



City of Denton

City Hall
215 E. McKinney St.
Denton, Texas 76201
www.cityofdenton.com

Meeting Agenda

Development Code Review Committee

Monday, February 9, 2026

3:00 PM

Development Services Center

After determining that a quorum is present, the Development Code Review Committee of the City of Denton, Texas will convene in a Regular Meeting on Monday, February 9, 2026, at 3:00 p.m. in Training Rooms 3, 4, and 5, at the Development Service Center, 401 N. Elm Street, Denton, Texas, at which the following items will be considered:

1. ITEMS FOR CONSIDERATION

A. [DCRC26-002](#) Elect a Chair and Vice-Chair to the Development Code Review Committee.

Attachments: [Exhibit 1 - Agenda Information Sheet](#)

B. [DCRC26-003](#) Consider approval of the minutes of the January 12, 2026 Development Code Review Committee Regular Meeting.

Attachments: [Exhibit 1 - January 12, 2026 DCRC Minutes](#)

C. [DCRC26-004](#) Receive a report, hold a discussion, and give staff direction regarding proposed Code amendments related to the building design of single-family homes and other residential use types.

Attachments: [Exhibit 1 - Agenda Information Sheet](#)

[Exhibit 2 - DDC 7.10.3D-F Residential Building Design Standards](#)

[Exhibit 3 - 2021 Residential Design Determination](#)

[Exhibit 4 - Memo on Building Design Interpretation \(Landmark\)](#)

[Exhibit 5 - Memo on Building Design Interpretation \(Stella Hills\)](#)

[Exhibit 6 - Additional Design Features Guide](#)

[Exhibit 7 - Proposed Redline Markups \(DDC 3.7.3D; 7.10.3D-F, H\)](#)

[Exhibit 8 - Presentation](#)

D. [DCRC25-095j](#) Receive a report, hold a discussion, and give staff direction regarding proposed Code amendments related to Tree Preservation.

Attachments: [Exhibit 1 - Agenda Information Sheet](#)

[Exhibit 2 - Proposed Redline Markups \(DDC 7.7.4.G and M- Minimum Preservation\)](#)

[Exhibit 3 - Draft Presentation](#)

2. DEVELOPMENT CODE REVIEW COMMITTEE PROJECT MATRIX

A. [DCRC26-006](#) Hold a discussion regarding the Development Code Review Committee Project Matrix.

Attachments: [Exhibit 1 - DCRC Matrix](#)

3. CONCLUDING ITEMS

A. Under Section 551.042 of the Texas Open Meetings Act, respond to inquiries from the Development Code Review Committee or the public with specific factual information or recitation of policy, or accept a proposal to place the matter on the agenda for an upcoming meeting AND Under Section 551.0415 of the Texas Open Meetings Act, provide reports about items of community interest regarding which no action will be taken, to include: expressions of thanks, congratulations, or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee, or other citizen; a reminder about an upcoming event organized or sponsored by the governing body; information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the governing body that was attended or is scheduled to be attended by a member of the governing body or an official or employee of the municipality; or an announcement involving an imminent threat to the public health and safety of people in the municipality that has arisen after the posting of the agenda.

CERTIFICATE

I certify that the above notice of meeting was posted on the official website (<https://tx-denton.civicplus.com/242/Public-Meetings-Agendas>) and bulletin board at City Hall, 215 E. McKinney Street, Denton, Texas, on February 3, 2026, in advance of the three (3) business day posting deadline, as applicable, and in accordance with Chapter 551 of the Texas Government Code.

OFFICE OF THE CITY SECRETARY

NOTE: THE CITY OF DENTON'S DESIGNATED PUBLIC MEETING FACILITIES ARE ACCESSIBLE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. THE CITY WILL PROVIDE ACCOMMODATION, SUCH AS SIGN LANGUAGE INTERPRETERS FOR THE HEARING IMPAIRED, IF REQUESTED AT LEAST TWO (2) BUSINESS DAYS IN ADVANCE OF THE SCHEDULED MEETING. PLEASE CALL THE CITY SECRETARY'S OFFICE AT 940-349-8309 OR USE TELECOMMUNICATIONS DEVICES FOR THE DEAF (TDD) BY CALLING 1-800-RELAY-TX SO THAT REASONABLE ACCOMMODATION CAN BE ARRANGED.



City of Denton

City Hall
215 E. McKinney Street
Denton, Texas
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AGENDA INFORMATION SHEET

DEPARTMENT: Department of Development Services

ACM: Cassey Ogden

DATE: February 9, 2026

SUBJECT

Elect a Chair and Vice-Chair to the Development Code Review Committee.

BACKGROUND

The Development Code Review Committee elects a chairperson and vice-chairperson from its members annually.

Per the Boards, Commissions, and Council Committees Handbook:

Election of Officers

Procedures for the election of officers for appointed boards are established to ensure consistency with the City Council's goals and policies in making board appointments. Except where otherwise provided by state law, federal law, City Charter, or City ordinances or resolutions, election of officers for City of Denton council-appointed boards will be as follows:

- The chair and vice-chair will be elected by voting board members.
- Election of officers shall be annually and occur in January or February. For those boards not meeting regularly, the election shall be held during the first board meeting of the calendar year. If, for any reason, the chair or vice-chair vacates their seat, a special election shall be held to fill the unexpired term. A temporary chair may be selected by the board pursuant to Roberts Rules of Order.
- The staff liaison, designated by the City Manager, shall serve as the official secretary to the board or commission to ensure records are maintained in accordance with requirements of the City Secretary's office.
- The City Council shall reserve the right, as deemed necessary in individual instances, to appoint the chair and vice-chair for any special issue or temporary advisory committees. If the City Council chooses not to make the appointment for chair and vice-chair, then the procedure outlined in this policy will apply.

According to Robert's Rules of Order, once a chairperson and vice-chairperson are elected, they will "take possession of [their] office immediately upon [their] election's becoming final." As such, the present chairperson and vice-chairperson will vacate their roles at that time, and the newly elected chairperson and vice-chairperson will continue the Development Code Review Committee meeting.

EXHIBITS

1. Agenda Information Sheet

Respectfully submitted:
Hayley Zagurski, AICP
Planning Director

Prepared By:
Angie Mangliris, AICP
Assistant Planning Director

MINUTES
DEVELOPMENT CODE REVIEW COMMITTEE
January 12, 2026

After determining that a quorum is present, the Development Code Review Committee of the City of Denton, Texas will convene in a Regular Called Meeting on Monday, January 12, 2026, at 3:02 p.m. in Training Rooms 3, 4, and 5 at the Development Services Center, 401 N. Elm Street, Denton, Texas, at which the following items will be considered:

PRESENT: Chair Brian Beck, and Members: Vicki Byrd, Suzi Rumohr, Eric Pruett, Lisa Dyer, and Clay Riggs

ABSENT:

REGULAR MEETING

1. ITEMS FOR CONSIDERATION

A. DCRC25-168: Consider approval of minutes for December 8, 2025.

AYES (6): Chair Brian Beck, and Members: Vicki Byrd, Suzi Ruhmor, Eric Pruett, Lisa Dyer, and Clay Riggs

NAYS (0): None

ABSENT FOR VOTE (0):

Member Riggs moved to approve the minutes as presented. Motion seconded by Member Rumohr. Motion carried.

B. DCRC25-170: Receive a report, hold a discussion, and give staff direction regarding prioritizing future potential Denton Development Code amendments.

Angie Manglaris, Assistant Planning Director, presented the item.

Discussion occurred regarding the prioritization of topics to update amendments for moving forward.

There was consensus from the Committee to continue with the staff recommendation and include drainage as a priority topic.

C. DCRC25-162a: Receive a report, hold a discussion, and give staff direction regarding proposed Code amendments related to the building design of single-family homes and other residential use types.

Matt Bodine, Assistant Planner, presented the item.

Committee provided confirmation of the consensus from previous meeting's discussion regarding required design features for single-family homes, requiring at least four of the seventeen items unless a larger design feature was provided. In cases featuring a prioritized design feature, three of seventeen design features shall be provided

There was not a consensus from the Committee for either option presented by staff regarding garage design.

There was a consensus among the Committee to allow offsets be two feet or less for garages.

The official direction is to revisit garage design later with updated options taking into consideration the Committee's concerns.

Consensus from the Committee was to stay with the current standards for the front-entry garage width on smaller lots.

Committee provided direction to look into prioritizing design standards which facilitated alley-loaded designs verses front-loaded designs for smaller residential lots.

The Committee provided consensus to move forward with staff recommendation to update the language regarding architectural variety while keeping the intent of the existing regulations.

The Committee provided consensus to accept the new standard regarding J-Swing garage designs.

D. DCRC25-095h: Receive a report, hold a discussion, and give staff direction regarding proposed Code amendments related to Tree Preservation.

This item was moved to a later meeting date due to time constraints.

2. DEVELOPMENT CODE REVIEW COMMITTEE PROJECT MATRIX

A. DCRC25-169: Hold a discussion regarding the Development Code Review Committee Project Matrix.

Angie Manglaris, Assistant Planning Director, presented the item.

Discussion followed.

Member Pruett mentioned concern about the timeline of the Parking Study.

Charlie Rosendahl, Interim Director of Development Services, explained the two-year process and various discussions that prolonged the Parking Study and that it should be coming to Mobility Committee in March.

3. CONCLUDING ITEMS

With no further business, the Regular Meeting was adjourned at 4:53 p.m.

X

Brian Beck
Chair

X

Carly Blondin
Administrative Assistant

Minutes approved on: _____



City of Denton

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AGENDA INFORMATION SHEET

DEPARTMENT: Department of Development Services

DCM: Cassey Ogden

DATE: February 9, 2026

SUBJECT

Receive a report, hold a discussion, and give staff direction regarding proposed Code amendments related to the building design of single-family homes and other residential use types.

BACKGROUND

The Denton Development Code (DDC) Subchapter 7.10: Site and Building Design provides architectural and site design regulations for a variety of uses for the purpose of providing variety and visual interest in exterior building design, promoting high-quality development, and enhancing streetscapes within the City of Denton. Specifically, Subsection 7.10.3 addresses building and site design for single-family detached, townhome, duplex, triplex, and fourplex buildings and requires certain architectural features be provided to ensure architectural variety within a subdivision. The DDC Subsection 7.10.2.D also allows the Director to approve alternative building design standards provided the alternative designs achieve the intent of the standards set forth in the DDC, advance goals and policies of the City, benefit the community, and do not impose greater impacts on adjacent properties.

In 2021, the Director memorialized appropriate alternative design features in a memo (see Exhibit 3) for the purpose of assisting in assessing architectural variety as required by DDC Subsection 7.10.3.D. This memo added ten (10) additional design elements as required by DDC 7.10.3.E that were determined to be appropriate alternative design standards which met the overall intent of the DDC. Over time, this memo has been updated to reflect additional features and clarifications requested by developers and builders within the City as different architectural styles gain and decline in popularity for new homes. The most recent iterations of the memo are from the Summer of 2025 (see Exhibits 4 & 5). These memos are circulated among Planning and Building Safety staff and are used to guide reviews of new single-family homes. Given the manner in which the memos and determinations have evolved over time, and to ensure the same standards are applied across all developments consistently, the appropriate mechanism to codify these interpretations is to incorporate them into the Denton Development Code Subsection 7.10.3: Single-Family Detached, Duplex, Townhome, Triplex, and Fourplex Site and Building Design.

At the December 8, 2025 DCRC meeting, staff introduced the building design of single-family homes and other residential use types topic. Staff discussed additional design features to be added to the Building Mass and Form subsection of the DDC (see Exhibit 2). There was discussion over how many design features to require and whether to prioritize certain design features which emphasized community building, such as covered front porches. DCRC reached a consensus to require four design features.

At the January 12, 2026 DCRC meeting, staff continued the discussion on the building design of single-family homes and other residential uses topic. DCRC discussed and reached a consensus to add the option

for requiring three design features if one of them comes from a list of major features. The rest of the discussion focused on garage design and architectural variety for single-family home building design within the DDC. DCRC requested staff research and present garage design standards in other municipalities for the meeting. DCRC reached a consensus on clarifying the requirements for architectural variety.

At the February 9, 2026 DCRC meeting, staff will continue the discussion on building requirements for single-family homes and other residential use types with a focus on garage design.

EXHIBITS

Exhibit 1 – Agenda Information Sheet

Exhibit 2 – DDC 7.10.3D-F Residential Building Design Standards

Exhibit 3 – 2021 Residential Design Determination

Exhibit 4 – Memo on Building Design Interpretation (Landmark)

Exhibit 5 – Memo on Building Design Interpretation (Stella Hills)

Exhibit 6 – Additional Design Features Guide

Exhibit 7 – Proposed Redline Markups (DDC 3.7.3D; 7.10.3D-F, H)

Exhibit 8 – Presentation

Respectfully submitted:
Hayley Zagurski, AICP
Planning Director

Prepared by:

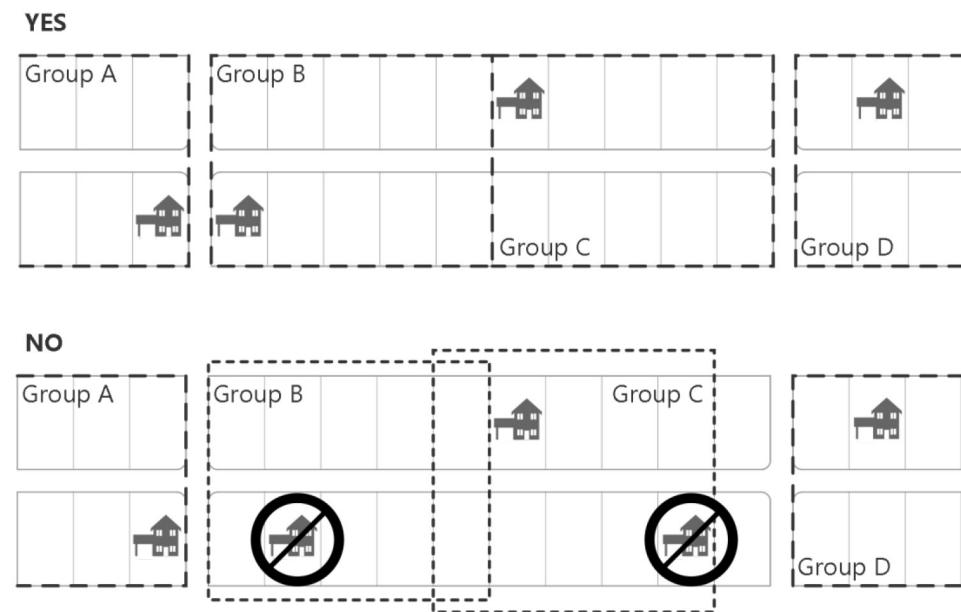
Matt Bodine

Assistant Planner

7.10.3 Single-Family Detached, Duplex, Townhome, Triplex, and Fourplex Dwelling Site and

D. **Architectural Variety.** The same elevation shall not be used within any 10 lot grouping as defined by the two adjacent lots on either side of the subject property and the five lots immediately across the street from those same lots. This requirement shall not apply across a right-of-way dividing two adjacent blocks:

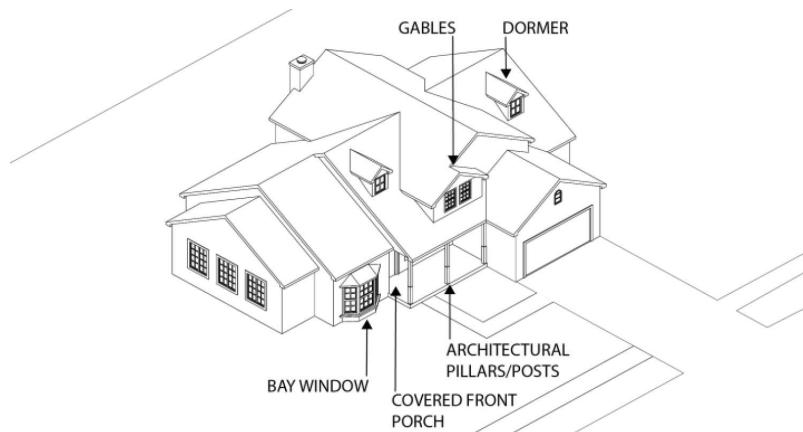
Figure 7.10-A: Architectural Variety



E. **Building Mass and Form.** Buildings shall incorporate at least three of the following design features to provide visual relief along the front of the residence:

1. Dormers;
2. Gables;
3. Recessed entries, a minimum of three feet deep;
4. Covered front porches;
5. Cupolas;
6. Architectural pillars or posts; and/or
7. Bay window with a minimum 24 inches projection.

Figure 7.10-B: Building Mass and Form



F. Garage Design.

1. Where alleys are present, garages shall be accessed from the alley to the maximum extent practicable.
2. For front-entry garages:
 - a. The garage shall be offset a minimum of three feet from the building; and
 - b. The total width of the garage door(s) shall not occupy more than 40 percent of the ground-floor building frontage.
3. Side- and rear-entry garages are encouraged and may encroach into setbacks pursuant to Table 3.7-A: Authorized Exceptions to Setbacks.



Planning Director Determination

DATE: April 27, 2021

SUBJECT: Architectural Variety and Building Mass and Form Interpretation

For the purposes of determining architectural variety as required in DDC Section 7.10.3.D, the addition or removal of design features (not a change in building materials alone) shall be used to distinguish building elevations. DDC Section 7.10.3E states "Buildings shall incorporate at least three of the following design features to provide visual relief along the front of the residence."

As permitted under Section 7.10.2D, the Director can approve alternative standards that meet or exceed the DDC standards in Section 7.10. The list below in *black text* is the list included in Section 7.10.3E. The *red text* below are additional design elements that can be used to meet the requirements of Section 7.10.3D-E.

1. Dormers;
2. Gables;
3. Recessed entries, a minimum of three feet deep;
4. Covered front porches;
5. Cupolas;
6. Architectural pillars or posts; *and/or*
7. *Projection (Bay, bump-out, or bow)* window with a minimum 24 inches projection;
8. *Balconies;*
9. *Stoops;*
10. *Shed roofs or awnings over garage doors;*
11. *Split garage doors where a column or post divides single-car garage doors;*
12. *Side-entry or J-swing garage;*
13. *Changes in wall plane where an entire section of the garage or home at least 8-feet in width extends at least 24 inches out from the primary wall plane;*
14. *Minimum 10% increase in the percentage of windows and doors (excluding garage doors) compared to a similar elevation;*
15. *More than one of the following decorative masonry details incorporated in the gables or across the front of the home: rowlock or soldier course rows around windows and garage doors, basket weave, herringbone, or other distinctive brick patterns in gables; cedar or cement shake or stucco board accents in gables; and/or*
16. *Other distinguishing structural features as approved by the Director.*

The following pages provide supporting reference materials to help define these terms.

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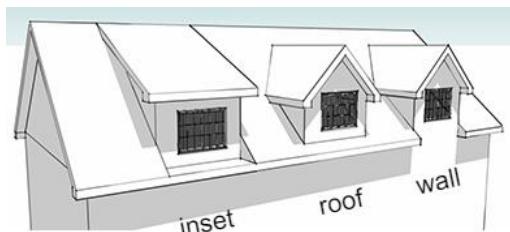
Per planning, window not required for dormer

Dormers

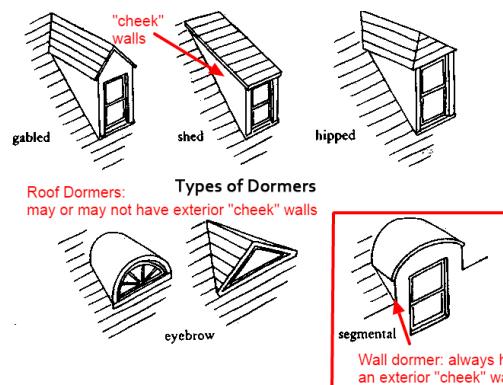
Definition: Dormer means a projecting structure with a ~~window~~ which is set vertically on a sloping building roof, having its own roof, which may be flat, arched, gabled or hip in shape.

Dormer Categories

Dormers can be placed into three structural categories: roof dormer, wall dormer, and inset dormer.



Cheek Wall - The vertical sides of the dormer.



what has a

Wall dormers always has a "cheek" wall. This is distinguishes it from a cross gable, which never



"cheek" wall.

Covered Front Porches vs Recessed Entries

A porch is a covered shelter projecting in front of the entrance of a house or building. The structure is external to the walls of the building but may be enclosed by walls, columns, rails, or screens extending from the main structure.

A recessed entry is a created when the front door is inset behind the front wall of the house by at least three feet, typically covered by the primary roof line and fully enclosed by walls on both sides. A recessed entry can be paired with a front porch if the width of the recessed space is enlarged by 24 inches or more on a single side or 12 inches or more on both sides of the front door.

Note, this distinction between porches and recessed entries should be applied to new subdivisions that begin the platting process after Section 7.10.3 is updated to include the broader list of design elements proposed above.



(1) *Covered front porch*



(2) *Recessed entry*



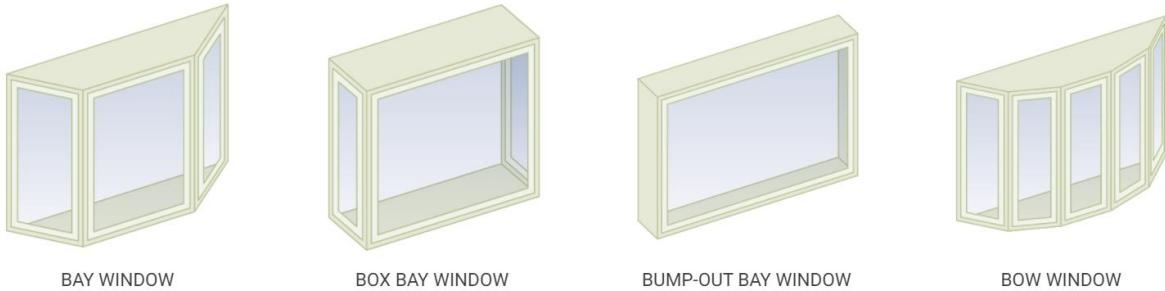
(3) *Wider recessed entry/covered porch*

Stoops

Definition: A stoop is a small staircase ending with a platform (covered or uncovered) that leads to the entrance of the residence. Depending on the style and number of steps, the stoop may include railing on one or both sides.



Projection Windows - Styles



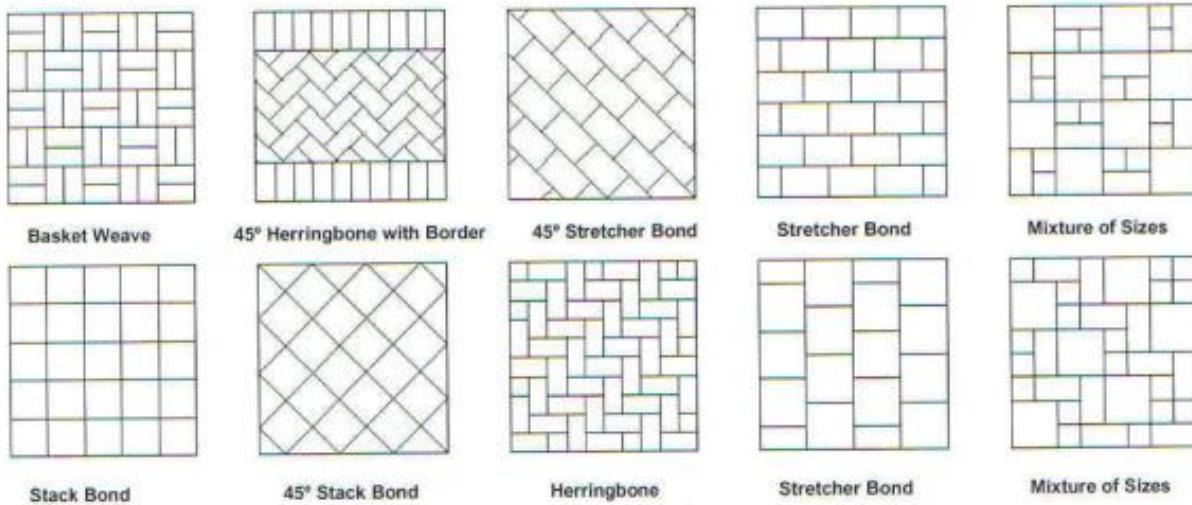
BAY WINDOW

BOX BAY WINDOW

BUMP-OUT BAY WINDOW

BOW WINDOW

Decorative Masonry Patterns



Basket Weave

45° Herringbone with Border

45° Stretcher Bond

Stretcher Bond

Mixture of Sizes

Stack Bond

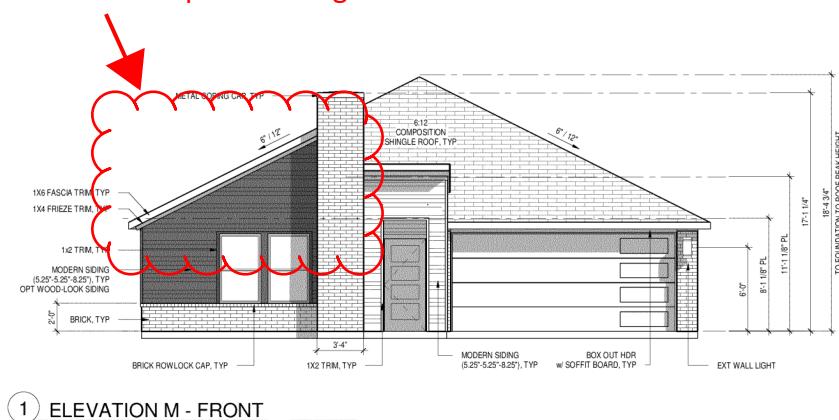
45° Stack Bond

Herringbone

Stretcher Bond

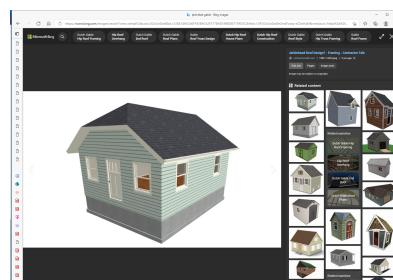
Mixture of Sizes

Per Planning below is an example of a split or lean-to gable style. This would be acceptable as a gable feature.



1 ELEVATION M - FRONT

example of jerkinhead gable





Date: July 3, 2025

To: Karin Sumrall, Senior Planning + Design Architect, Hillwood Communities
Andrew Piper, Vice President, Hillwood Communities

From: Tina M. Furgens, AICP, Deputy Director of Development Services/Planning Director

RE: Planning Director Determination for Hunter Ranch (Landmark) Architectural Variety and Building Mass and Form Interpretation – Updated to include Design Feature #18

As permitted under the Hunter Ranch MPC Section 7.10.2D, the Director may approve alternative standards that meet or exceed the MPC standards in MPC Section 7.10. (Site and Building Design); in other words, the alternatives being granted shall be the same or better degree achieved than that of the current standard. In addition, the Director took into consideration and applied the following provisions listed below from MPC Section 7.10.1 (Purpose) in a manner appropriate for residential development, as well as other prior Director Determinations issued for single-family housing design in the City of Denton:

- A. Promote high-quality development and construction;
- D. Provide variety and visual interest in the exterior design of buildings; and
- E. Enhance the streetscape and diminish the prominence of garages and parking areas.

Architectural Variety

For the purposes of determining architectural variety as required in MPC Section 7.10.3D (Architectural Variety), the addition or removal of design features (not a change in building materials alone) shall be used to distinguish building elevations. MPC Section 7.10.3E (Building Mass and Form) states: “Buildings shall incorporate at least three of the following design features to provide visual relief along the front of the residence.”

For the list below, the text shown in “black text” is the list included in MPC Section 7.10.3E. The “***bold italicized text***” are additional design elements that can be used to meet the requirements of MPC Section 7.10.3D and 7.10.3E. It should be noted that per the property owner/developer’s request, the design features in 7.10.3E. has been increased to four design features (instead of three) which the Director has no objection.

MPC Section 7.10.3E. Building Mass and Form

Buildings shall incorporate at least ***four*** of the following design features to provide visual relief along the front of the residence:

1. Dormers (***while a window is preferred, it is not required***);

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2. Gables;
3. Recessed entries, a minimum of three feet deep;
4. Covered front porches;
5. Cupolas;
6. Architectural pillars or posts;
7. Bay window with a minimum 24 inches projection;
8. ***Variable roof pitch and nested roofs;***
9. ***Shed Roof;***
10. ***Balconies;***
11. ***Stoops;***
12. ***Awnings over garage doors;***
13. ***Split garage doors where a column or post divides single-car garage doors;***
14. ***Side-entry, J-swing, or alley garages;***
15. ***Changes in wall plane where an entire section of the garage or home at least 8-feet in width extends at least 24-inches out from the primary wall plane;***
16. ***Minimum 10% increase in the percentage of windows and doors (excluding garage doors) above the minimum required (15%) for a total 25%; and/or***
17. ***More than one of the following decorative masonry details incorporated:***
 - ***Masonry in the gables or across the front of the home: rowlock or soldier course rows around windows and garage doors, basket weave herringbone, or other distinctive brick patterns in gables; cedar shake or stucco board accents in gables.***
 - ***Horizontal stucco banding extending across the majority of the home's width for the uppermost 30-50% of the façade for homes that otherwise are clad in a single material.***
18. ***Integrated roof extension window awning with supportive brackets***

Refer to Attachment A for supporting reference materials to help define these terms, and that are applied to residences constructed elsewhere in Denton.

Front-Entry Garages

For the purposes of providing alternate design considerations for front-entry garages, the Director is approving design relief in two areas: 1) reduction of the garage off-set from the building to accommodate a variety of plan types where architectural relief is achieved; and 2) for smaller lot widths (45 feet or less) allowing the garage entry to exceed the 40% of the ground floor building-frontage to accommodate a typical two-car garage entrance.

The 24-inches off-set is preferred to be achieved measuring the off-set from a primary building wall associated with enclosed, occupiable, climate controlled living area to the garage face as this still provides an appropriate off-set and achieves the original intent for variable building plane off-sets and diminishing the prominence of the garage entrances, coupled with the property owner/developer's

commitment to providing four architectural design elements in 7.10.3E above.

Alternatively, staff recognizes that covered porches (whether climate controlled or not) can be designed in a manner that also achieves the desired architectural relief, provided that the covered porch is of a minimum size, even if the aforementioned 24-inch offset referenced above is not provided. As such, alternate design relief is being provided to accommodate porches for structures that do not achieve the 24-inch off-set between the garage face and primary building wall.

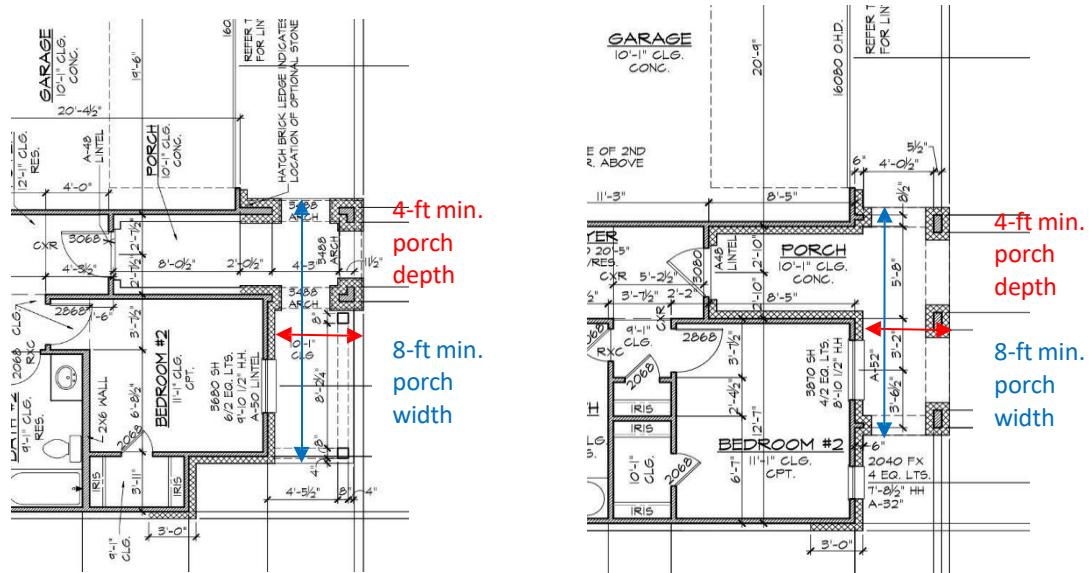
Allowing the front-entry garage to exceed the 40% limitation is because mathematically for smaller lots, a two-car garage entrance would otherwise not be able to comply thereby prohibiting smaller front-entry housing options. Garage prominence shall be diminished with the 24-inches required off-set, coupled with additional design features provided in accordance with 7.10.3F.2.b.i. below.

For the list below, the text shown in "black text" is the list included in MPC Section 7.10.3F (Garage Design). The "***bold italicized text***" are additional design elements that shall be used to meet the requirements of MPC Section 7.10.3F.

MPC Section 7.10.3F Garage Design

1. Where alleys are present, garages shall be accessed from the alley to the maximum extent practicable.
2. For front-entry garages:
 - a. The garage shall be offset a minimum of **24-inches** from the building;

Exception: the 24-inches off-set referenced above may be reduced to 0-inches provided that a covered porch, minimum 4-feet in depth (measured from the exterior building wall face to the edge of the column exterior) and minimum 8-feet in width, with supporting columns is provided (does not have to be climate controlled) (see image below)



Arrows above denote where measurements are taken from for covered porch minimum width and depth. Note that a recessed entry area may count towards the minimum 8-foot width dimension, but not the minimum 4-foot porch depth dimension.

and

- b. The total width of the garage door(s) shall not occupy more than 40 percent of the ground-floor building frontage, ***except as provided in b.i. below.***
 - i. ***For lot widths 45 feet or less, the garage door(s) may exceed 40% the width of the ground-floor building frontage, provided that the structure shall have a minimum of four design elements from the list provided in 7.10.3E. Building Mass and Form above, and of which one of the design elements shall be from the list below:***
 - a) ***Covered front porch;***
 - b) ***Split garage doors where a column or post divides single-car garage doors;***
 - c) ***Stoops;***
 - d) ***Balcony;***
 - e) ***Variable roof pitch and nested roofs; or***
 - f) ***Dormers.***

Building Materials

For the purposes of determining building materials as required in MPC Section 7.10.3H (Building Materials), the Director approves these material allowances due to state law limitations (adopted in 2019) associated with cities regulating exterior building materials.

For the list below, the text shown in “black text” is the list included in MPC Section 7.10.3H (Building Materials). The “***bold italicized text***” are additional materials that can be used to meet the requirements of MPC Section 7.10.3H.

MPC Section 7.10.3H. Building Materials

1. Exterior finishes shall be of wood, masonry, or cementitious siding.
2. Masonry ***and cementitious siding*** shall comprise a minimum of 50 percent of the exterior finishes of the total building elevation.
3. Other building materials may be approved by the Director provided they meet the intent of this section.

Sincerely,



Tina M. Furgens, AICP
Deputy Director of Development Services/Planning Director

Enclosures:
Attachment A – Architectural Design Elements Defined

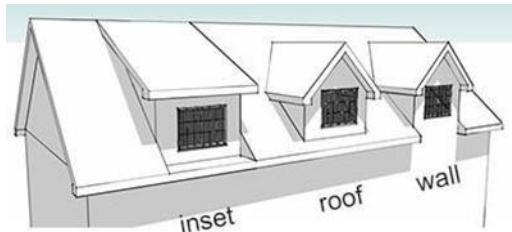
Attachment A – Architectural Design Elements Define

Dormers:

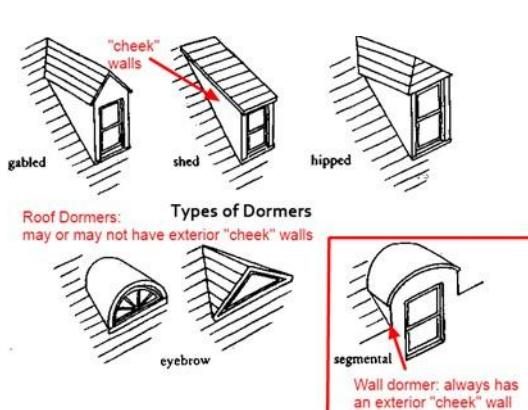
Definition: Dormer means projecting structure which is set vertically on a sloping building roof, having its own roof, which may be flat, arched, gabled or hip in shape. While a window within the dormer is preferred, it is not required.

Dormer Categories

Dormers can be placed into three structural categories: roof dormer, wall dormer, and inset dormer.



Cheek Wall - The vertical sides of the dormer.



Wall dormers always have a “cheek” wall. This is what distinguishes it from a cross gable, which never has a check wall.

Covered Front Porches vs Recessed Entries

A porch is a covered shelter projecting in front of the entrance of a house or building. The structure is external to the walls of the building but may be enclosed by walls, columns, rails, or screens extending from the main structure.

A recessed entry is a created when the front door is inset behind the front wall of the house by at least three feet, typically covered by the primary roof line and fully enclosed by walls on both sides. A recessed entry can be paired with a front porch if the width of the recessed space is enlarged by 24 inches or more on a single side or 12 inches or more on both sides of the front door.



Covered front porch



Recessed entry



Wider recessed entry/covered porch

Stoops

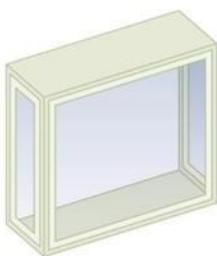
Definition: A stoop is a small staircase ending with a platform (covered or uncovered) that leads to the entrance of the residence. Depending on the style and number of steps, the stoop may include railing on one or both sides.



Projection Windows - Styles



BAY WINDOW



BOX BAY WINDOW

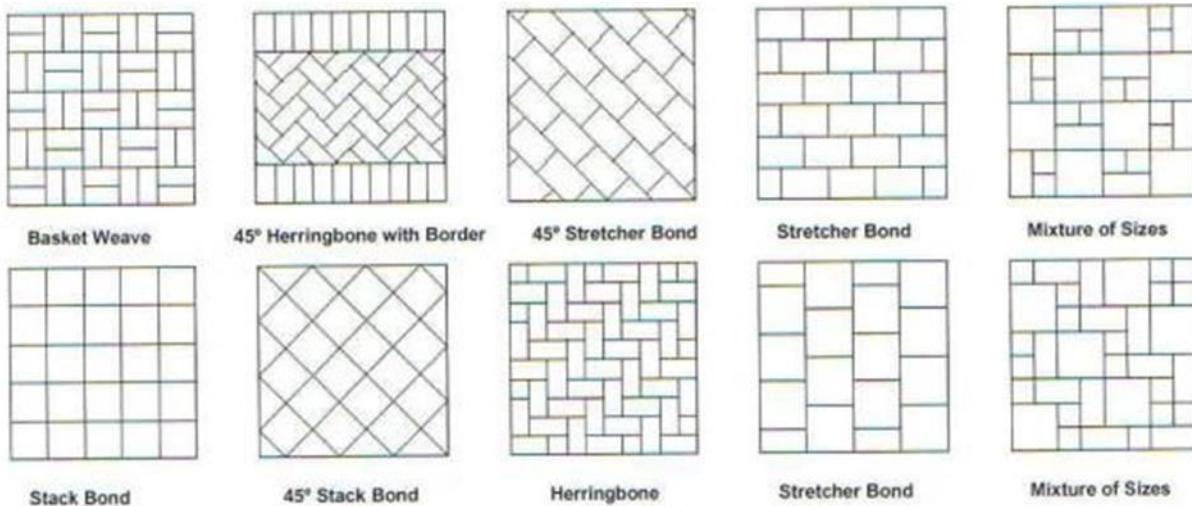


BUMP-OUT BAY WINDOW



BOW WINDOW

Decorative Masonry Patterns



Roof Designs

Below is an example of a split or lean-to gable style. This would be acceptable as a gable feature.

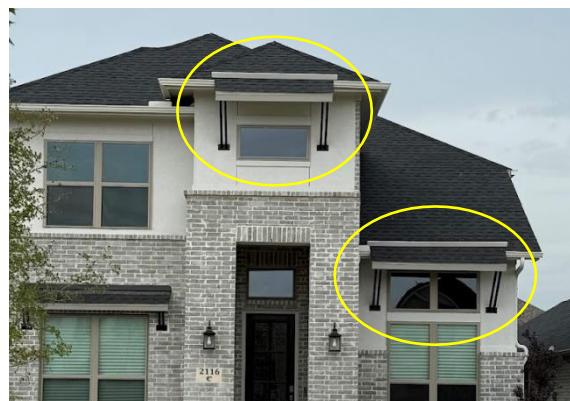


Example of a jerkinhead gable.



Integrated Roof Extension Window Awning with Supportive Brackets

Below are examples that illustrate the integrated roof extension window awning with supportive brackets architectural design feature. Three key elements of this design feature include: 1) the roof extension projects (or extends) lower than the primary roof eave; 2) the roof extension is proportional to the width of the window; and 3) supportive brackets connect underneath the roof extension and attach to the exterior building wall.





Development Services Department

401 N. Elm Street, Denton, TX 76201 • (940) 349-8600

Date: June 26, 2025

To: Mr. Frank Su, Vice President, Land Acquisition – Meritage Homes
From: Tina M. Frgens, AICP, Deputy Director of Development Services/Planning Director
RE: Planning Director Determination for Stella Hills Single-Family Residential Development, Architectural Variety and Building Mass and Form Interpretation

As permitted under the Denton Development Code (DDC) Section 7.10.2D, the Director may approve alternative standards that meet or exceed the DDC standards in DDC Section 7.10. (Site and Building Design); in other words, the alternatives being granted shall be the same or better degree achieved than that of the current standard. In addition, the Director took into consideration and applied the following provisions listed below from DDC Section 7.10.1 (Purpose) in a manner appropriate for residential development, as well as other prior Director Determinations issued for single-family housing design in the City of Denton:

- A. Promote high-quality development and construction;
- D. Provide variety and visual interest in the exterior design of buildings; and
- E. Enhance the streetscape and diminish the prominence of garages and parking areas.

Architectural Variety

For the purposes of determining architectural variety as required in DDC Section 7.10.3D (Architectural Variety), the addition or removal of design features (not a change in building materials alone) shall be used to distinguish building elevations. DDC Section 7.10.3E (Building Mass and Form) states: “Buildings shall incorporate at least three of the following design features to provide visual relief along the front of the residence.”

For the list below, the text shown in “black text” is the list included in DDC Section 7.10.3E. The ***“bold italicized text”*** are additional design elements that can be used to meet the requirements of DDC Section 7.10.3D and 7.10.3E

DDC Section 7.10.3E. Building Mass and Form

Buildings shall incorporate at least three of the following design features to provide visual relief along the front of the residence: ***(Note: the design features shall be increased to four if reducing the required 3-ft garage off-set from the building; see Front Entry Garages section of letter below)***

1. Dormers (***while a window is preferred, it is not required***);
2. Gables;

OUR CORE VALUES

Inclusion • Collaboration • Quality Service • Strategic Focus • Fiscal Responsibility

3. Recessed entries, a minimum of three feet deep;
4. Covered front porches;
5. Cupolas;
6. Architectural pillars or posts;
7. Bay window with a minimum 24 inches projection;
8. ***Variable roof pitch and nested roofs;***
9. ***Shed Roof;***
10. ***Balconies;***
11. ***Stoops;***
12. ***Awnings over garage doors;***
13. ***Split garage doors where a column or post divides single-car garage doors;***
14. ***Side-entry or J-swing garage;***
15. ***Changes in wall plane where an entire section of the garage or home at least 8-feet in width extends at least 24-inches out from the primary wall plane;***
16. ***Minimum 10% increase in the percentage of windows and doors (excluding garage doors) above the minimum required (15%) for a total 25%; and/or***
17. ***More than one of the following decorative masonry details incorporated in the gables or across the front of the home: rowlock or soldier course rows around windows and garage doors, basket weave herringbone, or other distinctive brick patterns in gables; cedar shake or stucco board accents in gables.***

Refer to Attachment A for supporting reference materials to help define these terms, and that are applied to residences constructed elsewhere in Denton.

Front-Entry Garages

For the purposes of providing alternate design considerations for front-entry garages, the Director is approving design relief related to the reduction of the garage off-set from the building to accommodate a variety of plan types where architectural relief is achieved.

The 24-inches off-set is preferred to be achieved measuring the off-set from a primary building wall associated with enclosed, occupiable, climate controlled living area to the garage face as this still provides an appropriate off-set and achieves the original intent for variable building plane off-sets and diminishing the prominence of the garage entrances, coupled with the builder's commitment to providing four architectural design elements in 7.10.3E above.

Alternatively, staff recognizes that covered porches (whether climate controlled or not) can be designed in a manner that also achieves the desired architectural relief, provided that the covered porch is of a minimum size, even if the aforementioned 24-inch offset referenced above is not provided. As such, alternate design relief is being provided to accommodate porches for

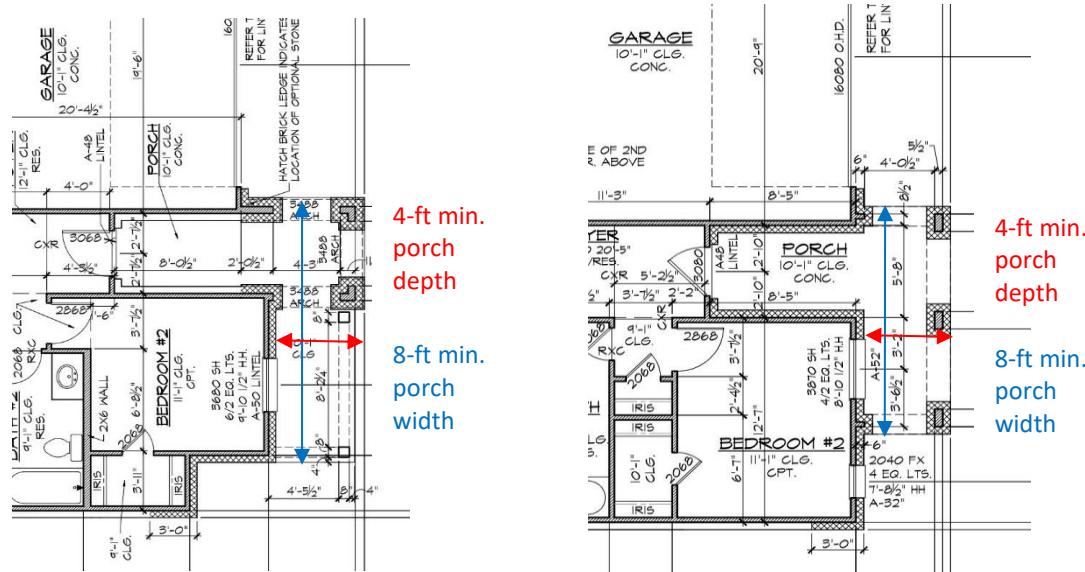
structures that do not achieve the 24-inch off-set between the garage face and primary building wall.

For the list below, the text shown in “black text” is the list included in DDC Section 7.10.3F (Garage Design). The “***bold italicized text***” are additional design elements that shall be used to meet the requirements of DDC Section 7.10.3F.

DDC Section 7.10.3F Garage Design

1. Where alleys are present, garages shall be accessed from the alley to the maximum extent practicable.
2. For front-entry garages:
 - a. The garage shall be offset a minimum of **24-inches** from the building;

Exception: the 24-inches off-set referenced above may be reduced to 0-inches provided that a covered porch, minimum 4-feet in depth (measured from the exterior building wall face to the edge of the column exterior) and minimum 8-feet in width, with supporting columns is provided (does not have to be climate controlled) (see image below)



Arrows above denote where measurements are taken from for covered porch minimum width and depth. Note that a recessed entry area may count towards the minimum 8-foot width dimension, but not the minimum 4-foot porch depth dimension.

and

- b. The total width of the garage door(s) shall not occupy more than 40 percent of the ground-floor building frontage.

3. Side- and rear-entry garages are encouraged and may encroach into setbacks pursuant to Table 3.7-A: Authorized Exceptions to Setbacks.

Additionally, please note that this design relief shall apply to all builders within the Stella Hills single-family residential development, including but not limited to Meritage Homes.

Sincerely,



Tina M. Firgens, AICP
Deputy Director of Development Services/Planning Director

Enclosures:
Attachment A – Architectural Design Elements Defined

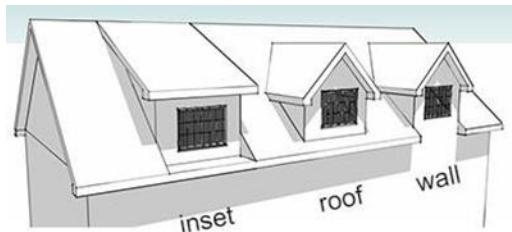
Attachment A – Architectural Design Elements Define

Dormers:

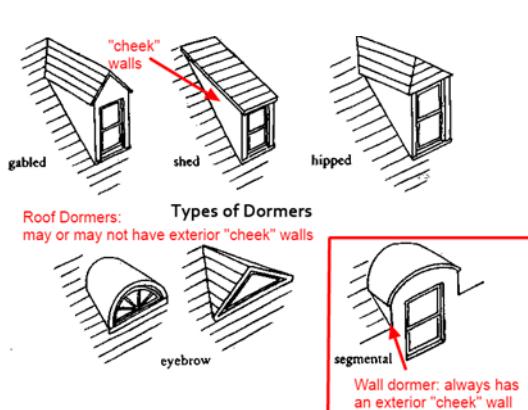
Definition: Dormer means projecting structure which is set vertically on a sloping building roof, having its own roof, which may be flat, arched, gabled or hip in shape. While a window within the dormer is preferred, it is not required.

Dormer Categories

Dormers can be placed into three structural categories: roof dormer, wall dormer, and inset dormer.



Cheek Wall - The vertical sides of the dormer.



Wall dormers always have a “cheek” wall. This is what distinguishes it from a cross gable, which never has a check wall.

Covered Front Porches vs Recessed Entries

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Covered front porch



Recessed entry



Wider recessed entry/covered porch

Stoops

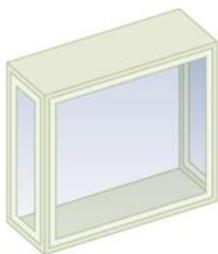
Definition: A stoop is a small staircase ending with a platform (covered or uncovered) that leads to the entrance of the residence. Depending on the style and number of steps, the stoop may include railing on one or both sides.



Projection Windows - Styles



BAY WINDOW



BOX BAY WINDOW

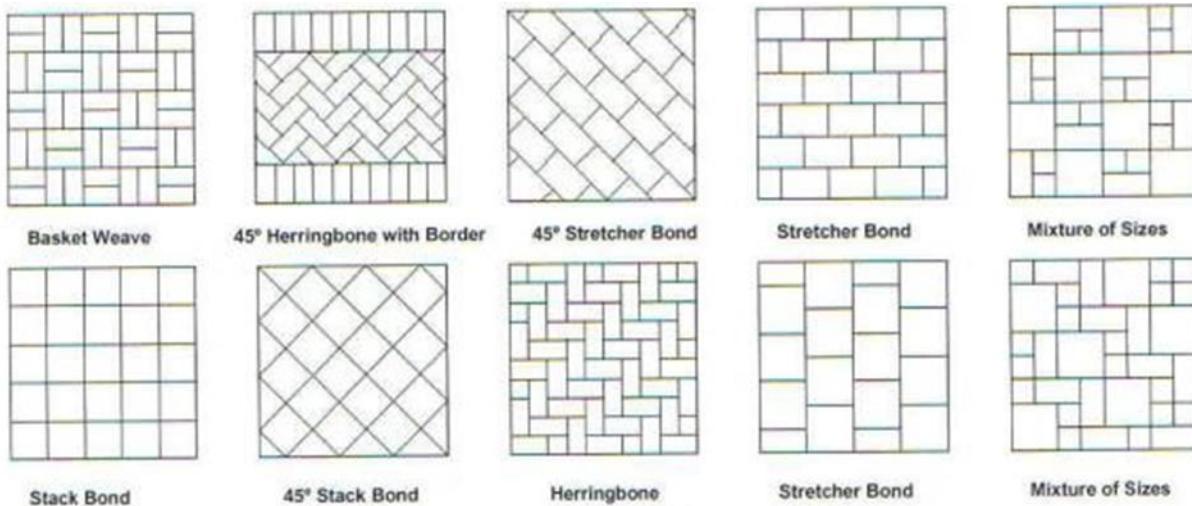


BUMP-OUT BAY WINDOW



BOW WINDOW

Decorative Masonry Patterns



Roof Designs

Below is an example of a split or lean-to gable style. This would be acceptable as a gable feature.



Example of a jerkinhead gable.

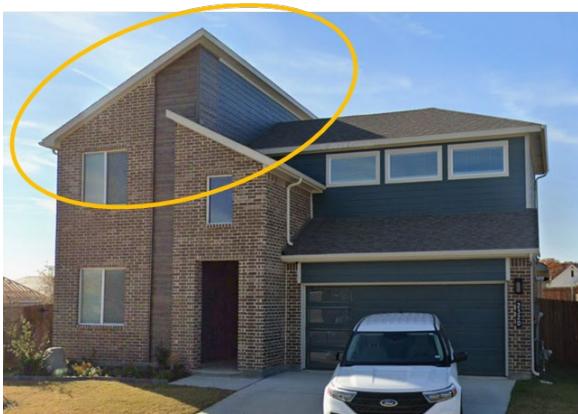


Additional Design Features

1. Variable roof pitch with nested roofs



2. Shed roof



3. Side-entry, alley-entry, or J-swing garage



4. Split garage doors where a column or post divides single-car garage doors



5. Stoop



6. Balcony



7. Integrated awning with supportive brackets over a window and/or a garage door



8. Windows and doors, excluding garage doors, comprise 25% of the front façade.

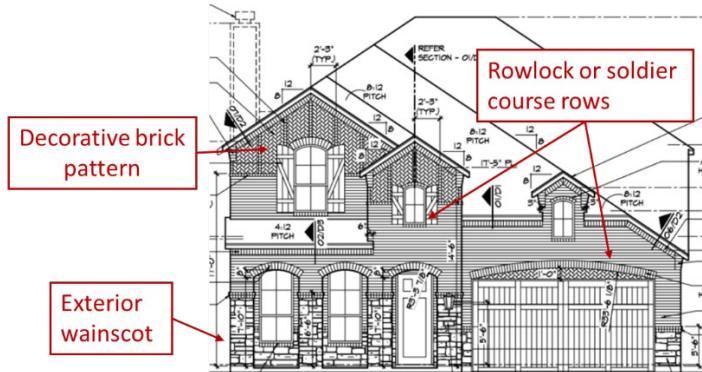


9. Changes in wall plane where an entire section of the home at least 8-feet in width, excluding garages, extends at least 24-inches out from the primary wall plane.



10. Multiple design details in the façade such as:

- a. Rowlock or soldier course rows around windows and garage doors
- b. Distinctive brick patterns such as basket weave or herringbone
- c. Exterior wainscot that is a different material from the rest of façade
- d. Use of multiple materials or colors in the façade

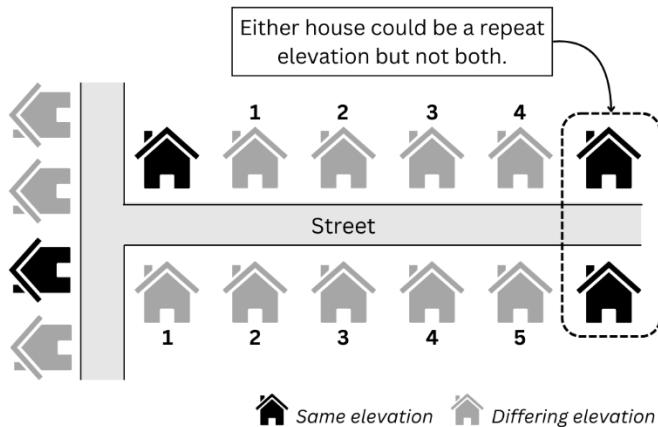


7.10.3 – Single-Family Detached, Duplex, Townhome, Triplex, and Fourplex Dwelling Site and Building Design.

D. **Architectural Variety.** The same elevation shall not be repeated along any blockface without at least four, intervening lots with different elevations on the same side of the street and at least five, intervening lots with different elevations on the opposite side of the street. Elevations on the opposite side of the street are not considered if they do not face each other.

1. Elevations are considered different if at least one of the following is true:
 - a. Difference in number of stories;
 - b. Difference in garage orientation;
 - c. Difference in incorporated design features from Subsection 7.10.3E.1; or
 - d. Major difference in the use of the following design feature—multiple design details in the façade.

Figure 7.10-A: Architectural Variety



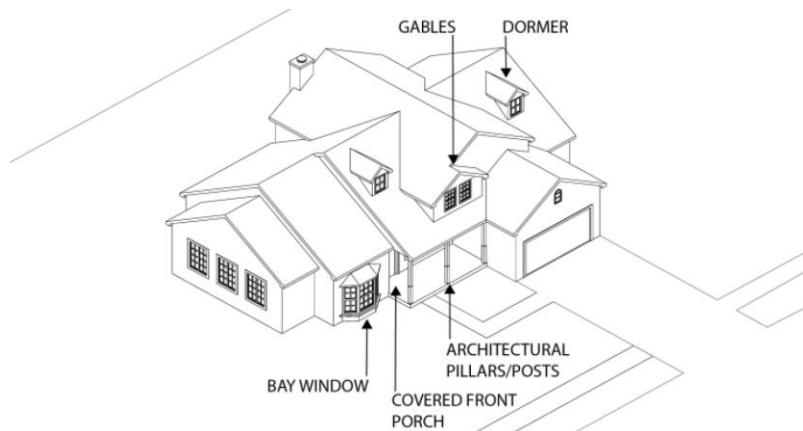
E. **Building Mass and Form.**

1. Buildings shall incorporate at least ~~three~~ four of the following design features to provide visual relief along the front of the residence:
 - a. Dormers (window preferred but not required);
 - b. Gables;
 - c. Recessed entries, a minimum of three feet deep;
 - d. Covered front porches;
 - e. Cupolas;
 - f. Architectural pillars or posts;
 - g. ~~Bay window~~ Projected window (such as a bay, bump-out, or bow) with a minimum 24 inches projection;;
 - h. Variable roof pitch and nested roofs;

- i. Shed roof;
- j. Side-entry, alley-entry, or J-swing garage;
- k. Split garage doors where a column or post divides garage doors;
- l. Stoop;
- m. Balcony;
- n. Integrated awning with supportive brackets over a window and/or a garage door;
- o. Windows and doors, excluding garage doors, comprise 25 percent of the front façade;
- p. Changes in wall plane where an entire section of the home at least eight feet in width, excluding garages, extends at least two feet out from the primary wall plane; and/or
- q. Multiple design details in the façade such as rowlock or soldier course rows around windows and garage doors, distinctive brick patterns such as basket weave or herringbone, rowlock or soldier course rows around windows and garage doors, distinctive brick patterns such as basket weave or herringbone, exterior wainscot that is a different material from the rest of façade, or use of multiple materials and/or colors in the façade.

2. A recessed entry can be combined with a covered front porch provided the recessed space is at least five feet wide and three feet deep
3. Buildings that incorporate at least one of the following design features only need to incorporate at least three design features from the list in Subsection 7.10.3E.1. Buildings that combine a covered front porch with a recessed entry shall incorporate at least two other design features from the list in Subsection 7.10.3E.1
 - a. Covered front porch;
 - b. Stoop;
 - c. Balcony; or
 - d. Side-entry, alley-entry, or J-swing garage;

Figure 7.10-B: Building Mass and Form



F. Garage Design.

1. For front-entry garages:

- a. The garage shall be offset a minimum of three feet from the building; and
- b. The total width of the garage door(s) shall not occupy more than 40 percent of the ground-floor building frontage.

2. Side-entry, ~~and~~ rear-entry, ~~and~~ J-swing garages are encouraged and may encroach into setbacks pursuant to Table 3.7-A: Authorized Exceptions to Setbacks.

H. Building Materials.

1. ~~Exterior finishes shall be of wood, masonry, or cementitious siding.~~
2. ~~Masonry shall comprise a minimum of 25 percent of the exterior finishes of the total building elevation.~~
3. ~~Other building materials may be approved by the Director provided they meet the intent of this section.~~

A. Any requirements, limitations, or restrictions on building materials shall be in accordance with building codes adopted by the City.

3.7.3 – Setbacks.

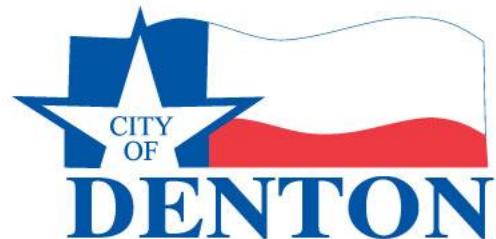
D. Exceptions to Setbacks.

Table 3.7-A: Authorized Exceptions to Setbacks	
Permitted Projections	Maximum Encroachment
Accessibility ramps, lifts and access facilities	May be located within required yards. Ramps shall not be located in the public right-of-way without approval by the City.
Front porches and stoops	In all residential zoning districts, unenclosed front porches and stoops may extend into the required front setback up to eight feet, provided no part of the porch is closer than five feet from the front property line. Railings or other features shall not deem a porch or stoop as enclosed.
Garages; side-entry, rear-entry, or J-swing	Side-entry and J-swing garages may extend into the front yard setback, provided the garage is at least 10 feet from the front property line. Rear-entry garages may extend into the rear yard setback, provided the garage is at least 5 feet from the rear property line.
Ground-mounted mechanical equipment	May encroach five feet into required side and rear yards provided no element is located closer than two feet from any property line and the equipment complies with screening standards in Subsection 7.7.8, Walls, Fences, and Screening.
Incidental architectural features	Cornices, canopies, sunshades, chimneys, flues, belt courses, headers, sills, pilasters, lintels, bay or box windows, ornamental features, and other similar architectural features may project up to two feet into any required setback provided the projections are at least five feet from the property line.
Roof eaves	May encroach 18 inches into a required yard.
Swimming pools	A swimming pool on a lot with a single-family dwelling may be constructed no closer than five feet from the side and rear lot line and the swimming pool shall not be placed in the front yard and shall not encroach into or over an easement. A swimming pool on a lot with a single-family dwelling may be constructed no closer than five (5) feet from any other buildings and structures on the same lot.

Uncovered balconies and fire escapes	May encroach 18 inches into required side yard; four feet into required front or rear yard and shall comply with the applicable building coverage maximum.
Uncovered porches, slabs, patios, walks and steps	May encroach into required yards, but not closer than three feet from a rear or side property line, provided all components of the encroachment are no greater than 30 inches above finished grade.

Single-Family Home – Fourplex Building Design Standards

Matt Bodine
Assistant Planner
2/9/2026



Garage Design

Today's Discussion

- Discuss and reach a consensus on amendments to DDC standards that have been source of conflict with developers.

Current Standard

- For front-entry garages, the garage shall be offset a minimum of three feet from the building
 - (no restriction on whether that is offset in front or behind the house)



Garage Design Research

- Identified four types of code regulation used.
 1. Maximum setback in front of front façade: 5 - 8 feet
 2. Minimum setback behind the front façade: 4 – 10 feet
 3. Minimum setback from property line: 25 feet
 4. Cannot be in front of the house
- Only one city required additional design features if garage was front-facing and/or had a smaller setback.



Front-Entry Garage Amendments

Option 1: Staff's Preference

- The garage shall not be offset more than 5 feet in front of the building or porch.

Greater than 5 ft front offset

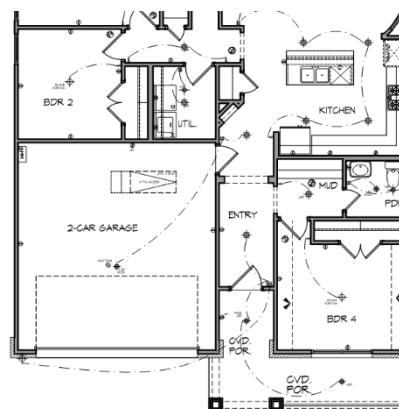


Less than 5 ft front offset



Option 2

- A front porch is required if the garage is offset less than 2 feet from the front of the building.



Next Steps

Presentation to Planning & Zoning Commission



2/9/2026

File ID: DCRC25-162b



City of Denton

City Hall
215 E. McKinney Street
Denton, Texas
www.cityofdenton.com

AGENDA INFORMATION SHEET

DEPARTMENT: Department of Development Services

DCM: Cassey Ogden

DATE: February 9, 2026

SUBJECT

Receive a report, hold a discussion, and give staff direction regarding proposed Code amendments related to Tree Preservation.

BACKGROUND

In late 2024, City Council prioritized a review of the Tree Preservation Code, and on December 9, 2024, the Development Code Review Committee (DCRC) held a discussion regarding prioritizing future potential Denton Development Code (DDC) amendment topics and similarly provided direction to staff regarding the prioritization of amendments to the DDC related to Tree Code. Staff has been tasked with assessing the current DDC Tree Code standards and presenting amendments to the DDC where appropriate.

The proposed amendments Staff has identified relate to industry best practices, improving clarity, and simplification of implementation of regulations for applicable development. Examples of sections that Staff is proposing to amend for clarifications include Tree Protection Requirements During Construction, Minimum Preservation Requirements, and Tree Replacement.

At the May 12, 2025, DCRC meeting, Staff introduced the current Tree Preservation Code regulations in DDC Subsection 7.7.4 and provided an overview of current standards. The discussion included an array of topics including but not limited to tree removal requirements, mitigation and replacement requirements, and City canopy goals.

At the June 23, 2025, DCRC meeting, Staff presented background on the City of Denton's Tree Code ordinance and how it relates to various provisions in the Texas Local Government Code, including discussions on vesting and state law relating to a city's authority to regulate tree preservation. A portion of the discussion regarding state law was held in a Closed Session meeting. The discussion on TLGC 212.905 was continued in closed session along with an overview of takings law at the July 14, 2025 DCRC Meeting.

Also at the July 14, 2025 DCRC meeting, Staff began the discussion of proposed Tree Code amendments; specifically, amendments to Subsection 9.2: Definitions. Following an overview of the proposed amendments, Staff requested consensus and opened the floor for additional feedback from the Committee regarding the proposed edits to the DDC.

At the September 22, 2025 DCRC meeting, Staff continued discussion of proposed amendments to the Tree Code, and revisited Subsection 9.2: Definitions, taking into consideration feedback gathered from the Committee at the July 14, 2025 meeting. Following the presentation of the proposed amendments, Staff

presented proposed amendments to Subsection 7.7.4.A and B: Purpose and Intent and Applicability and Exemptions.

At the October 13, 2025 DCRC meeting, Staff presented proposed amendments to Subsections 7.7.4.C through E. Specifically, these amendments addressed tree removal permits, tree protection during construction, and tree preservation plans.

At the October 27, 2025 DCRC meeting, Staff provided an overview of the Tree Preservation Plan (TPP) review process. This demonstration included a brief overview of a TPP and the associated Tree Inventory Excel file, as well as a brief overview of common issues that are found on TPP's. This presentation demonstrated how a TPP evolves over the course of a project.

At the November 17, 2025 DCRC meeting, staff presented amendments to Subsections 7.7.4.F and 7.7.4.G, Alternative TPP's and Minimum Preservation Requirements. Following this discussion, Staff requested feedback from the Committee regarding proposed replacement rates, reaching a consensus in agreement with Staff's recommendation. In addition, the Committee asked staff to research methods which could be codified to provide flexibility for infill and encumbered sites without requiring Director or City Council approval.

At the December 8, 2025 DCRC meeting, Staff introduced results from testing related to the guidance previously provided by the Committee regarding replacement rates. Following this discussion, Staff requested feedback from the Committee regarding higher mitigation replacement rates and tree preservation credits.

At the February 9, 2026 DCRC meeting, Staff will present Tree Code amendments and incentives related to infill development. Following this discussion, Staff will present results from the testing of higher mitigation rates and replacement rates, requesting confirmation on these items from the committee.

A draft presentation is provided as Exhibit 3. Please note that the material may be difficult to follow without Staff's explanation. The presentation is still being refined, and a finalized version will be shared at the meeting.

EXHIBITS

Exhibit 1 – Agenda Information Sheet

Exhibit 2 – Redline markup (DDC 7.7.4.G and M)

Exhibit 3 – Draft Presentation

Respectfully submitted:
Hayley Zagurski, AICP
Planning Director

Bryce Van Arsdale
Assistant Planner

7.7.4 Tree Preservation.

G. Minimum Preservation Requirements.

1. Tree Types and Required Preservation.

b. **Heritage and Quality Trees.** A minimum of 30 percent of the total ~~dbh~~ DBH shall be preserved within the development impact area. Removal of trees shall be replaced in accordance with Subsection 7.7.4H or 7.7.4I.

iii. Properties without a preserved habitat or conservation easement may reduce the 30 percent minimum to 10 percent provided:

- a. Removed trees shall be mitigated at the following rates: [INSERT];
- b. Subject lot meets the definition of Infill Development;
- c. Fewer than 10 protected trees exist on site; and
- d. Multifamily and non-residential uses outside of the MD zoning district as identified on the Official Zoning Map of City, as amended, shall provide an additional 10 landscape points from Table 7.E: Landscape Area Points System

M. Incentives.

5. **Parking Space Reduction.** Upon application and verification by the Director, an individual shall be entitled to a reduction in the minimum parking to help meet the minimum tree preservation requirements. ~~For the purpose of providing an incentive, the minimum parking requirements in Subsection 7.9.4, may be reduced by one parking space for every 12 inches ~~dbh~~ DBH of trees that have been protected or mitigated on a site. Up to 15 percent of the required spaces may be reduced in addition to the total reduction allowed in Section 7.9.5: Parking Alternatives, or~~
7. The enforcement and penalty provisions of Section 1.6 shall apply to this subsection. Height Increase. An additional 10 feet of maximum building height allowed in the applicable zoning district in Section 3.2– 3.5 may be granted to accommodate for the preservation of one or more protected trees located on the subject property or an adjacent developed property with Driplines within 30 feet but no closer than 10 feet of a proposed building.
 - a. The amount of floor area on the additional story is limited to:
 - i. 25% of the first floor gross floor area for the preservation of each Quality Tree; and
 - ii. 35% of the first floor gross floor area for the preservation of each Heritage Tree.
 - b. In no instance shall the total gross floor area added on an additional story exceed 10,000 square feet unless otherwise permitted elsewhere in this DDC.
 - c. If this incentive is taken in combination with Section 2.12: Affordability Incentives Procedures, the additional building height granted herein shall be counted towards any height increase permitted as an Affordability Incentive.
 - d. Height increases must comply with Section 7.10.6: Building Height in Transition Areas.
8. Reduced Setbacks. Where the critical root zone of a protected tree whose trunk lies within a required side or rear yard setback or an adjacent developed property encroaches into the buildable area, the opposite side yard setback may be reduced by the amount that the critical root zone of the protected tree encroaches into the buildable area, provided the setback is reduced no more than 10 feet and that a required setback is no less than 5 feet.

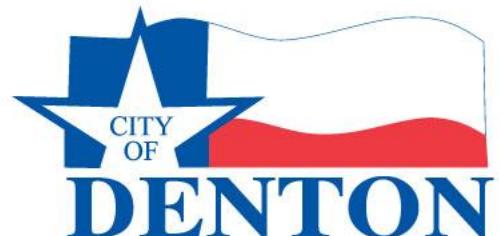
11. **Off-Site Trees.** Where a canopy of a protected tree on an adjacent developed lot or parcel overlaps with the subject property and no development is proposed under within the Dripline, the adjacent tree may receive 0.5 times the amount of the preservation credit prescribed in Subsection 7.7.4I. The off-site tree must be included on the Tree Survey and Tree Preservation Plan and protected in accordance with Subsection 7.7.4D in order to receive credit. Off-site trees shall not account towards the minimum preservation required in Subsection 7.7.4G.
12. **Adjacent Residential Property.** Where protected trees lie within 10 feet of an adjacent property with an occupied residential use, preservation of said trees may receive 1.15 times the amount of preservation credit prescribed in Subsection 7.7.4I so long as no development activity occurs within the Dripline of said trees or 1.25 times the amount of preservation credit prescribed in Subsection 7.7.4I if a common area lot or conservation easement are designated on the plat encompassing the entire Dripline of the trees and providing for permanent preservation.

DCRC25-0095j

Tree Code Definitions

Bryce Van Arsdale
Assistant Planner

February 9, 2026



Infill Development



2/9/2026

7.7.4.G Minimum Preservation Requirements

iii. Properties without a preserved habitat or conservation easement may reduce the 30 percent minimum to 10 percent provided:

- a. Trees proposed for removal shall be mitigated in accordance with 7.7.4.G.1.b.ii, above;
- b. Subject lot meets the definition of Infill Development;
- c. Fewer than 10 protected trees exist on site; and
- d. Multifamily and non-residential uses outside of the MD zoning district as identified on the Official Zoning Map of City, as amended, shall provide an additional 10 landscape points from Table 7.E: Landscape Area Points System



7.7.4.M Incentives

7. Height Increase. An additional 10 feet of maximum building height allowed in the applicable zoning district in Section 3.2– 3.5 may be granted to accommodate for the preservation of one or more protected trees located on the subject property or an adjacent developed property with Driplines within 30 feet but no closer than 10 feet of a proposed building.

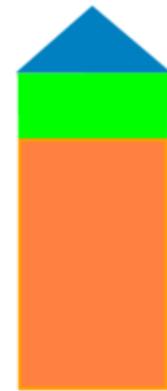
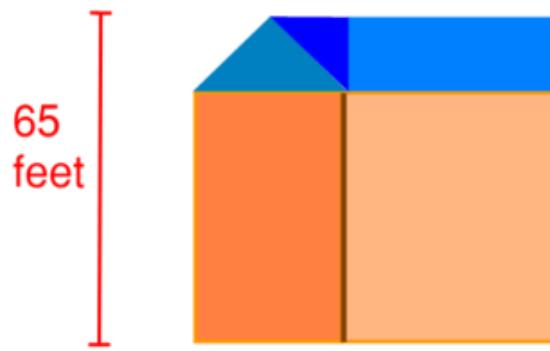
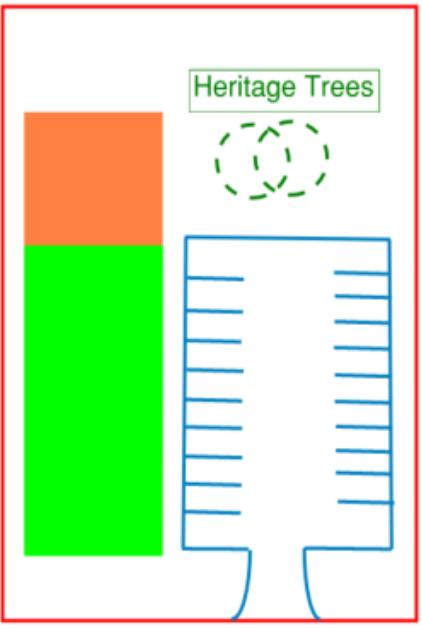
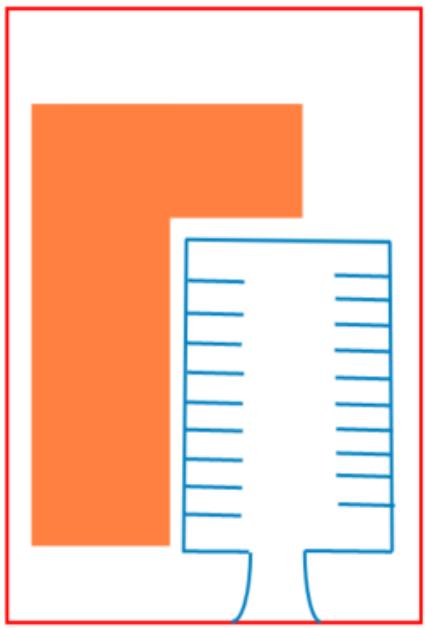
a. The amount of floor area on the additional story is limited to:

- i. 25% of the first floor gross floor area for the preservation of each Quality Tree; and
- ii. 35% of the first floor gross floor area for the preservation of each Heritage Tree.

b. In no instance shall the total gross floor area added on an additional story exceed 10,000 square feet, or 100% of the first floor gross floor area, unless otherwise permitted elsewhere in this DDC.

c. If this incentive is taken in combination with Section 2.12 : Affordability Incentives Procedures, the additional building height granted herein shall be counted towards any height increase permitted as an Affordability Incentive.

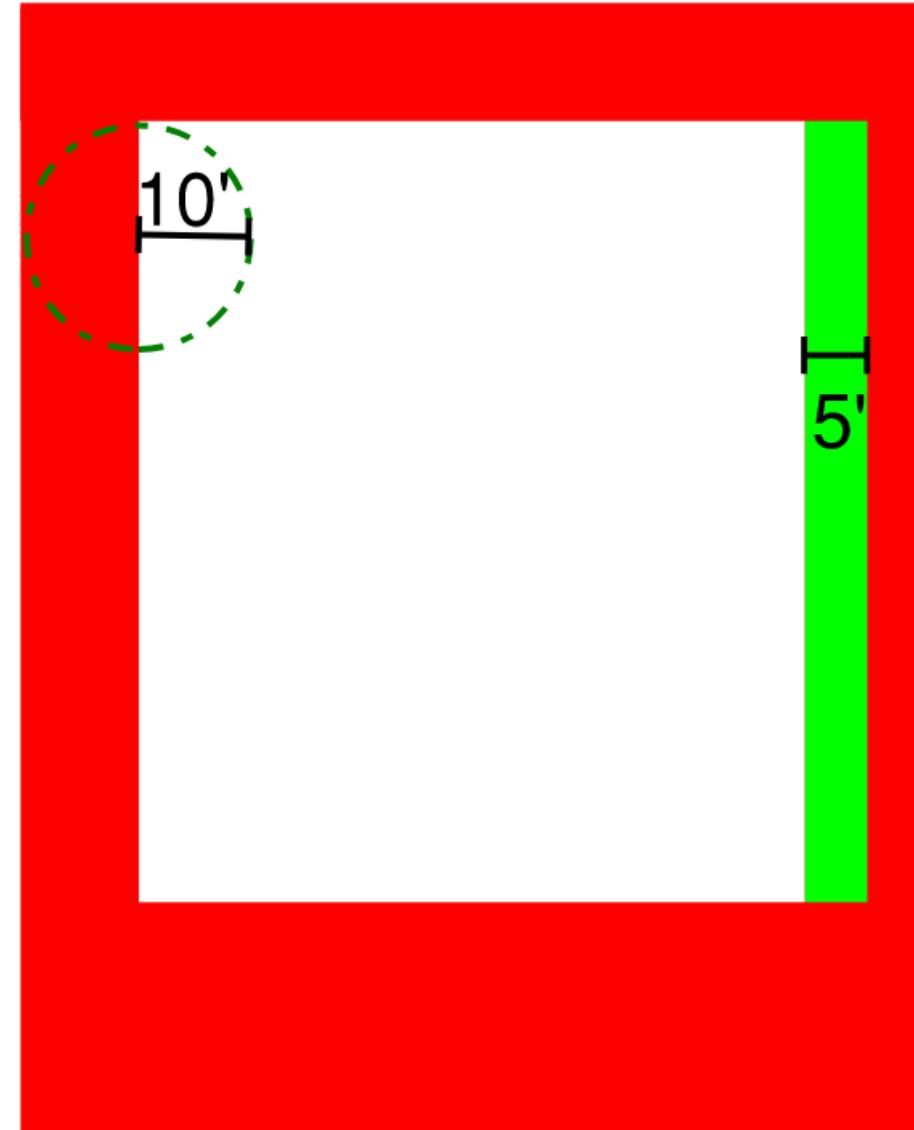
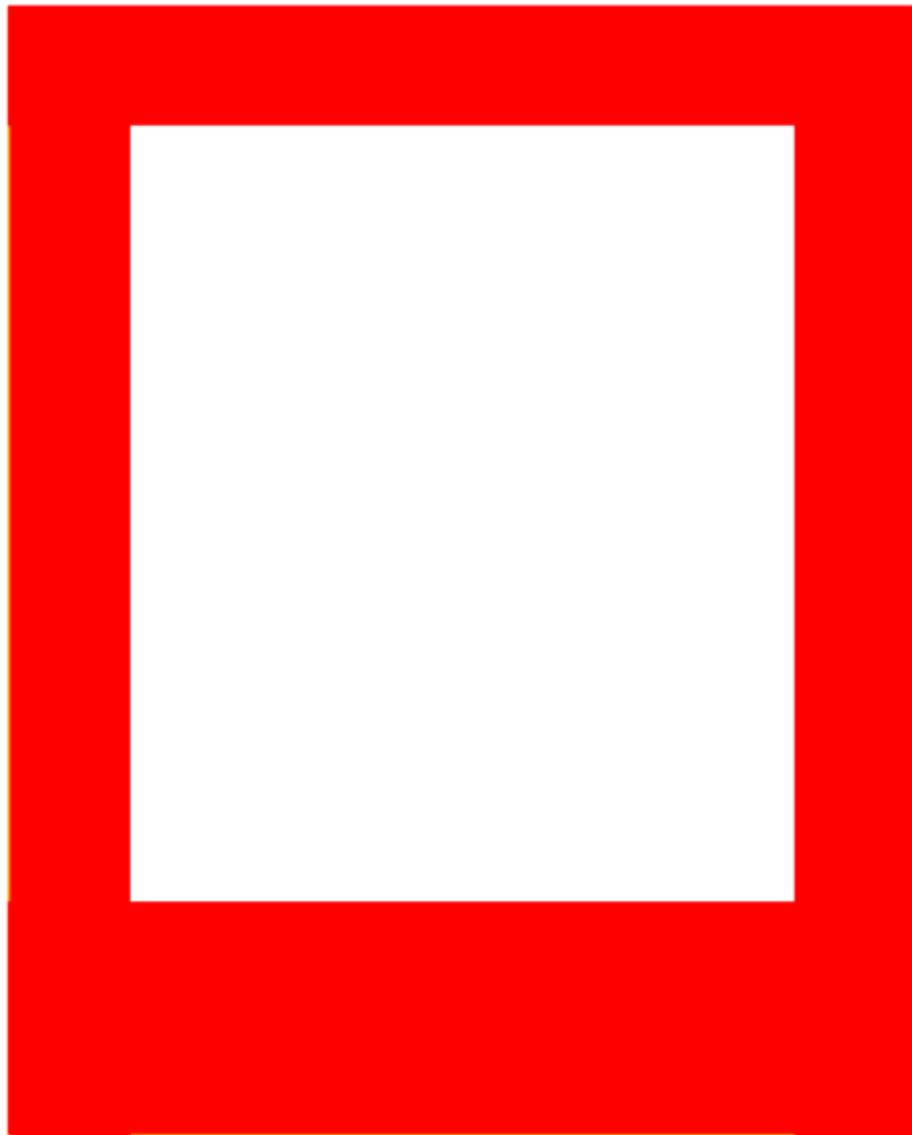
d. Height increases must comply with Section 7.10.6: Building Height in Transition Areas.



7.7.4.M Incentives

8. **Reduced Setbacks.** Where the Dripline of a protected tree whose trunk lies within a required side yard setback, front yard setback, or an adjacent developed property encroaches into the buildable area, the opposite side yard setback may be reduced by the amount that the Dripline of the protected tree encroaches into the buildable area, provided the setback is reduced no more than 10 feet and that a required setback is no less than 5 feet.





7.7.4.M Incentives

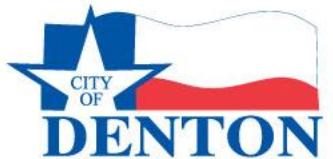
11. Off-Site Trees. Where a canopy of a protected tree on an adjacent developed lot or parcel overlaps with the subject property and no development is proposed under within the Dripline, the adjacent tree may receive 0.5 times the amount of the preservation credit prescribed in Subsection 7.7.4I. The off-site tree must be included on the Tree Survey and Tree Preservation Plan and protected in accordance with Subsection 7.7.4D in order to receive credit. Off-site trees shall not account towards the minimum preservation required in Subsection 7.7.4G.



7.7.4.M Incentives

12. Adjacent Residential Property. Where protected trees lie within 10 feet of an adjacent property with an occupied residential use, preservation of said trees may receive 1.15 times the amount of preservation credit prescribed in Subsection 7.7.4I so long as no development activity occurs within the Dripline of said trees or 1.25 times the amount of preservation credit prescribed in Subsection 7.7.4I if a common area lot or conservation easement are designated on the plat encompassing the entire Dripline of the trees and providing for permanent preservation.

Replacement Rates and Preservation Credits



2/9/2026

12

Replacement Rates and Preservation credits

- With this round of updates 50/40% reduction has been removed
- Staff is seeking **confirmation** on the following item:
 - Replacement rates for 20% preservation

20% Preservation

- Sub-categories are not used within classification
- “Fair” health classification is not permitted
- Percent increase is compared to Standard Preservation scenario

Higher Mitigation			
Type	dbh Removed	Replacement Ratio	Calculated DBH
Heritage	0.00	4:1	0.00
Quality	0.00	3:1	0.00
<i>Subtotal</i>		0	0.00
Protected Trees Removed			
Secondary	0	4":1 tree	0.00
<i>Total</i>			0.00

Tree Mitigation Worksheet (20% Preservation)

Reduction due to Higher Mitigation

	dbh
Total (Healthy) dbh	0
Dead Tree dbh	0
Total (Healthy) Heritage/Quality dbh	0
Required Preservation (20%)	0
Provided Heritage/Quality Preservation dbh:	0
Preservation dbh Above Required	0
Requires Higher Mitigation (Max 10%)	0
Required Preservation dbh Achieved?	Yes

Higher Mitigation			
Type	dbh Removed	Replacement Ratio	Calculated DBH
Heritage	0.00	2.75:1	0.00
Quality	0.00	2.25:1	0.00
Subtotal	0		0.00
Higher Mitigation Total dbh achieved?			Yes
Protected Trees Removed			
Type	dbh Removed	Replacement Ratio	Calculated DBH
Heritage	0.00	2.5:1	0.00
Quality	0.00	2:1	0.00
Subtotal			0.00
Trees Removed	Replacement Ratio	Calculated DBH	
Secondary	0	4":1 tree	0.00
Total			0.00
Preliminary Mitigation dbh	40% Reduction		0.00

Type	dbh Preserved		Preservation Credit
Landmark	0.00	4:1	0.00
Heritage	0.00	3:1	0.00
Quality	0.00	2:1	0.00
Add'l Cluster Credit	0.00	1.15:1	0.00
Total 2026	0		0.00
Required Mitigation dbh			0

Replacement Rates- 20% Preservation

Higher Mitigation			
Type	dbh Removed	Replacement Ratio	Calculated DBH
Heritage	0.00	4:1	0.00
Quality	0.00	3:1	0.00
Subtotal	0		0.00
Protected Trees Removed			
Secondary	0	4":1 tree	0.00
Total			0.00

DCRC Preferred Scenario Analysis

Sample Sites

- 8 sites
 - All 2025 higher mitigation projects + 4 from past years
- Percentage difference compared to standard mitigation scenario
 - Previously approved amendment

Findings

- Average % increase in mitigation: ~59%
 - Median: ~64%
 - Range: ~34% to ~72%
- Generally: sites with more heritage removal saw the largest change

Discussion

Replacement Rates

- With this round of updates 50/40% reduction has been removed
- Staff is seeking **confirmation** on the following items:
 - Preservation credits for all Tree Preservation Plans

Preservation Credits

- Credits which are applied against required mitigation
- Apply to all TPP's regardless of preservation percentage
- DCRC Direction: Scenario 3
 - Covers ~55% of owed mitigation with 30% tree preservation
 - No mitigation owed at ~44% preservation

Trees Preserved			
Type	dbh Preserved		Preservation Credit
Landmark	0	5:1	0
Heritage	90	3.5:1	315
Quality	90	2:1	180
Secondary*	0	0.5:1*	0
Addt'l Cluster Cred	0	1.15:1	0
Total	180		495
Mitigation dbh			397.5

DCRC Preferred Scenario Analysis

Sample Sites

- 18 sites
 - All 2025 projects + several from past years
- Percentage difference compared to current preservation credit rates

Findings*

- Average % increase in mitigation: ~8%
 - Median: ~6%
 - Range: ~0% to ~29%
- Sites with more heritage preservation saw the largest change

* One outlier removed: 169%

Questions?

DCRC Matrix

***The below is an estimated timeline to discuss the DCRC's top priorities.**

Dates subject to change based upon the amount of time it takes to discuss each topic.

Meeting Date	Topic
09-Feb-26	Tree Code Continued DDC 7.10.3 Relating to Single-Family Building Design
23-Feb-26	Tree Code Continued Definitions/Table of Allowed Uses

Running Topic List

**The following includes a list of running topics the DCRC has identified as items for discussion as well as a list of topics staff is monitoring and may require DCRC review.*

Running DCRC Priorities	Topics Being Monitored
Access and Circulation	Food Trucks
Affordable and Missing Middle Housing	
Definitions	
Detention Basins	
Land Disturbance and ESAs	
Land-use and Land-preservation	
Low-intensity Neighborhood Commercial (ACUs)	
Site and Building Design	
Subdivision Design Improvements	
Table of Allowed Uses and Use-Specific Standards	