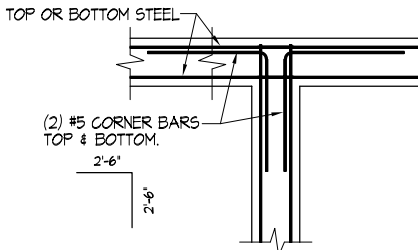
From left to right: SW 2851, SW 2826, SW 2822, SW 2853



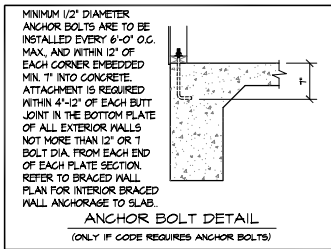
THE DESIGN OF THE FOUNDATION ADDITION IS BASED ON MATCHING THE EXISTING FOUNDATION TO PROVIDE CONTINUITY OF THE EXISTING FOUNDATION. PER AGREEMENT WITH CLIENT, A SITE-SPECIFIC SOIL REPORT IS NOT BEING USED.



TYPICAL CORNER BAR DETAIL  
(PLAN VIEW LOOKING DOWN)



TYPICAL INTERSECTION BAR DETAIL  
(PLAN VIEW LOOKING DOWN)



TOTAL SQUARE FOOTAGE OF SLAB = 340 SQ. FT.

## FOUNDATION PLAN

### DESIGN:

- 4" THICK 3000 PSI CONCRETE SLAB.
- ALL PERIMETER BEAMS SHALL BE 10" W. X 30" D. MINIMUM (OR MATCH EXISTING) WITH (2) #5'S TOP & BOTTOM.
- ALL INTERIOR BEAMS SHALL BE 10" W. X 30" D. MINIMUM (OR MATCH EXISTING) WITH (2) #5'S TOP & BOTTOM.
- REINFORCE SLAB WITH #4's @ 12" O.C.E.W.

### NOTES:

- EXTERIOR BEAMS SHALL BE 12" MINIMUM INTO UNDISTURBED SOIL OR COMPACTED FILL.
- IF FIRM ROCK IS ENCOUNTERED DURING TRENCHING FOR BEAMS, BEAM DEPTH MAY BE REDUCED. BEAMS NEED TO PENETRATE ROCK ONLY TO ACHIEVE A MINIMUM BEAM DEPTH OF 12" WITH A MINIMUM ROCK EMBEDMENT OF 2". BEAM WIDTH MAY BE REDUCED TO 8" IF MINIMUM PENETRATION OF ROCK IS ACHIEVED & VERIFIED.
- THIS FOUNDATION DESIGN IS CONSIDERED INVALID UNLESS ACCOMPANIED BY A LETTER FROM CHILDRESS ENGINEERING SERVICES INC. AUTHORIZING ITS USE ON A SPECIFIC LOT AND BLOCK, OR ADDRESS.
- PLANS CAN BE REVERSED ON LOT AT BUILDER'S DISCRETION.
- PLANS ARE FOR BEAM PLACEMENT ONLY. SET FORMS AND LOCATE DROPS IN SLABS PER ARCHITECTURAL FLOOR PLAN.
- IN CASE OF ANY DIMENSION DISCREPANCIES BETWEEN FOUNDATION AND ARCHITECTURAL PLANS, THEN THE ARCHITECTURAL PLANS SHALL CONTROL.
- BUILDER TO VERIFY ALL DROPS IN SLAB PRIOR TO POURING CONCRETE. ANY DROPS THAT EXCEED 12" DEEP THAT WERE NOT ON THE ORIGINAL PLAN, THE ENGINEER MUST BE NOTIFIED AND THE PLANS MUST BE REVISED.

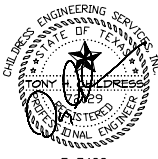
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO POURING. IF ANY DIMENSION DISCREPANCIES OCCUR BETWEEN ENGINEERED SLAB AND ARCHITECTURAL PLANS, THE ARCHITECTURAL PLANS SHALL CONTROL.

### GENERAL NOTES:

- CONCRETE
  - CONCRETE WORK SHALL BE EXECUTED IN STRICT ACCORDANCE WITH THE LATEST AMERICAN CONCRETE INSTITUTE BUILDING CODE A.C.I. 318.
  - CONCRETE SPECIFICATIONS SHALL BE AS FOLLOWS:
    - A) LOCATIONS \* ALL
    - B) 28 DAY STRENGTH \* 5000 P.S.I.
    - C) AGGREGATE \* HARD ROCK
    - D) SLUMP TEST \* 5" TO 5"
  - JOB SITE CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE FABRICATION OF MATERIALS.
  - ALL CONCRETE EXPOSED TO THE WEATHER SHALL HAVE A 5% TO 6% AIR ENTRAINMENT.
  - CONSTRUCTION JOINTS, WHEN NECESSARY, SHALL OCCUR NEAR THE MIDDLE OF THE SPAN UNLESS A BEAM INTERSECTS AT THIS POINT, IN WHICH CASE THE JOINT SHALL BE OFFSET A DISTANCE EQUAL TO TWICE THE WIDTH OF THE BEAM. THE ENGINEER SHALL APPROVE PROVISIONS FOR TRANSFER OF SHEAR AND OTHER FORCES THROUGH THE JOINT. NTIOIA
- REINFORCEMENT
  - ALL REINFORCEMENT SHALL CONFORM TO ASTM A-615 GRADE 60.
  - REINFORCING STEEL SHALL BE DESIGNED, DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE LATEST A.C.I. "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (A.C.I.-318) AND THE CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS", LATEST EDITION.
  - SPICES IN REINFORCEMENT SHALL OCCUR AT POINTS OF MINIMUM STRESS AND LAP DO NOT EXCEED MINIMUM UNLESS NOTED OTHERWISE.
  - MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE AS FOLLOWS:

GRADE BEAMS	.5" FROM BOTTOM
SLABS ON GRADE	.2" FROM TOP AND SIDES
	.1-1/2" FROM TOP
  - PROVIDE CORNER BARS AT ALL CORNERS AND INTERSECTIONS SAME SIZE AND SPACING AS LARGER REINFORCEMENT.
  - SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL PRIOR TO FABRICATION OF MATERIALS. NTIOBA
- FOUNDATION
  - THIS FOUNDATION HAS BEEN DESIGNED BASED ON THE INFORMATION CONTAINED IN A SOILS REPORT. THIS REPORT SHALL BECOME A PART OF THESE CONSTRUCTION DOCUMENTS.
- SAND
  - A FOUR INCH (4") LAYER OF SAND SHALL BE PLACED UNDER ALL SLABS.
  - 10 MIL POLY REQUIRED PER 202 IRC OTHERWISE 6 MIL POLY REQUIRED. INSTALL POLY WITH 6" LAP JOINTS.

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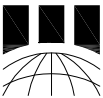


F-7422

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Childress Engineering Services

2505 N. Plano Rd., Suite 4000  
Richardson, Texas 75082  
Office: 214-451-6630  
Fax: 214-451-6631  
Inspections: 214-451-6632



CESGLOBAL.COM

REVISIONS	BY	DATE
1	MS	01/16/25
2		
3		
4		
5		
6		
7		
8		

JACOB MOSES

MCKENNON

615 W OAK STREET., DENTON, TX

PLAN: ADDITION

BLOCK:

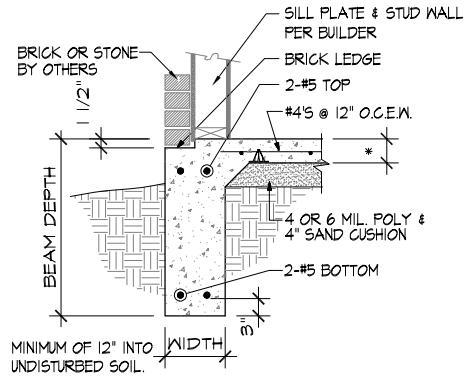
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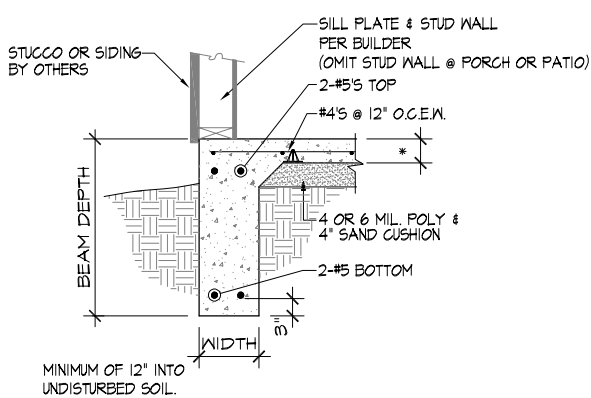
SHEET NUMBER:

S1

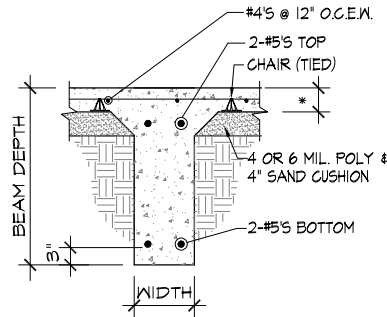




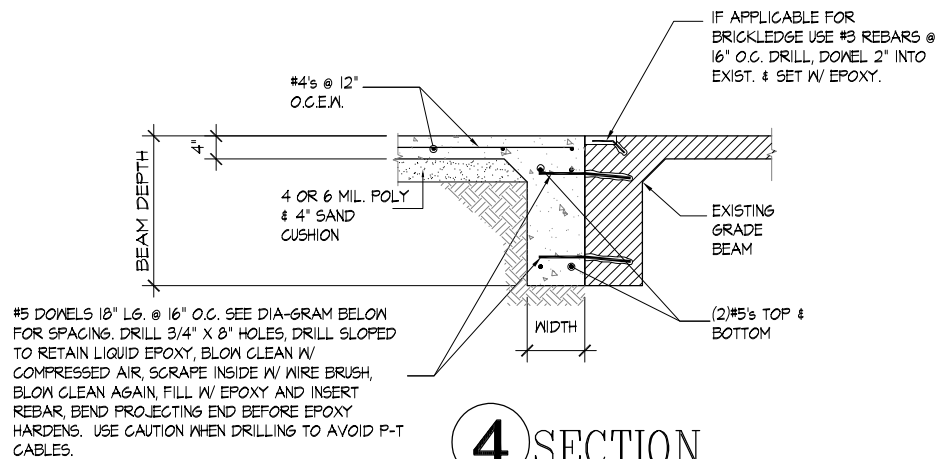
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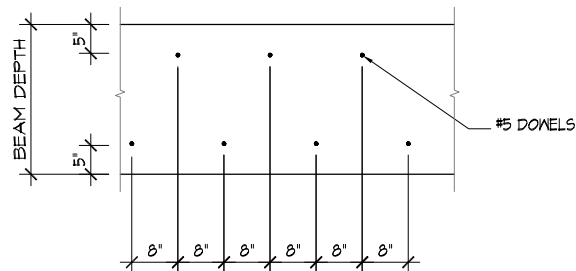
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NOT TO SCALE



3 SECTION



4 SECTION  
NOT TO SCALE



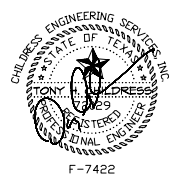
CONNECTION SECTION

#### PLAN AND SECTION NOTES:

- 1) NOT ALL SECTIONS SHOWN WILL BE APPLICABLE TO EACH PROJECT.
- 2) FOR "D" & "W" DIMENSIONS, SEE NOTES ON PLAN SHEET.
- 3) DENOTES REBAR SUPPORTED BY 2" CHAIR (4 FT. MINIMUM O.C.E.W.).
- 4) \* DENOTES DIMENSION TO BE VERIFIED.
- 5) A 4" MINIMUM SAND LAYER UNDER SLAB & COVER WITH 4 OR 6 MIL POLY WITH LAPPED JOINTS.

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JACOB MOSES

MCKENNON

615 W OAK STREET., DENTON, TX

BLOCK:

LOT: 3

PLAN: ADDITION

JOB NUMBER: 25673829
DRAWN BY: MS
DATE: 12/26/25
SCALE: NOT TO SCALE

SHEET NUMBER:

S3

**JACOB MOSES**

MCKENNON

615 W OAK STREET, DENTON, TX

LOT: 3                  BLOCK:                  PLAN: ADDITION

**JACOB MOSES**

MCKENNON

615 W OAK STREET, DENTON, TX

LOT: 3                  BLOCK:                  PLAN: ADDITION

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LOT: 3                  BLOCK:                  PLAN: ADDITION

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LOT: 3                  BLOCK:                  PLAN: ADDITION

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LOT: 3                  BLOCK:                  PLAN: ADDITION

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MCKENNON

615 W OAK STREET, DENTON, TX

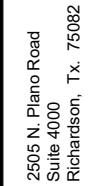
LOT: 3                  BLOCK:                  PLAN: ADDITION



The logo for Childress Engineering Services features a stylized 'E' composed of three horizontal bars, with a semi-circular grid pattern to its left. Below the logo, the company name 'CHILDRESS' is written in a large, bold, serif font, underlined. Below that, 'ENGINEERING SERVICES' is written in a smaller, bold, serif font. To the right of the logo, the address '2505 N. Plano Road Suite 4000 Richardson, Tx. 75082' is listed. Further right, contact information is provided: 'Office: 214-451-6630', 'Fax: 214-451-6631', and 'Inspections: 214-451-6632'. At the bottom right, the website 'www.cesglobal.com' is displayed.

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[illegible][illegible]

2505 N. Plano Road  
Suite 4000  
Richardson, Tx. 75082

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LOT: 3      BLOCK:      PLAN: ADDITION

**JACOB MOSES**  
MCKENNON  
615 W OAK STREET, DENTON, TX  
LOT: 3      BLOCK:      PLAN: ADDITION

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DRAWN BY:	SME
DATE:	04/10/25
SCALE:	AS NOTED

SHEET #:

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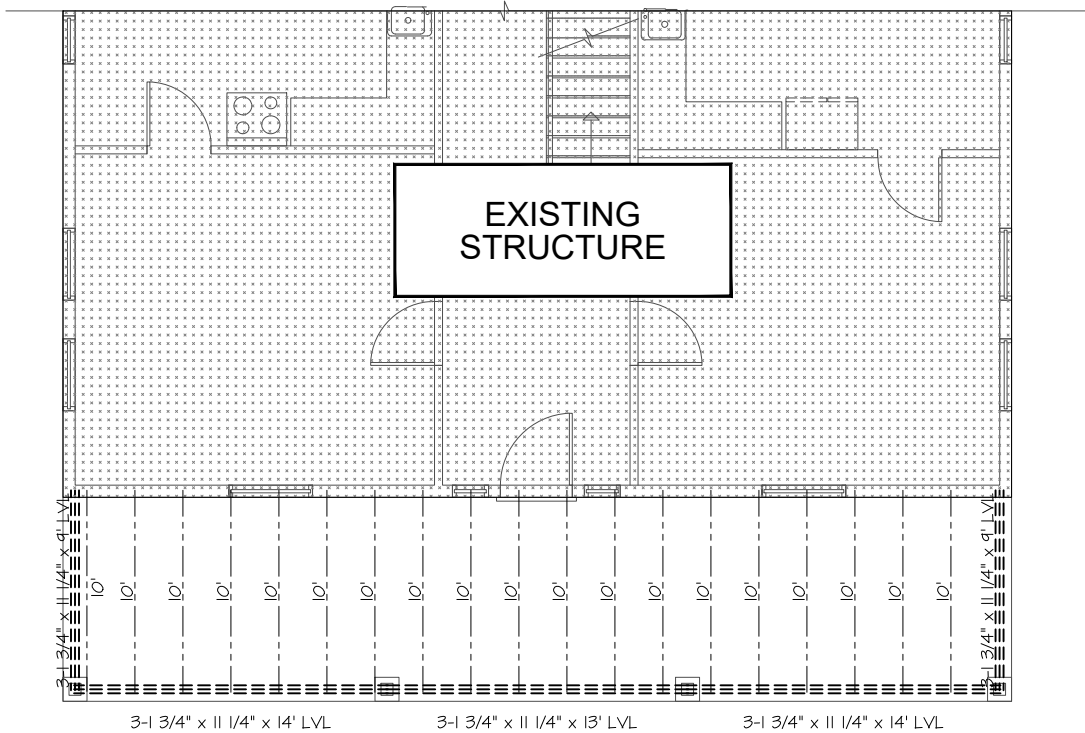
SHEET #:

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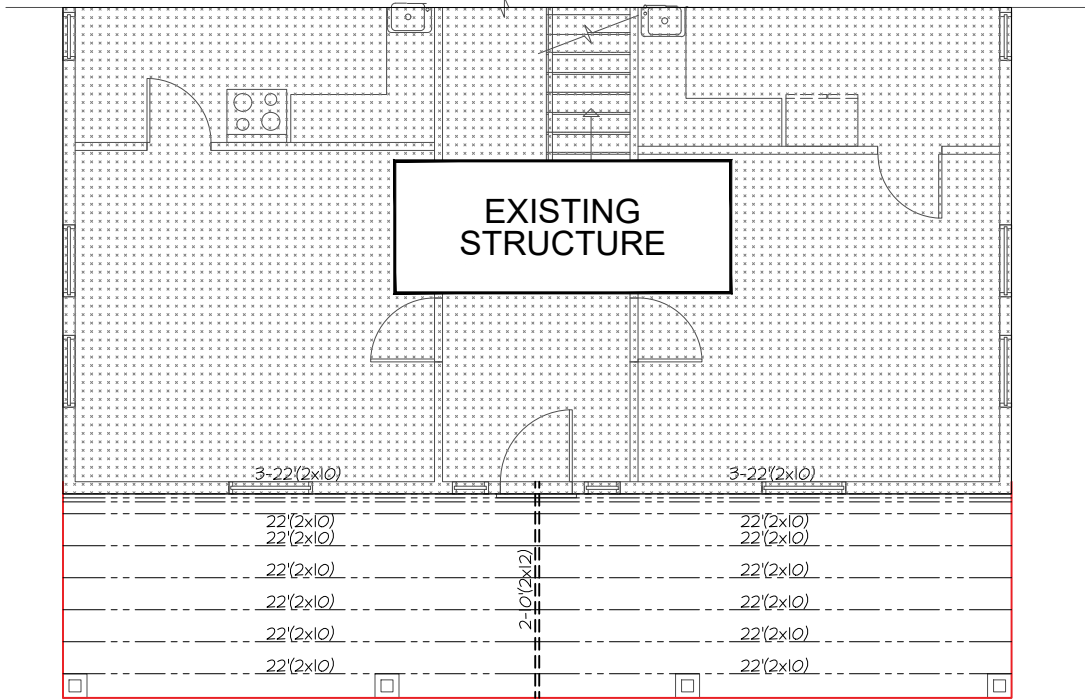


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## FLOOR FRAMING PLAN

SCALE: 1/8"=1'-0" @ 11x17 (1/4"=1'-0" @ Full Size)



## ROOF PLAN

SCALE: 1/8"=1'-0" @ 11x17 (1/4"=1'-0" @ Full Size)

NOTE:  
ALL CEILING JOISTS TO BE 2x6's @ 24" O.C., #2 U.N.O.

NOTE:  
FOR #2 Y.P. FRAMING SPAN CHARTS, REFER TO SHEET "SC"

NOTE:  
IF ANY DISCREPANCIES BETWEEN ENGINEERED FRAMING PLANS AND ARCHITECTURAL PLANS, THE ARCHITECTURAL PLANS SHALL CONTROL. IMMEDIATELY CONTACT FRAMING MANAGER AND ENGINEER.

NOTE:  
SPANS GENERATED FROM CES SOFTWARE, ARE FOR ESTIMATING PURPOSES ONLY AND DO NOT REFLECT ACTUAL DESIGN CONDITIONS

NOTE:  
FRAMING PLANS DO NOT ACCOMMODATE DROPS IN SLABS DUE TO GRADING. MODIFY IN FIELD PER TYPICAL FRAMING STANDARDS.

DESIGNED FOR  
COMPOSITION / METAL ROOF

NOTE:  
ALL RAFTERS TO BE 2x6's @ 24" O.C., #2 U.N.O.

NOTE:  
FOR #2 Y.P. FRAMING SPAN CHARTS, REFER TO SHEET "SC"

NOTE:  
IF ANY DISCREPANCIES BETWEEN ENGINEERED FRAMING PLANS AND ARCHITECTURAL PLANS, THE ARCHITECTURAL PLANS SHALL CONTROL. IMMEDIATELY CONTACT FRAMING MANAGER AND ENGINEER.

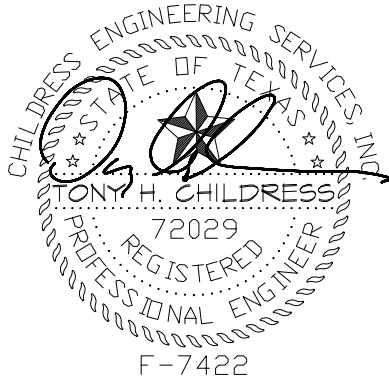
NOTE:  
SPANS GENERATED FROM CES SOFTWARE, ARE FOR ESTIMATING PURPOSES ONLY AND DO NOT REFLECT ACTUAL DESIGN CONDITIONS

NOTE:  
FRAMING PLANS DO NOT ACCOMMODATE DROPS IN SLABS DUE TO GRADING. MODIFY IN FIELD PER TYPICAL FRAMING STANDARDS.

## FRAMING PLAN

1/8"=1'-0"

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JACOB MOSES

MCKENNON

615 W OAK STREET, DENTON, TX

BLOCK:

PLAN: ADDITION

LOT: 3

2505 N. Plano Road  
Suite 4000  
Richardson, Tx. 75082



CHILDRESS  
ENGINEERING SERVICES

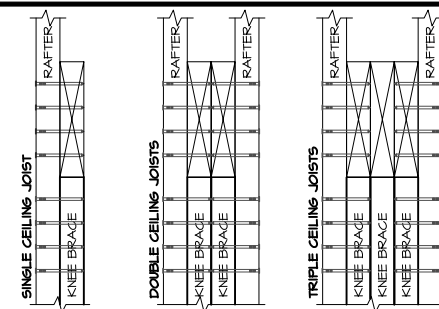
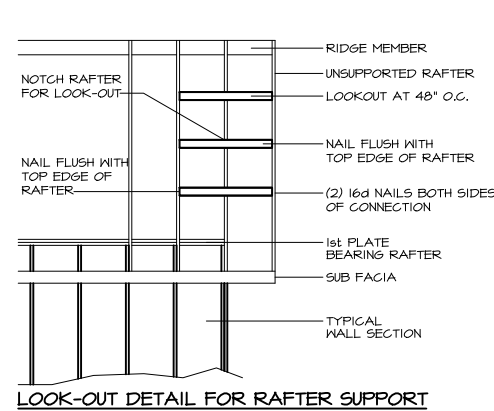
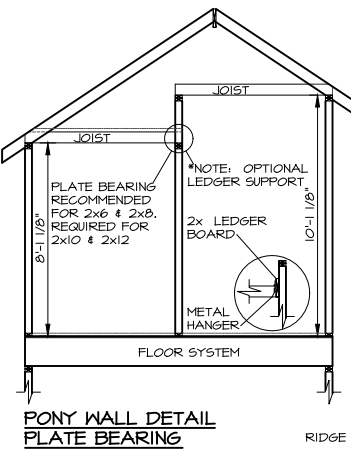
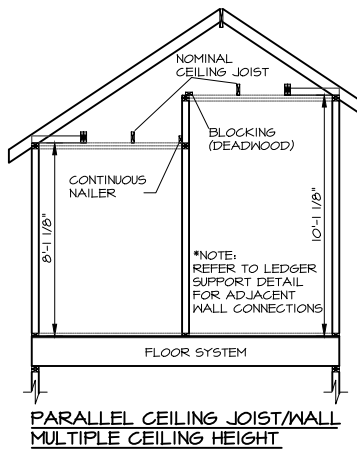
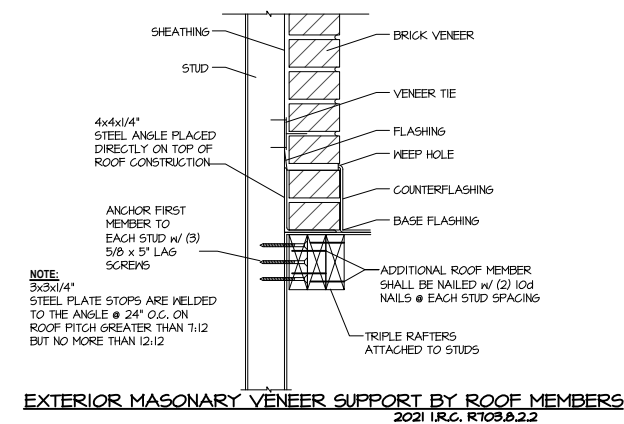
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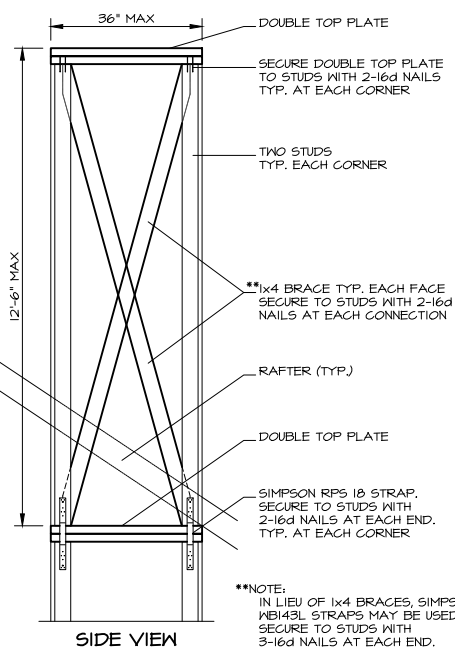
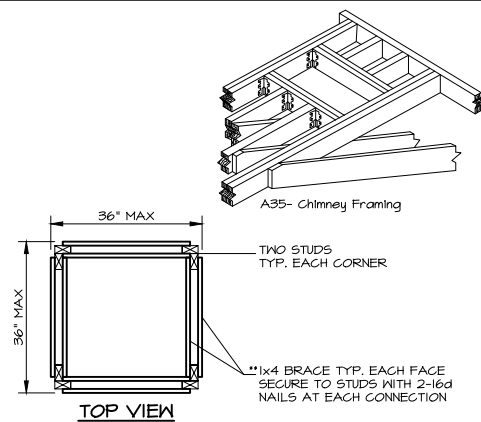
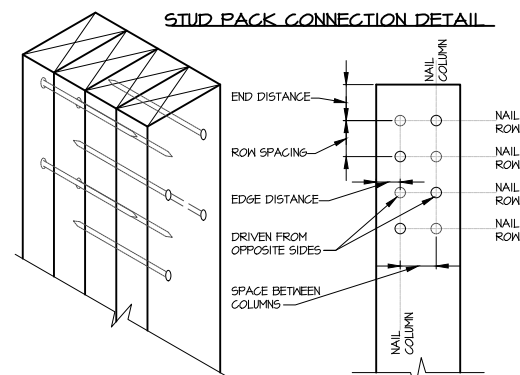
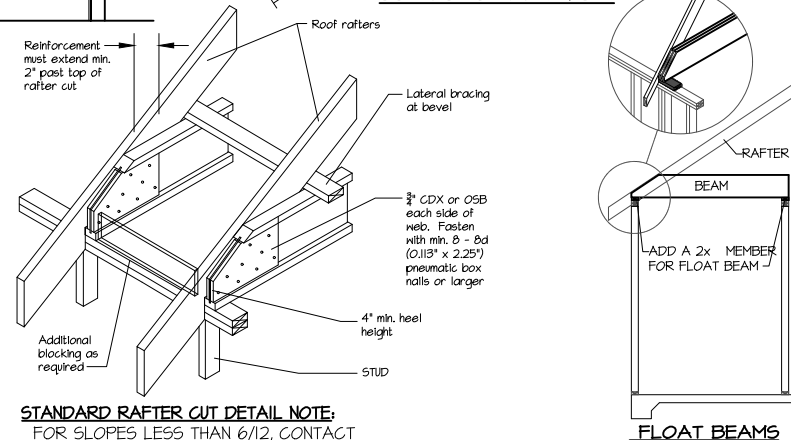
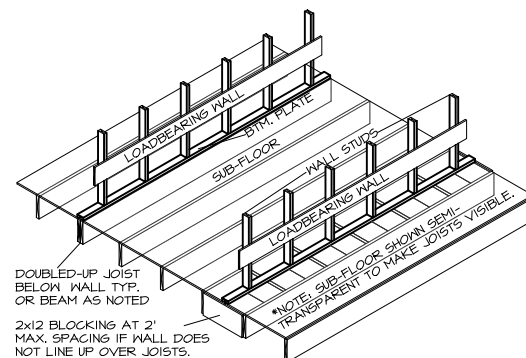
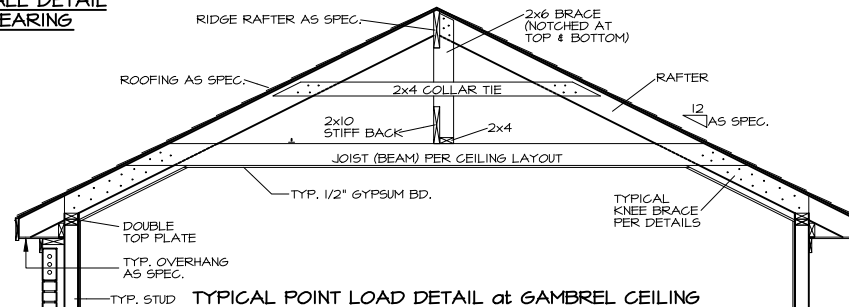
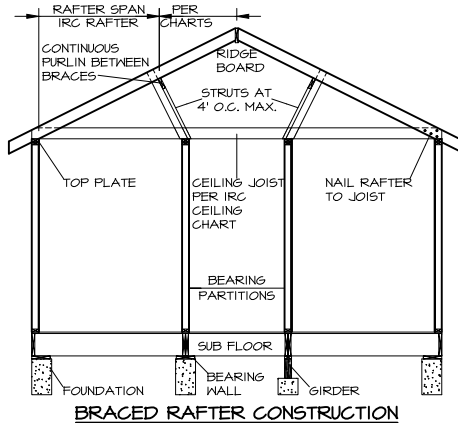
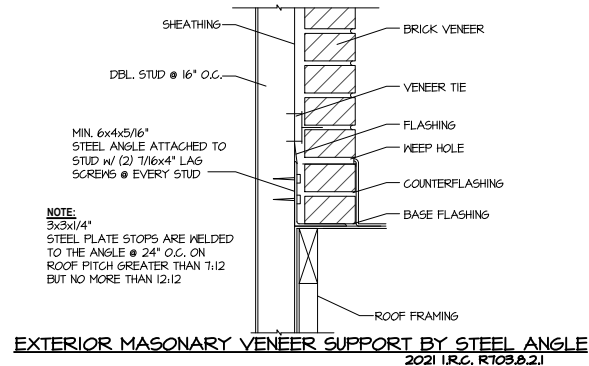
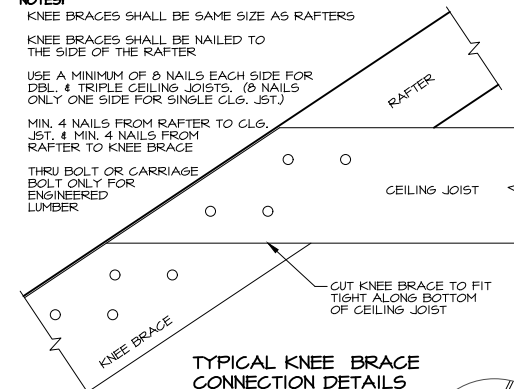
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DATE:	04/10/25
SCALE:	AS NOTED

SHEET #:	FR1
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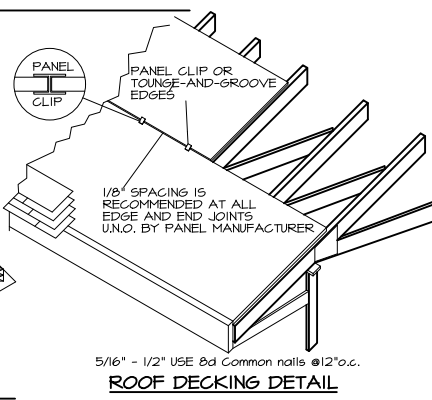
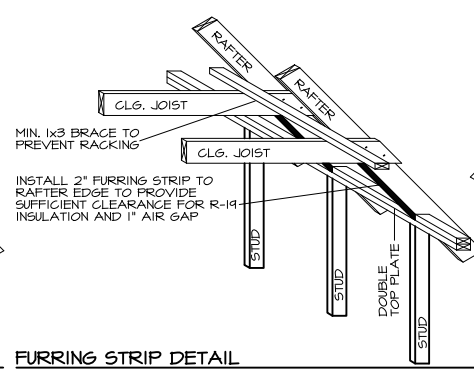
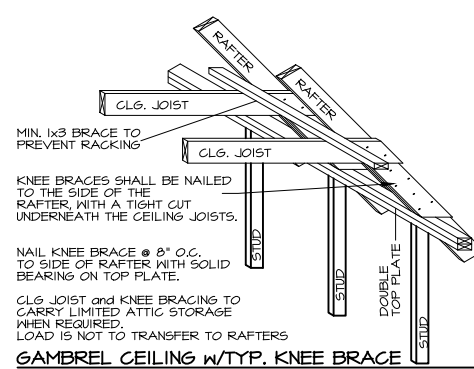
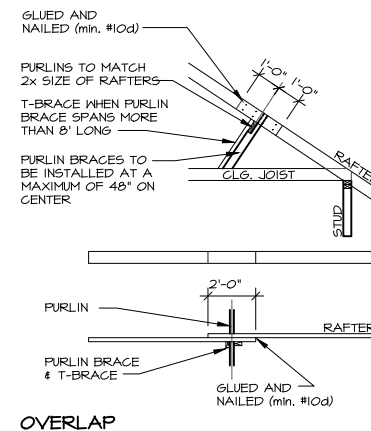
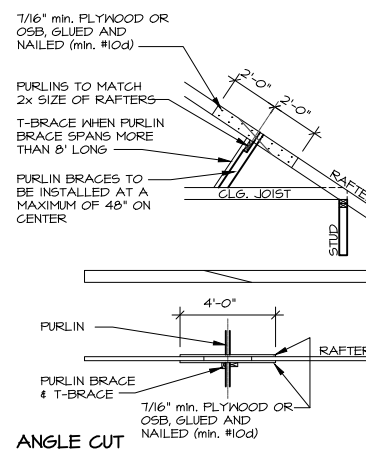
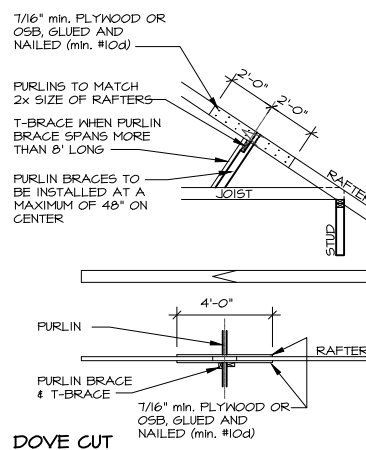
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NOTES:  
KNEE BRACES SHALL BE SAME SIZE AS RAFTERS



### CHIMNEY WIND BRACING DETAIL



	(3)-2x4	(4)-2x4	(3)-2x6	(4)-2x6
# OF NAILS PER ROW	1	1	2	2
NAIL SIZE	30D	30D	50D	50D
END DISTANCE	3.5"	3.75"	3.5"	3.75"
EDGE DISTANCE	1.5"	1.5"	1.5"	1.5"
SPACE BETWEEN ROWS	8	9	8	9
SPACE BETWEEN COLUMNS	0.5"	0.5"	2.5"	2.5"

WHEN ONE NAIL PER ROW IS SPECIFIED, NAILS IN ADJACENT ROWS SHALL BE DRIVEN FROM OPPOSITE SIDES IN OPPOSITE COLUMNS

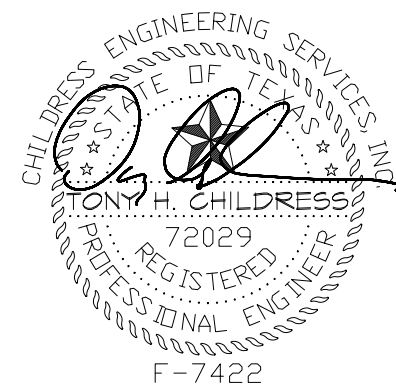
4 1/2" SIMPSON SDS SCREWS MAY REPLACE 30D NAILS & 6" SIMPSON SDS SCREWS MAY REPLACE 50D NAILS

SOLID TIMBER MEMBERS OF EQUAL OR GREATER SIZE MAY BE USED INSTEAD OF SPECIFIED STUD PACKS

## GENERAL FRAMING DETAILS

NTS.

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PLAN: ADDITION

**BLOCK:**

LOT: 3

MCKENNON

615 W OAK STREET, DENTON, TX

# JACOB MOSES

[illegible]

CES JOB #:	256861
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DATE:	04/10/25
SCALE:	AS NOTED

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