



City of Denton

City Hall
215 E. McKinney St.
Denton, Texas 76201
www.cityofdenton.com

Meeting Agenda

Historic Landmark Commission

Monday, April 14, 2025

5:30 PM

Development Service Center

After determining that a quorum is present, the Historic Landmark Commission of the City of Denton, Texas will convene in a Regular Meeting on Monday, April 14, 2025, at 5:30 p.m. in Training Rooms 3, 4 and 5 at the Development Service Center, 401 N Elm Street, Denton, Texas, at which the following items will be considered:

1. PLEDGE OF ALLEGIANCE

- A. U.S. Flag
- B. Texas Flag

“Honor the Texas Flag – I pledge allegiance to thee, Texas, one state under God, one and indivisible.”

2. PRESENTATIONS FROM MEMBERS OF THE PUBLIC

Citizens may complete one Request to Speak “Public Comment” card per night for the “Presentations from Members of the Public” portion of the meeting and submit it to City Staff. Presentations from Members of the Public time is reserved for citizen comments regarding items not listed on the agenda. No official action can be taken on these items. Presentations from Members of the Public is limited to five speakers per meeting with each speaker allowed a maximum of three (3) minutes.

3. ITEMS FOR CONSIDERATION

Interested citizens should arrive at the meeting prior to the scheduled start time. Public comment will be accepted only for those items identified to be "public meeting(s)".

- A. [HLC25-023](#) Consider approval of the March 3, 2025 minutes.

Attachments: [March 3, 2025](#)

- B. [COA25-0003](#) Hold a public meeting and consider an application for a Certificate of Appropriateness (COA), in accordance with Section 2.9.2 of the Denton Development Code, to reconstruct the front porch at 615 W Oak Street, within the Oak-Hickory Historic District (OHH). The site is located on the south side of W Oak Street between Denton Street and William Street. (COA25-0003, 615 W Oak Street Porch Reconstruction, Cameron Robertson)

Attachments: [Exhibit 1 - Agenda Information Sheet](#)
[Exhibit 2 - Site Location Map](#)
[Exhibit 3 - Oak-Hickory Historic District](#)
[Exhibit 4 - COA Application and Owner Authorization](#)
[Exhibit 5 - Project Details](#)

4. WORK SESSION

- A. [HLC25-020](#) Hold a discussion regarding placing a hold on potential program updates to our current historic tax exemption program.

Attachments: [Exhibit 1 - Agenda Information Sheet](#)

- B. [HLC25-022](#) Discuss and determine opportunities for education, marketing, and events hosted by staff and the Historic Landmark Commission.

Attachments: [Exhibit 1 - Agenda Information Sheet](#)

- C. [HLC25-018](#) Receive a report, hold a discussion, and give staff direction on the Historic Landmark Commission's request for local historic designation of eligible historic properties.

Attachments: [Exhibit 1 - Agenda Information Sheet](#)

- D. [HLC25-019](#) Hold a discussion regarding the Historic Landmark Commission Project Matrix.

Attachments: [2025 Matrix](#)

5. CONCLUDING ITEMS

A. Under Section 551.042 of the Texas Open Meetings Act, respond to inquiries from the Historic Landmark Commission or the public with specific factual information or recitation of policy, or accept a proposal to place the matter on the agenda for an upcoming meeting AND Under Section 551.0415 of the Texas Open Meetings Act, provide reports about items of community interest regarding which no action will be taken, to include: expressions of thanks, congratulations, or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee, or other citizen; a reminder about an upcoming event organized or sponsored by the governing body; information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the governing body that was attended or is scheduled to be attended by a member of the governing body or an official or employee of the municipality; or an announcement involving an imminent threat to the public health and safety of people in the municipality that has arisen after the posting of the agenda.

NOTE: The Historic Landmark Commission reserves the right to adjourn into a Closed Meeting on any item on its Open Meeting agenda consistent with Chapter 551 of the Texas Government Code, as amended, or as otherwise allowed by law.

CERTIFICATE

I certify that the above notice of meeting was posted on the official website (<https://tx-denton.civicplus.com/242/Public-Meetings-Agendas>) and bulletin board at City Hall, 215 E. McKinney Street, Denton, Texas, on April 11, 2025, in advance of the 72-hour posting deadline, as applicable, and in accordance with Chapter 551 of the Texas Government Code.

OFFICE OF THE CITY SECRETARY

NOTE: THE CITY OF DENTON'S DESIGNATED PUBLIC MEETING FACILITIES ARE ACCESSIBLE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. THE CITY WILL PROVIDE ACCOMMODATION, SUCH AS SIGN LANGUAGE INTERPRETERS FOR THE HEARING IMPAIRED, IF REQUESTED AT LEAST 48 HOURS IN ADVANCE OF THE SCHEDULED MEETING. PLEASE CALL THE CITY SECRETARY'S OFFICE AT 940-349-8309 OR USE TELECOMMUNICATIONS DEVICES FOR THE DEAF (TDD) BY CALLING 1-800-RELAY-TX SO THAT REASONABLE ACCOMMODATION CAN BE ARRANGED.



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215 E. McKinney St.
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Legislation Text

File #: HLC25-023, **Version:** 1

AGENDA CAPTION

Consider approval of the March 3, 2025 minutes.

MINUTES
HISTORIC LANDMARK COMMISSION
March 3, 2025

After determining that a quorum was present, the Historic Landmark Commission of the City of Denton, Texas convened in a Regular Meeting on Monday, March 3, 2025, at 5:30p.m. at the Development Service Center, 401 N. Elm Street, Denton, Texas, at which the following items will be considered:

PRESENT: Vice-Chair Shaun Treat, and Commissioners: Heather Gregory, Etan Tepperman, Patricia Sherman, and Linnie McAdams

ABSENT: Chair Angie Stripling

REGULAR MEETING

1. PLEDGE OF ALLEGIANCE

- A. U.S. Flag
- B. Texas Flag

2. PRESENTATIONS FROM MEMBERS OF THE PUBLIC

Citizens may complete one Request to Speak “Public Comment” card per night for the “Presentations from Members of the Public” portion of the meeting and submit it to City Staff. Presentations from Members of the Public time is reserved for citizen comments regarding items not listed on the agenda. No official action can be taken on these items. Presentations from Members of the Public is limited to five speakers per meeting with each speaker allowed a maximum of three (3) minutes.

No presentations from members of the public.

3. ITEMS FOR INDIVIDUAL CONSIDERATION

- A. HLC25-015:** Consider approval of the February 10, 2025 minutes.

Commissioner Gregory moved to approve the minutes as presented. Motion seconded by Commissioner McAdams. Motion carried.

AYES (5): Vice-Chair Shaun Treat, and Commissioners: Heather Gregory, Etan Tepperman, Patricia Sherman, and Linnie McAdams

NAYS (0):

- B. COA24-0014:** Hold a public meeting and consider an application for a Certificate of Appropriateness, in accordance with Section 2.9.2 of the Denton Development Code, to replace exterior windows at 704 W Oak Street, within the Oak-Hickory Historic District (OH). The site is located on the north side of W Oak Street between Mounts Avenue and Denton Street. (COA24-0014, 704 W Oak Street, Cameron Robertson)

Commissioner McAdams made a motion of approval with staff's conditions. Motion seconded by Commissioner Tepperman. Motion carried.

AYES (5): Vice-Chair Shaun Treat, and Commissioners: Heather Gregory, Etan Tepperman, Patricia Sherman, and Linnie McAdams

NAYS (0):

- C. COA24-0010:** Hold a public meeting and consider an application for a Certificate of Appropriateness (COA), in accordance with Section 2.9.2 of the Denton Development Code, to construct a new one-story residence at 2203 Houston Place, within the West Oak Area Historic District (WOH). The site is located on the south side of Houston Place between Thomas Street and Bradley Street. (COA24-0010, 2203 Houston Place New Construction, Cameron Robertson)

Commissioner McAdams made a motion of approval. Motion seconded by Commissioner Sherman. Motion carried.

AYES (5): Vice-Chair Shaun Treat, and Commissioners: Heather Gregory, Etan Tepperman, Patricia Sherman, and Linnie McAdams

NAYS (0):

4. WORK SESSION

- A. HLC25-013:** Receive a report, hold a discussion, and give staff direction on the Historic Landmark Commission's request for local historic designation of eligible historic properties.

Cameron Robertson, Historic Preservation Officer, presented the item.

Commissioner Gregory proposed 531 N. Elm Street for designation.

Commissioner Tepperman proposed the Ravelin house, located at 414 S. Elm Street, for designation.

Commissioner Tepperman proposed Ravelin Bakery, located at 416 S. Elm Street, for designation.

- B. HLC25-012:** Hold a discussion regarding the Historic Landmark Commission Project Matrix.

Cameron Robertson, Historic Preservation Officer, presented the item.

Commissioner Gregory recommended that the Historic Landmark Commission look into holding a 'Porchfest' style musical festival within one of the walkable historic districts to promote historic landmarks.

5. CONCLUDING ITEMS

With no further business, the meeting was adjourned at 5:57pm.

X

Angie Stripling

Historic Landmark Commission Chair

X

Carly Blondin

Administrative Assistant

Minutes Approved On: _____



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215 E. McKinney St.
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Legislation Text

File #: COA25-0003, **Version:** 1

AGENDA CAPTION

Hold a public meeting and consider an application for a Certificate of Appropriateness (COA), in accordance with Section 2.9.2 of the Denton Development Code, to reconstruct the front porch at 615 W Oak Street, within the Oak-Hickory Historic District (OHH). The site is located on the south side of W Oak Street between Denton Street and William Street. (COA25-0003, 615 W Oak Street Porch Reconstruction, Cameron Robertson)



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AGENDA INFORMATION SHEET

DEPARTMENT: Department of Development Services

DCM: Cassey Ogden

DATE: April 14, 2025

SUBJECT

Hold a public meeting and consider an application for a Certificate of Appropriateness (COA), in accordance with Section 2.9.2 of the Denton Development Code, to reconstruct the front porch at 615 W Oak Street, within the Oak-Hickory Historic District (OHH). The site is located on the south side of W Oak Street between Denton Street and William Street. (COA25-0003, 615 W Oak Street Porch Reconstruction, Cameron Robertson)

BACKGROUND

The applicant and property owner, Jacob Moses, is requesting a Certificate of Appropriateness (COA) to reconstruct the front porch at 615 W Oak Street (see Figure 1). The existing residence is a Prairie-style structure, constructed circa 1910. The front porch is proposed to be constructed of wood with a gabled, shingled roof supported by four columns built of new cast stone and Acme Amaretto brick. The porch would be reconstructed with the low brick railing, a cast stone top railing and feature overhang eaves, supported by brackets, with the wooden clapboard siding to match the existing residence. Refer to Exhibit 5 – Project Details for more information.



Figure 1: 615 W Oak Street Circa 1940s

Section 4.9.3A of the DDC requires a COA for any new exterior work within a Historic District:

No person shall construct, reconstruct, alter, remodel, renovate, restore, demolish, raze, or maintain any building, structure or land with a Historic Landmark designation or a building, structure or land located in a locally designated Historic or Conservation District unless application is made for a Certificate of Appropriateness (COA) for said work and such a certificate is granted as provided in Subsection 2.9.2, and appropriate construction or demolition permits are obtained.

The HLC reviews COAs related to a historic building in terms of architectural compatibility, retention of significant architectural features, as well as compliance with The Secretary of Interior's Standards for the Treatment of Historic Properties. Additionally, the Denton Development Code (DDC) has other zoning regulations and design standards that are applicable with this application.

If the COA is approved by the Historic Landmark Commission (HLC), the next step for the applicant is to submit a permit application to reconstruct the front porch. During the review of the permit application, staff will ensure that the dimensional and development standards of the DDC and the requirements of City Building Codes are met.

CONSIDERATIONS

Section 2.9.2 of the DDC specifies the Historic Preservation Officer (HPO) and the HLC shall review the proposed project for compliance with The Secretary of Interior's Standards for the Treatment of Historic Properties (The Standards), any applicable guidelines adopted by the City and any guidelines provided in Subchapter 2.9.

Section 4.9.4C of the DDC specifies the architectural requirements in the Oak-Hickory Historic District. Below are the relevant architectural requirements that apply to the subject application:

Architectural Detail

Materials, colors, structural, and decoration elements and the manner in which they are used, applied or joined together must be compatible with nearby and adjacent structures.

The materials, colors, structural, and decoration elements proposed for the residence will be compatible with adjacent structures and others along W Oak Street. Many of the residences along W Oak Street were constructed in the late nineteenth and early half of the twentieth century, representing a number of architectural styles, including the Prairie-style. Many of the residences are constructed with a mixture of materials, including masonry and wooden siding, similar to the proposed front porch at 615 W Oak Street.

New Construction and Additions

Generally, all buildings must be placed so as to not adversely affect the rhythm of spaces between buildings on the block. Additions and or replacement buildings shall have a front setback that is the average of the adjacent lots of contributing buildings.

The proposed reconstruction of the front porch will not adversely affect the rhythm of spaces between buildings on the block. The proposed porch would be setback more than 40 feet from W Oak Street, similar to those properties directly to the east and west of the residence.

Front Entrances and Porches

- a. **Detailing:** Railings, moldings, tile work, carvings, and other detailing and architectural decorations must be applied in a manner typical of the style and period of the main building.

The proposed front porch will be reconstructed to match the detailing and architectural decorations depicted in the circa 1940s photograph (see Figure 1), reintroducing the original intended Prairie-style design to the residence at 615 W Oak Street.

- b. **Façade Openings:** New porches must not obscure or conceal any façade openings in the main buildings.

The proposed front porch will not obscure or conceal any of the openings, including windows and doors, on the main (front) façade.

As previously stated, the proposed project is subject to review under the Standards for Reconstruction. The Standards for Preservation, Restoration, and Rehabilitation do not apply. Below are the Secretary of the Interior's Standards for Reconstruction requirements.

Standards for Reconstruction

Definition: Restoration is defined as the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code required work to make properties functional is appropriate within a restoration project.

1. Replacement of missing features from the restoration period will be substantiated by documentary and physical evidence. A false sense of history will not be created by adding conjectural features, features from other properties, or by combining features that never existed together historically.
The proposed reconstruction of the front porch was substantiated by documented evidence (see Figure 1), keeping true to the residences original design and avoiding the creation of a false sense of history for the property and the larger neighborhood.
2. Designs that were never executed historically will not be constructed.
The reconstruction of the front porch would bring back the original Prairie-style design of the circa 1910 residence.

Based on the evaluation criteria stated above and an evaluation of the documentation, staff believes that the reconstruction of the front porch at 615 W Oak Street meets the Secretary of the Interior's Standards for Reconstruction requirements and Section 4.9.4C of the Denton Development Code.

PREVIOUS ACTION/REVIEW

No previous action/review.

NEIGHBORHOOD MEETING

No neighborhood meeting was held.

OPTIONS

1. Approval as submitted
2. Approval subject to conditions
3. Deny
4. Continue the item

RECOMMENDATION

Staff recommends **approval as submitted** of the Certificate of Appropriateness request to reconstruct the front porch at 615 W Oak Street, as the proposed project meets the Secretary of the Interior's Standards for Reconstruction and Section 4.9.4C of the Denton Development Code.

EXHIBITS:

1. Agenda Information Sheet
2. Site Location Map

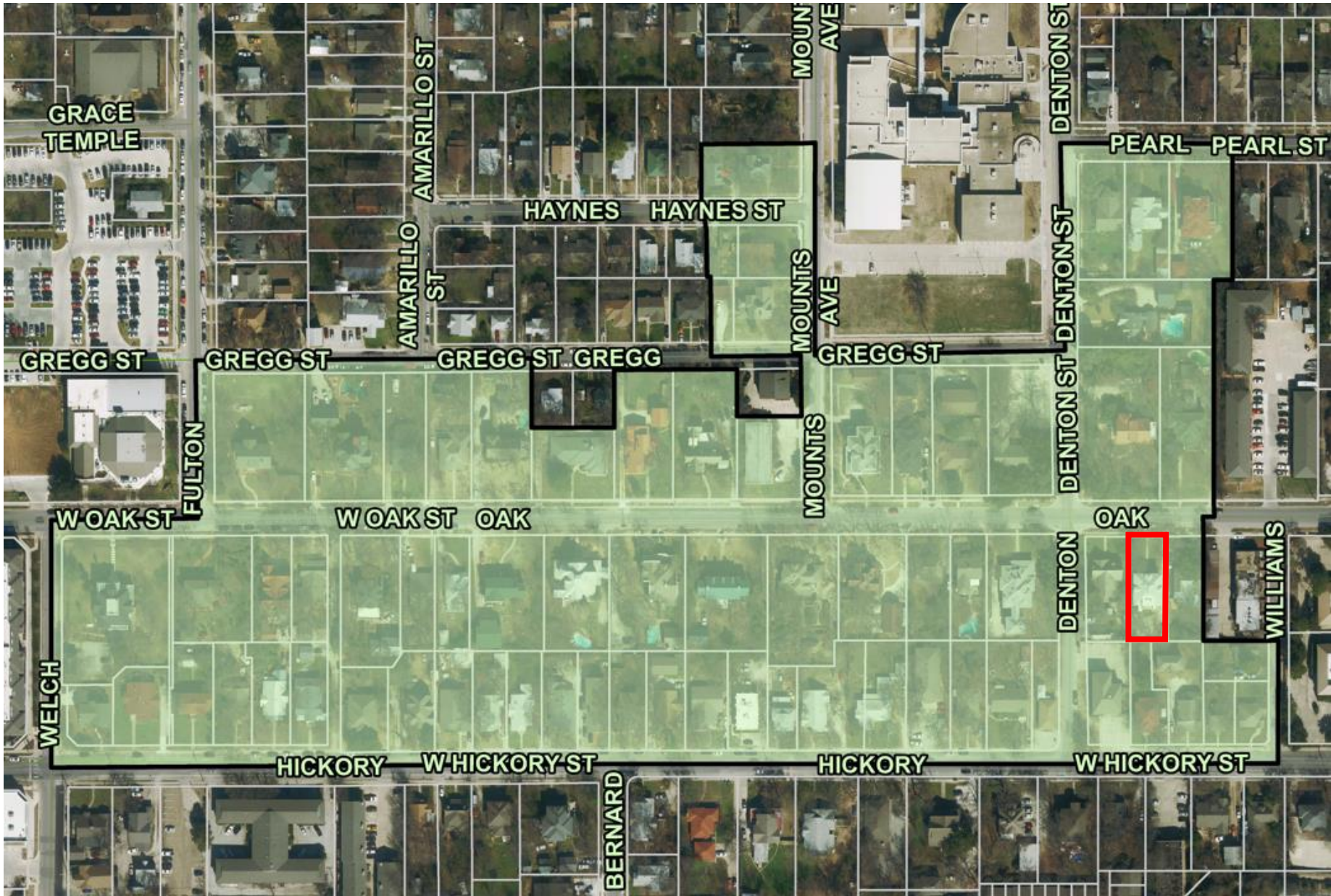
3. Oak-Hickory Historic District
4. COA Application and Owner Authorization
5. Project Details

Respectfully submitted:
Tina Firgens, AICP
Deputy Director Development Services/
Planning Director

Prepared By:
Cameron Robertson, AICP
Historic Preservation Officer



Oak-Hickory Historic District





CERTIFICATE OF APPROPRIATENESS APPLICATION AND CHECKLIST

A Certificate of Appropriateness (COA) is required for all proposed in-kind replacement, new construction, relocation, addition, demolition, or other exterior alterations to a local, state, and national landmark, as well as any property within a local historic district. A COA is required before work may begin in all cases whether the project requires a building permit. If a building permit is required, it will **not** be issued prior to approval of a COA. This is authorized by **Denton Development Code Section 2.9.2.**

All applications for a COA shall be filed with the City of Denton's Planning Department, care of the Historic Preservation Officer. Preliminary review of a COA application will be processed by the Planning Department within 5 to 10 business days. A submittal of a complete application and checklist will facilitate a timely review. Additional information may be required by the Planning Department while the proposal is under review. COA Applications submitted within two weeks of a scheduled Historic Landmark Commission (HLC) meeting will be placed on the following HLC meeting agenda, to allow Staff time to review.

According to DDC Section 2.9.2B., certain applications may be administratively approved by the Historic Preservation Officer. Applications which must be considered by the HLC for approval will be placed on the next available HLC meeting agenda. The HLC typically meets on the second Monday of every month in the Development Services Center at 401 N Elm Street, Denton, Texas 76201.

The checklist is intended to assist in the preparation of a COA for review and describes generally what is needed to facilitate the review of a proposed Certificate of Appropriateness. The quality of the presentation of a COA request to the HLC is limited by the information provided with an application.

*****FAILURE OF THE APPLICANT TO PROVIDE REQUIRED INFORMATION WILL RESULT IN THE APPLICATION NOT BEING PROCESSED.***



Development Services – Planning Division

401 N. Elm St., Denton, TX 76201 (940) 349-8600

OWNERS AGENT/ REPRESENTATIVE INFORMATION: ☒ check if not applicable

Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Cell Number: _____

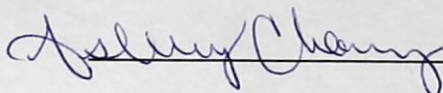
Email Address: _____

By signing this application, I certify that the above information is correct and complete to the best of my knowledge and grant staff access to the indicated property to perform work related to this request. I agree to provide any additional information necessary for this application as requested by the Development Services Department or Historic Landmark Commission.

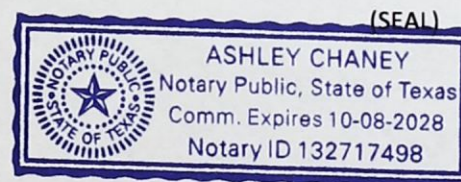
SIGNATURE:  _____

Print or Type Name: Jacob Moses

Known to me to be the person whose name is subscribed to the above and foregoing instrument and acknowledged to me that they executed the same for the purposes and consideration expressed and, in the capacity, therein stated. Given under my hand and seal of office on this 20th day of February 2025.



Notary Public Signature





1 REQUIRED FOR ALL PROJECTS:

- ☒ 1.1 **Denton Development Application**
- ☒ 1.2 **Project Narrative:** Written proposal outlining the project. Describe the purpose of the Certificate of Appropriateness request and include specific information regarding the proposed alteration, materials, colors and any constraints or other relevant details related to the proposal.
- ☒ 1.3 Provide a copy of the City of Denton's Owner Authorization Form
- ☒ 1.4 **Photographs:** Images of the current conditions of all areas which would be affected by the proposal.
- ☒ 1.5 Provide a copy of the Certificate of Appropriateness
- ☒ 1.6 **Associated Fee(s):** as listed on the Development Review Fee Schedule.

Please refer to the checklists below to fulfill the additional requirements relevant to your proposed project request:

2 ADDITIONAL ITEMS REQUIRED FOR IN-KIND REPLACEMENT REQUESTS

- ☒ 2.1 **Material Samples:** A sample of the material to be used, including manufacturer specification sheets.

3 ADDITIONAL ITEMS REQUIRED FOR EXTERIOR ALTERATION AND ADDITION REQUESTS

- ☒ 3.1 **Material Samples:** A physical sample and/or photographs of the material to be used, including manufacturer specification sheets.
- ☒ 3.2 **Site Plan:** Copy of a site plan with relevant details including, but not limited to, the location of the proposed alteration, street names, sidewalk location and dimensions, building and lot dimensions, landscaping details, fire lane and driveway or parking dimensions and locations, as well as any unique topographical or natural features on the site. Every site plan must include a location map, a North arrow, and generally provide enough detail to clearly identify the site location and orientation. Site plans must be prepared at a scale that provides clearly legible details and dimensions.
- ☒ 3.3 **Elevation Drawings:** Illustrations of the façade and orientation of the front, rear, and side of all existing and proposed structures.
- ☒ 3.4 **Architectural Drawings:** Illustrations of the construction technique, floor plan, cross sections, or other relevant details of how a proposed alteration or addition will connect with the existing structure.

4 ADDITIONAL ITEMS REQUIRED FOR NEW CONSTRUCTION AND RELOCATION REQUESTS

- ☐ 4.1 I understand that all new construction, and some renovations, will require a building permit, which will not be issued prior to approval of a Certificate of Appropriateness.
- ☐ 4.2 **Material Samples:** A physical sample and/or photographs of the material to be used, including manufacturer specification sheets.
- ☐ 4.3 **Site Plan:** Copy of a site plan with relevant details including, but not limited to, the location of the proposed alteration, street names, sidewalk location and dimensions, building and lot dimensions, landscaping details, fire lane and driveway or parking dimensions and locations, as well as any unique topographical or natural features on the site. Every site plan must include a location map, a North arrow, and generally provide enough detail to clearly identify the site location and orientation. Site plans must be prepared at a scale that provides clearly legible details and dimensions.
- ☐ 4.4 **Elevation Drawings:** Illustrations of the façade and orientation of the front, rear, and side of all existing and proposed structures.
- ☐ 4.5 **Architectural Drawings:** Illustrations of the construction technique, floor plan, cross sections, or other relevant details of how a proposed alteration or addition will connect with the existing structure.



- ☐ 4.6 Survey: Professional illustration of the exact boundaries, position and extent of a parcel or a tract of land.

5 ADDITIONAL ITEMS REQUIRED FOR DEMOLITION REQUESTS

- ☐ 5.1 I understand that a demolition permit will be required prior to beginning demolition, which will not be issued prior to approval of a Certificate of Appropriateness.
- ☐ 5.2 Structural Report: Documentation outlining the structural condition, reasoning, and methods of demolition.

6 ADDITIONAL SUBMITTAL IF APPLICABLE

- ☐ 6.1 Those COAs that are not administratively reviewed by the Historic Preservation Officer (HPO), require a Notice of Public Meeting sign. The Historic Landmark Commission Notice of Public Meeting Requirements document is available beginning on **Page 7** of this document.
- ☐ a. The HPO will inform you upon preliminary review of the COA application if your proposed project requires HLC review.

I have read the submission requirements for the Certificate of Appropriateness and the associated checklists, application, and supporting documents, and verified that this submission has been prepared according to these instructions, and these packages have been reviewed for completeness and accuracy. I understand that failure to submit the information as noted above will result in the rejection of this Certificate of Appropriateness submission.

By signing below, I indicate that I have reviewed this checklist and all included materials for completeness and accuracy.

Jacob Moses

Signature

02/17/2025

Date

Jacob Moses

Print Name



Owner Authorization

Name: _____

Company Name: _____

Address: _____

Telephone: _____ Email: _____

CHECK ONE OF THE FOLLOWING:

- ☐ I will represent the application myself; or
- ☐ I hereby designate _____ (name of project representative) to act in the capacity as my agent for submittal, processing, representation, and/or presentation of this development application. The designated agent shall be the principal contact person for responding to all requests for information and for resolving all issues of concern relative to this application.

I am the owner of the property and further confirm that the information provided on this form is true and correct. By signing below, I agree that the City of Denton (the "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any information submitted in connection with the application, if such reproduction is associated with the application in response to a Public Information Request. By signing this application, staff is granted access to your property to perform work related to your case.

Owner's Signature: Jacob Moses Date: _____

Project Narrative

Project Title: 615 W Oak St, Denton, Texas 76201

Applicant: Jacob Moses **Property Owner:** Jacob Moses **Property Address:** 615 W Oak St, Denton, Texas 76201 **Historic District:** Oak-Hickory Historic District

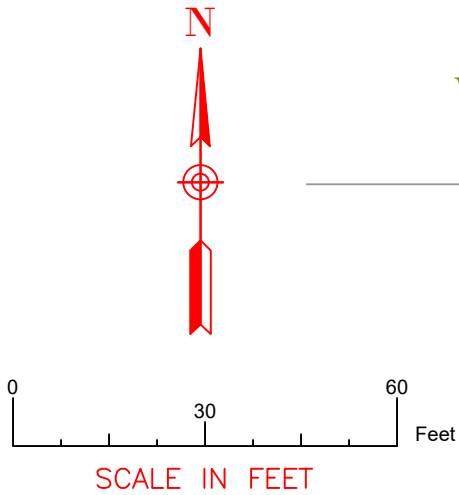
Project Description

This project proposes the reconstruction of the original front porch of the historic building located at 615 W Oak St, Denton, Texas 76201. The goal is to restore the architectural integrity of the structure by reinstating the porch to its original design, using historically appropriate materials and construction methods.

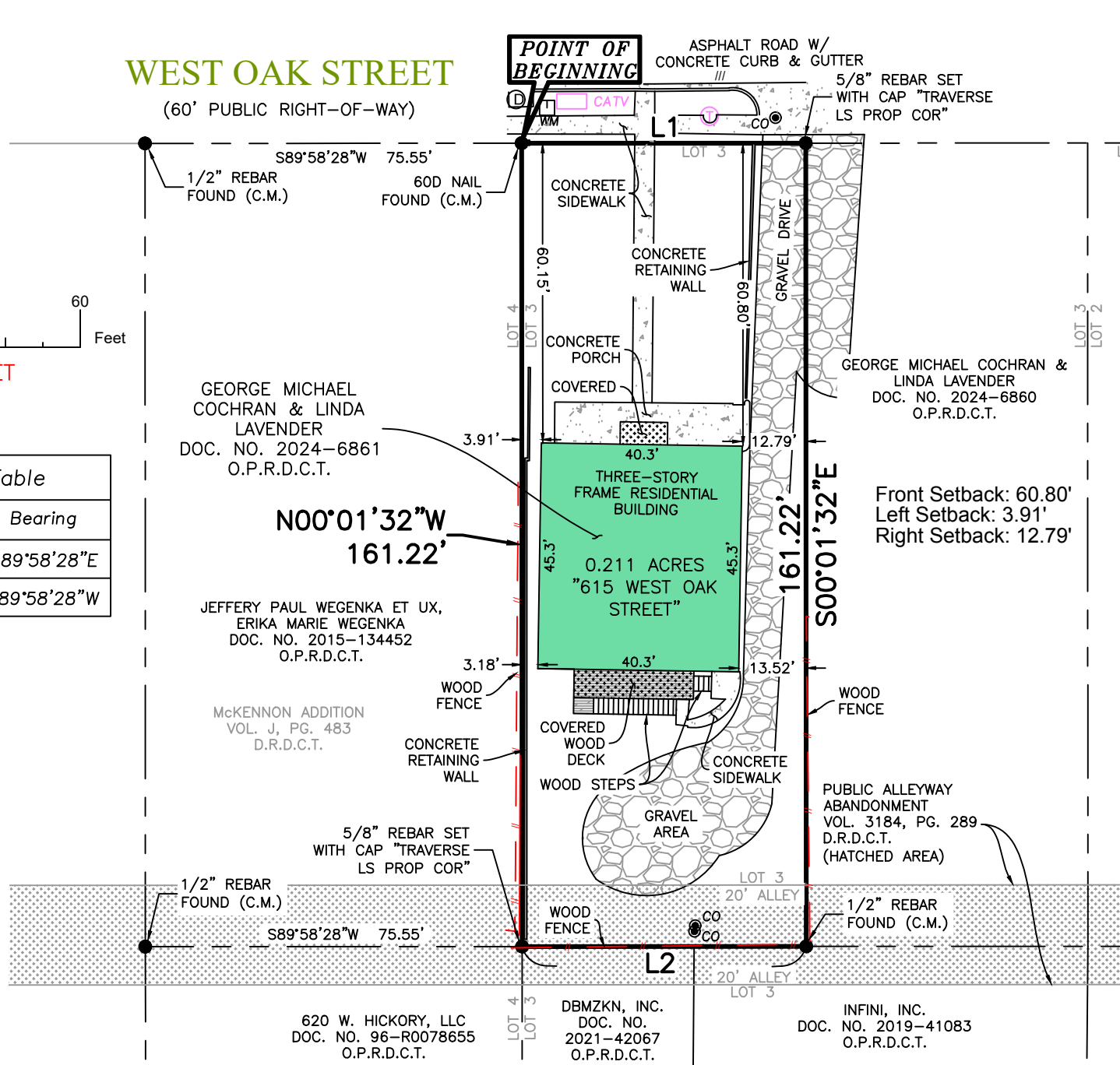
Historical Significance & Justification

The subject property is a contributing structure to the historic character of the area, and the original porch played a vital role in its architectural identity. Based on archival research, historic photographs, and physical evidence, the original porch design featured a gable shingled roof with horizontal wood siding, eave bracket support and trim, and brick columns and low railing. Over time, the porch was either removed or significantly altered, diminishing the historic integrity of the building. This reconstruction aims to correct those changes and restore the building's historic character.

LEGEND	
	BOUNDARY LINE
	ADJOINER BOUNDARY LINE
	EASEMENT LINE (AS NOTED)
	WATER LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE (AS NOTED)
	OVERHEAD ELECTRIC LINE
	SET OR FOUND MONUMENT (AS NOTED)
	GAS METER
	GAS VALVE
	UNDERGROUND GAS MARKER
	UNDERGROUND CABLE MARKER
	UNDERGROUND CABLE TV VAULT
	PROPANE TANK
	TELEPHONE PEDESTAL
	ELECTRIC PEDESTAL
	AIR CONDITIONING
	WATER METER
	WATER VALVE
	WATER MAN HOLE
	CLEANOUT
	BOLLARD
	FIRE HYDRANT
	TELECOM MAN HOLE
	STORM MAN HOLE
	ELECTRIC METER
	ELECTRIC VAULT
	TRANSFORMER
	POWER POLE
	GUY ANCHOR
	LIGHT POLE
	IRRIGATION CONTROL VALVE
	CABLE VAULT
	TRAFFIC SIGNAL VAULT
	TRAFFIC SIGNAL LIGHT
	TRAFFIC SIGN
	LIGHT POLE
	FLAG POLE
	MAIL BOX
	BENCH MARK
	CONTROL MONUMENT
	DRAINAGE & UTILITY EASEMENT
	BUILDING LINE
	VOLUME, PAGE
	DOCUMENT NUMBER
	OFFICIAL PUBLIC RECORDS DENTON COUNTY, TEXAS
	DEED RECORDS DENTON COUNTY, TEXAS
	PLAT RECORDS DENTON COUNTY, TEXAS



Line Data Table		
Line #	Distance	Bearing
L1	57.00'	N89°58'28"E
L2	57.00'	S89°58'28"W



LAND DESCRIPTION

BEING a 0.211 acre tract of land situated in the William McNeill Survey, Abstract Number 971, City of Denton, Denton County, Texas, and being a portion of Lot 3, of McKennon Addition, an Addition to the City of Denton, Denton County, Texas, according to the Plat thereof recorded in Volume J, Page 483, Deed Records of Denton County, Texas (D.R.D.C.T.), and being all of a tract of land described to George Michael Cochran and Linda Lavender, by the Deed recorded in Document Number 2024-6861, Official Public Records of Denton County, Texas (O.P.R.D.C.T.), and being more particularly described by metes and bounds as follows:

BEGINNING at a 60D nail found for the northwesterly corner of the herein described tract, and same being the northwesterly corner of said Lot 3, also being the northeasterly corner of Lot 4, of said McKennon Addition, also being the northeasterly corner of a tract of land described to Jeffery Paul Wegenka et ux, Erika Marie Wegenka, by the Deed recorded in Document Number 2015-134452, O.P.R.D.C.T., also being a point on the southerly right-of-way line of West Oak Street (60 foot public right-of-way), from which a 1/2 inch rebar found for the northeasterly corner of said Wegenka tract, bears South 89 degrees 58 minutes 28 seconds West for a distance of 75.55 feet;

THENCE North 89 degrees 58 minutes 28 seconds East along the southerly right-of-way line of said Oak Street, for a distance of 57.00 feet to a 5/8 inch rebar set with a cap stamped "TRAVERSE LS PROP COR" for the northeasterly corner of the herein described tract, and same being the northwesterly corner of a tract of land described to George Michael Cochran and Linda Lavender, by the Deed recorded in Document Number 2024-6860, O.P.R.D.C.T.;

THENCE South 00 degrees 01 minutes 32 seconds East along the westerly boundary line of said Cochran tract (Document Number 2024-6860), for a distance of 161.22 feet to a 1.2 inch rebar found for the southwesterly corner thereof, and same being the southeasterly corner of the herein described tract, also being a point on the northerly boundary line of a tract of land described to Infini, Inc., by the Deed recorded in Document Number 2019-41083, O.P.R.D.C.T.;

THENCE South 89 degrees 58 minutes 28 seconds West along the northerly boundary line of said Infini, Inc. tract, passing the northeasterly corner of a tract of land described to DBMZKN, Inc. by the Deed recorded in Document Number 2021-42067, O.P.R.D.C.T., continuing along the northerly boundary line of said DBMZKN tract, for a total distance of 57.00 feet to a 5/8 inch rebar set with a cap stamped "TRAVERSE LS PROP COR" for the southwesterly corner of the herein described tract, and same being the southwesterly corner of said Lot 3, also being the southeasterly corner of said Lot 4, also being the southwesterly corner of said Wegenka tract, also being the northeasterly corner of a tract of land described to 620 W. Hickory, LLC, by the Deed recorded in Document Number 96-R0078655, O.P.R.D.C.T., from which a 1/2 inch rebar found for the southwesterly corner of said Wegenka tract, bears South 89 degrees 58 minutes 28 seconds West for a distance of 75.55 feet;

THENCE North 00 degrees 01 minutes 32 seconds West along the easterly boundary line of said Wegenka tract, for a distance of 161.22 feet to the POINT OF BEGINNING containing 0.211 acres of land, more or less.

GENERAL NOTES

- Bearings and Distances are based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (NAD83) (US Foot) with a combined scale factor of 1.00015063.
- According to the Flood Insurance Rate Map, Community Panel No. 48121C0360G, dated April 18, 2011 by graphic plotting only. This property appears to be within Zone "X", (areas determined to be outside the 0.2% annual chance floodplain). This statement does not imply that the property and/or its structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made causes. This statement shall not create liability on the part of the surveyor.
- This survey was created with the information provided by the client or their representative. the surveyor did not abstract the subject property and cannot be used to represent warranty of title or guarantee of ownership.



SURVEYOR'S CERTIFICATION

The undersigned does hereby certify that this survey substantially complies with the current Texas Society of Professional Surveyors Manual of Practice Requirements for a Category 1B, Condition II Land Title Survey, and that this Survey was this day made on the ground of the property legally described hereon and is correct and to the best of my knowledge, there are no visible discrepancies, conflicts, shortages in area, boundary line conflicts, encroachments, overlapping of improvements, easements or rights of way that I have been advised of except as shown hereon. Bearings and Distances are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD83) (US Foot) with a combined scale factor of 1.00015063.

Date of Plat or Map: November 21, 2024

Cole Carpenter
Registered Public Land Surveyor
Texas Registration No. 6892

CATEGORY 1B, CONDITION II
LAND TITLE SURVEY

PORTION OF LOT 3
McKENNON ADDITION
WILLIAM NEILL SURVEY, ABSTRACT NO. 971
CITY OF DENTON, DENTON COUNTY, TEXAS

TRaverse
LAND SURVEYING LLC

14200 Midway Road, Suite 130, Dallas, TX 75224 | T: 469.784.9321
W: TraverseLandSurveying.com | Texas Firm No. 10194631

Surveying | Construction Staking | Platting

DRAWN	CHECK	DATE	SCALE	PROJECT NO.	SHEET NO.
CMC	CDC	11-21-2024	1" = 30'	TR-579-24	1

Porch Framing Scope of Work

Project Title: 615 W Oak St, Denton, Texas 76201

Applicant: Jacob Moses **Property Owner:** Jacob Moses **Property Address:** 615 W Oak St, Denton, Texas 76201 **Historic District:** Oak-Hickory Historic District

Scope of Work: Framing Plan for Historic Porch Reconstruction

Project Overview: This scope of work outlines the framing plan for reconstructing an original historic porch while ensuring structural integrity and adherence to local building codes. The reconstruction will utilize modern materials while maintaining the porch's historic character.

Scope of Work:

Structural Framing Installation:

- **Beams:** Install LVL beams (11" 7/8') and 2"x12' beams as primary structural support.
- **Rafters:** Position and secure 2"x6' rafters to maintain proper spacing and load distribution.
- **Joists:** Install 2"x6' joists for floor framing to support porch decking.
- **Ridge Beam:** Secure a 2"x8' ridge beam for roof structure support.
- **Posts:** Install 6"x6' pressure-treated posts for vertical support and structural stability.

Roofing System:

- Install Timberline HDZ shingles for weather protection and aesthetic consistency with the historic structure.
- Ensure proper flashing and water drainage measures are in place.



MKOAStudio

Oak St Historic Porch Addition
Concept Design | March 2025



EXTERIOR BEFORE

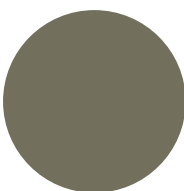
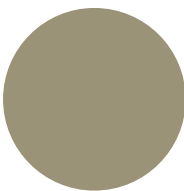
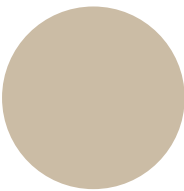



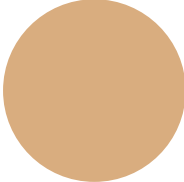


EXTERIOR TODAY



FINAL



-  Main Siding
SW 2851: Sage Green Light
-  Accent Siding
SW 2826: Colonial Revival Green Stone
-  Trim
SW 2822: Downing Sand
-  Brick
Acme Forest Hills
-  Cast Stone
-  Roofing
Mission Brown
-  Porch Roof
SW 2853: New Colonial Yellow

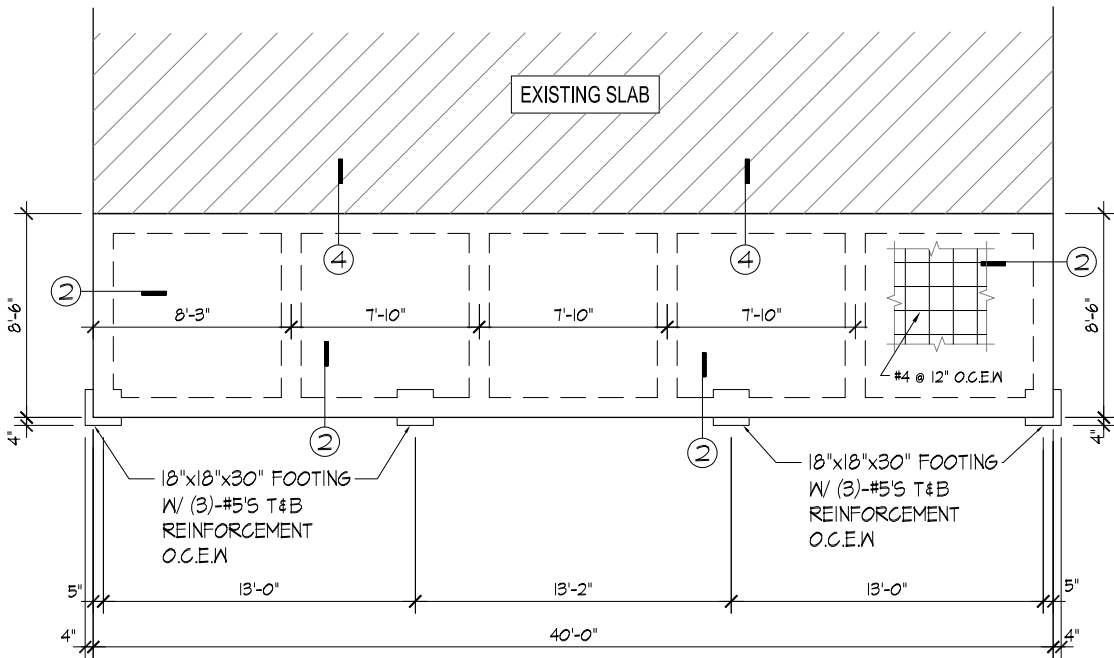
Notes:
Forest Hills Brick only available in Queen size
Lead time 2+ weeks for brick

FINAL

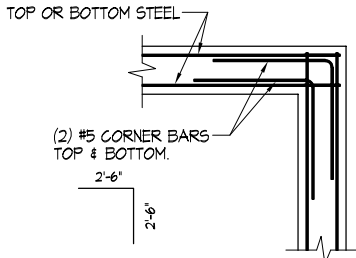


Photo of proposed materials in sunlight. Acme Amaretto Brick used as a placeholder for Acme Forest Hills Brick.

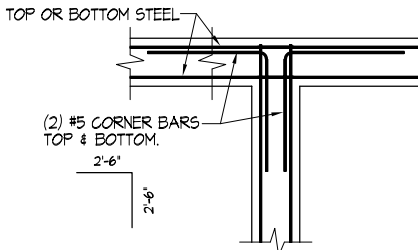
From left to right: SW 2851, SW 2826, SW 2822, SW 2853



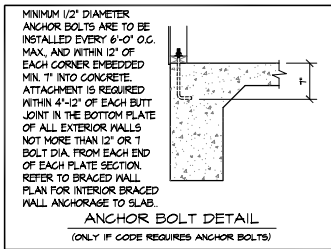
THE DESIGN OF THE FOUNDATION ADDITION IS BASED ON MATCHING THE EXISTING FOUNDATION TO PROVIDE CONTINUITY OF THE EXISTING FOUNDATION. PER AGREEMENT WITH CLIENT, A SITE-SPECIFIC SOIL REPORT IS NOT BEING USED.



TYPICAL CORNER BAR DETAIL
(PLAN VIEW LOOKING DOWN)



TYPICAL INTERSECTION BAR DETAIL
(PLAN VIEW LOOKING DOWN)



TOTAL SQUARE FOOTAGE OF SLAB = 340 SQ. FT.

FOUNDATION PLAN

DESIGN:

- 4" THICK 3000 PSI CONCRETE SLAB.
- ALL PERIMETER BEAMS SHALL BE 10" W. X 30" D. MINIMUM (OR MATCH EXISTING) WITH (2) #5'S TOP & BOTTOM.
- ALL INTERIOR BEAMS SHALL BE 10" W. X 30" D. MINIMUM (OR MATCH EXISTING) WITH (2) #5'S TOP & BOTTOM.
- REINFORCE SLAB WITH #4's @ 12" O.C.E.W.

NOTES:

- EXTERIOR BEAMS SHALL BE 12" MINIMUM INTO UNDISTURBED SOIL OR COMPACTED FILL.
- IF FIRM ROCK IS ENCOUNTERED DURING TRENCHING FOR BEAMS, BEAM DEPTH MAY BE REDUCED. BEAMS NEED TO PENETRATE ROCK ONLY TO ACHIEVE A MINIMUM BEAM DEPTH OF 12" WITH A MINIMUM ROCK EMBEDMENT OF 2". BEAM WIDTH MAY BE REDUCED TO 8" IF MINIMUM PENETRATION OF ROCK IS ACHIEVED & VERIFIED.
- THIS FOUNDATION DESIGN IS CONSIDERED INVALID UNLESS ACCOMPANIED BY A LETTER FROM CHILDRESS ENGINEERING SERVICES INC. AUTHORIZING ITS USE ON A SPECIFIC LOT AND BLOCK, OR ADDRESS.
- PLANS CAN BE REVERSED ON LOT AT BUILDER'S DISCRETION.
- PLANS ARE FOR BEAM PLACEMENT ONLY. SET FORMS AND LOCATE DROPS IN SLABS PER ARCHITECTURAL FLOOR PLAN.
- IN CASE OF ANY DIMENSION DISCREPANCIES BETWEEN FOUNDATION AND ARCHITECTURAL PLANS, THEN THE ARCHITECTURAL PLANS SHALL CONTROL.
- BUILDER TO VERIFY ALL DROPS IN SLAB PRIOR TO POURING CONCRETE. ANY DROPS THAT EXCEED 12" DEEP THAT WERE NOT ON THE ORIGINAL PLAN, THE ENGINEER MUST BE NOTIFIED AND THE PLANS MUST BE REVISED.

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO POURING. IF ANY DIMENSION DISCREPANCIES OCCUR BETWEEN ENGINEERED SLAB AND ARCHITECTURAL PLANS, THE ARCHITECTURAL PLANS SHALL CONTROL.

GENERAL NOTES:

- CONCRETE
 - CONCRETE WORK SHALL BE EXECUTED IN STRICT ACCORDANCE WITH THE LATEST AMERICAN CONCRETE INSTITUTE BUILDING CODE A.C.I. 318.
 - CONCRETE SPECIFICATIONS SHALL BE AS FOLLOWS:
 - A) LOCATIONS + ALL
 - B) 28 DAY STRENGTH + 5000 P.S.I.
 - C) AGGREGATE + HARD ROCK
 - D) SLUMP TEST + 5" TO 5"
 - JOB SITE CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE FABRICATION OF MATERIALS.
 - ALL CONCRETE EXPOSED TO THE WEATHER SHALL HAVE A 5% TO 6% AIR ENTRAINMENT.
 - CONSTRUCTION JOINTS, WHEN NECESSARY, SHALL OCCUR NEAR THE MIDDLE OF THE SPAN UNLESS A BEAM INTERSECTS AT THIS POINT, IN WHICH CASE THE JOINT SHALL BE OFFSET A DISTANCE EQUAL TO TWICE THE WIDTH OF THE BEAM. THE ENGINEER SHALL APPROVE PROVISIONS FOR TRANSFER OF SHEAR AND OTHER FORCES THROUGH THE JOINT. NT101A
- REINFORCEMENT
 - ALL REINFORCEMENT SHALL CONFORM TO ASTM A-615 GRADE 60.
 - REINFORCING STEEL SHALL BE DESIGNED, DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE LATEST A.C.I. "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (A.C.I.-318) AND THE CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS", LATEST EDITION.
 - SPICES IN REINFORCEMENT SHALL OCCUR AT POINTS OF MINIMUM STRESS AND LAP DO NOT EXCEED MINIMUM UNLESS NOTED OTHERWISE.
 - MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE AS FOLLOWS:

GRADE BEAMS	3" FROM BOTTOM
SLABS ON GRADE	1" FROM TOP AND SIDES
	1/2" FROM TOP
 - PROVIDE CORNER BARS AT ALL CORNERS AND INTERSECTIONS SAME SIZE AND SPACING AS LARGER REINFORCEMENT.
 - SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL PRIOR TO FABRICATION OF MATERIALS. NT108A
- FOUNDATION
 - THIS FOUNDATION HAS BEEN DESIGNED BASED ON THE INFORMATION CONTAINED IN A SOILS REPORT. THIS REPORT SHALL BECOME A PART OF THESE CONSTRUCTION DOCUMENTS.
- SAND
 - A FOUR INCH (4") LAYER OF SAND SHALL BE PLACED UNDER ALL SLABS.
 - 10 MIL POLY REQUIRED PER 203 IRC OTHERWISE 6 MIL POLY REQUIRED. INSTALL POLY WITH 6" LAP JOINTS.

The seal appearing on this document was authorized by Tony H. Childress, P.E. #72029 on 01/16/25 (Record copy on file)

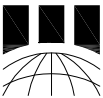


F-7422

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Childress Engineering Services

2505 N. Plano Rd., Suite 4000
Richardson, Texas 75082
Office: 214-451-6630
Fax: 214-451-6631
Inspections: 214-451-6632



CESGLOBAL.COM

REVISIONS	BY	DATE
1	MS	01/16/25
2		
3		
4		
5		
6		
7		
8		

JACOB MOSES

MCKENNON

615 W OAK STREET., DENTON, TX

PLAN: ADDITION

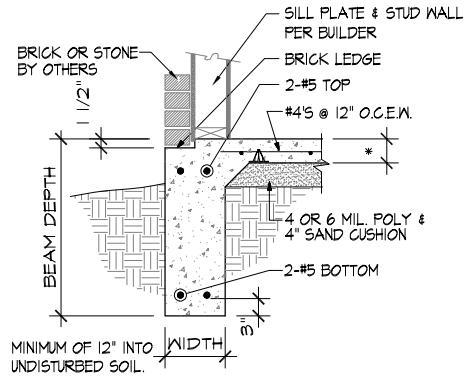
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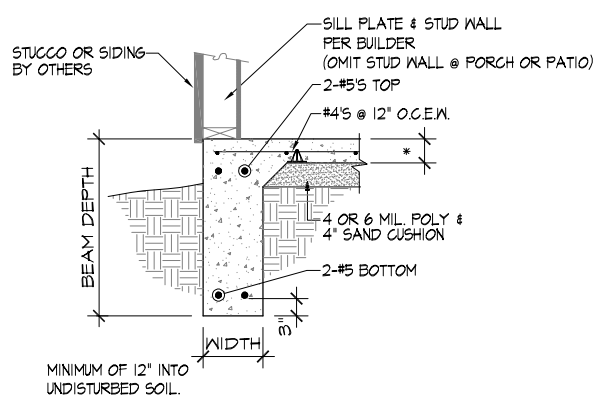
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DATE: 12/26/25
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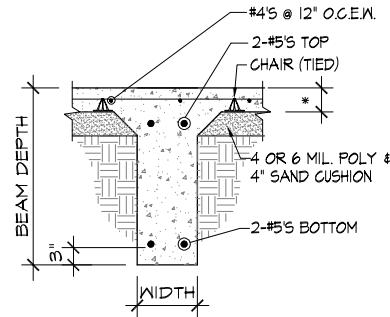
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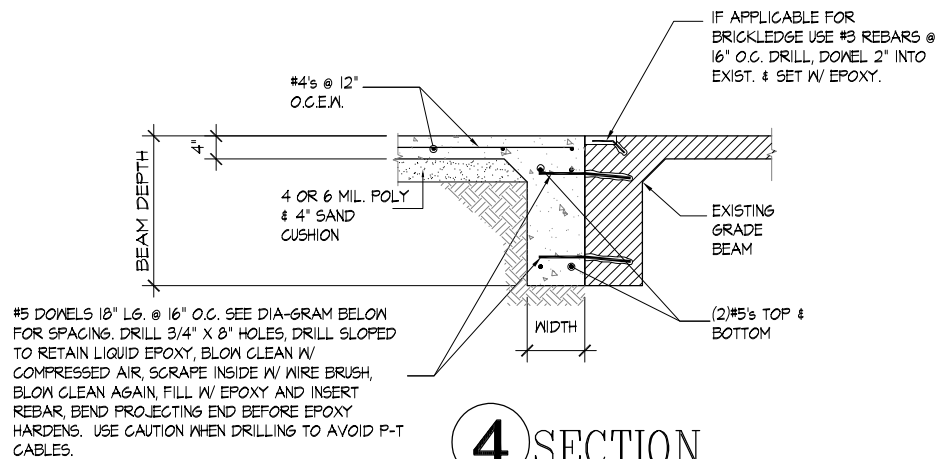
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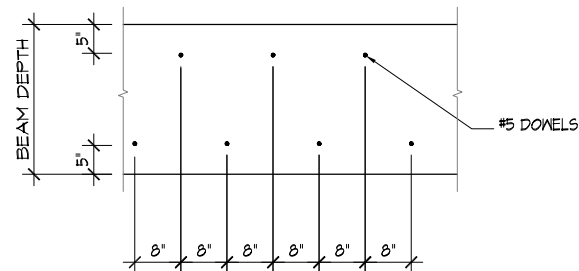
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NOT TO SCALE



3 SECTION



4 SECTION
NOT TO SCALE



CONNECTION SECTION

PLAN AND SECTION NOTES:

- 1) NOT ALL SECTIONS SHOWN WILL BE APPLICABLE TO EACH PROJECT.
- 2) FOR "D" & "W" DIMENSIONS, SEE NOTES ON PLAN SHEET.
- 3) DENOTES REBAR SUPPORTED BY 2" CHAIR (4 FT. MINIMUM O.C.E.W.).
- 4) * DENOTES DIMENSION TO BE VERIFIED.
- 5) A 4" MINIMUM SAND LAYER UNDER SLAB & COVER WITH 4 OR 6 MIL POLY WITH LAPPED JOINTS.

Notice: Disclaimer, Drawings are owned / or licensed by Childress Engineering Inc. You agree under licensed agreement that you will not produce, distribute or use these drawings / details for any other purpose without prior written consent of Childress Engineering Inc.

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REVISIONS	BY	DATE
1	MS	01/16/25
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JOB NUMBER: 25673829
DRAWN BY: MS
DATE: 12/26/25
SCALE: NOT TO SCALE

JACOB MOSES

MCKENNON

615 W OAK STREET, DENTON, TX

LOT: 3 BLOCK: PLAN: ADDITION

JACOB MOSES

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615 W OAK STREET, DENTON, TX

LOT: 3 BLOCK: PLAN: ADDITION

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LOT: 3 BLOCK: PLAN: ADDITION

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LOT: 3 BLOCK: PLAN: ADDITION

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LOT: 3 BLOCK: PLAN: ADDITION

JACOB MOSES

MCKENNON

615 W OAK STREET, DENTON, TX

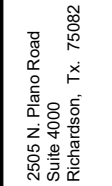
LOT: 3 BLOCK: PLAN: ADDITION



The logo for Childress Engineering Services features a stylized 'E' composed of three horizontal bars, with a semi-circular grid pattern to its left. Below the logo, the company name 'CHILDRESS' is written in a large, bold, serif font, underlined. Below that, 'ENGINEERING SERVICES' is written in a smaller, bold, serif font. To the right of the logo, the address '2505 N. Plano Road Suite 4000 Richardson, Tx. 75082' is listed. Further right, contact information is provided: 'Office: 214-451-6630', 'Fax: 214-451-6631', and 'Inspections: 214-451-6632'. At the bottom right, the website 'www.cesglobal.com' is displayed.

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2505 N. Plano Road
Suite 4000
Richardson, Tx. 75082

JACOB MOSES
MCKENNON
615 W OAK STREET, DENTON, TX
LOT: 3 BLOCK: PLAN: ADDITION

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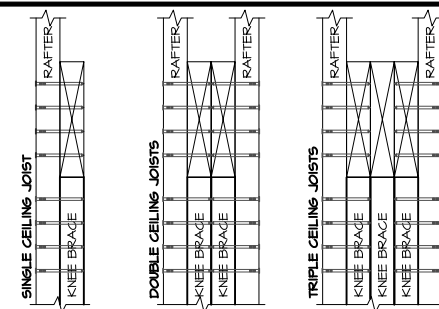
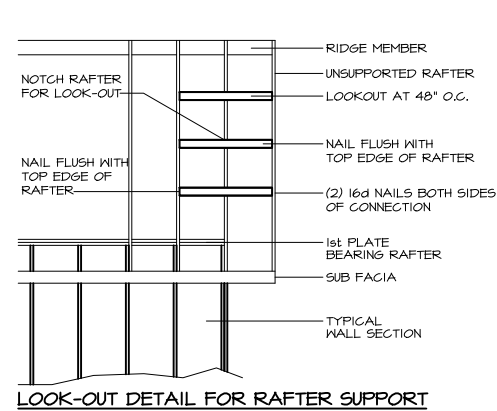
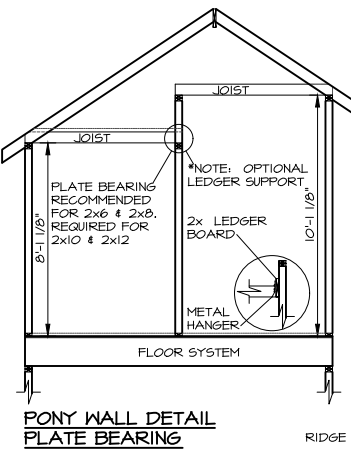
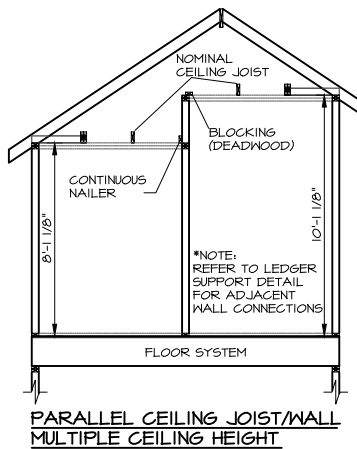
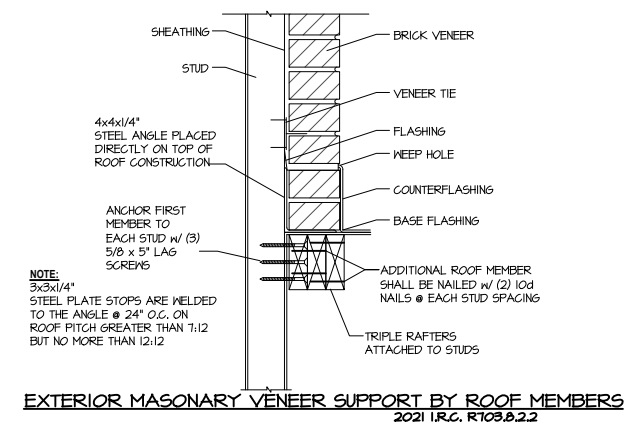
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DATE:	04/10/25
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SHEET #:

.CS 30



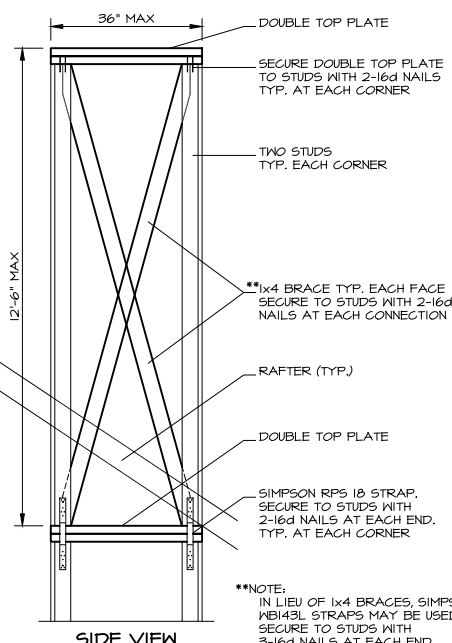
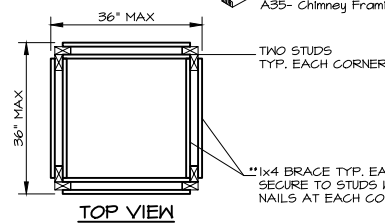
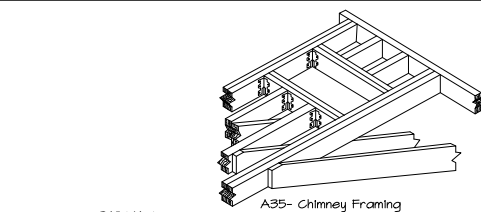
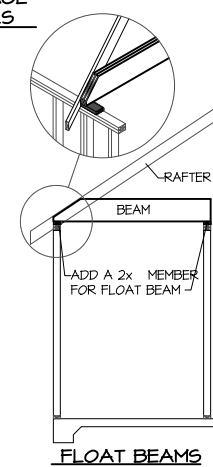
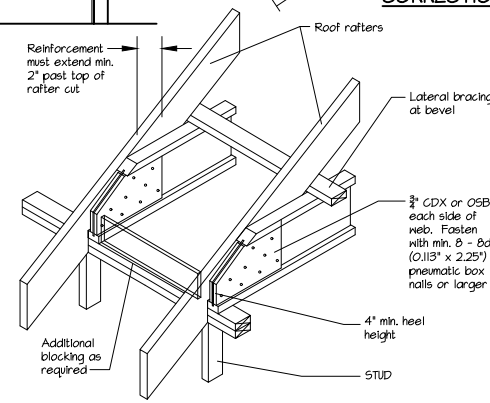
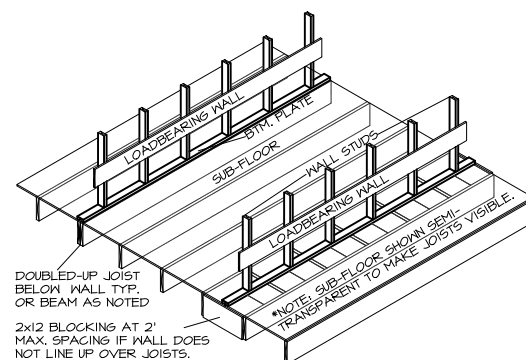
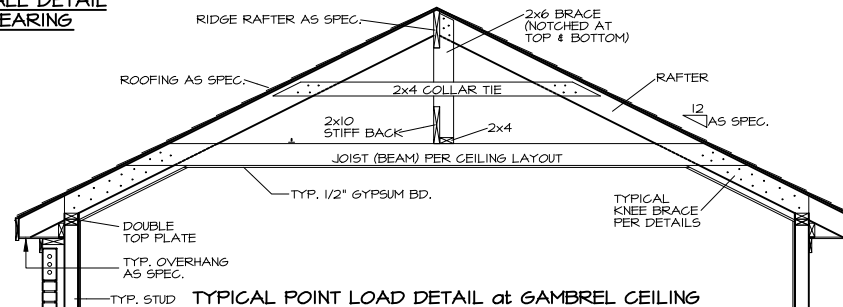
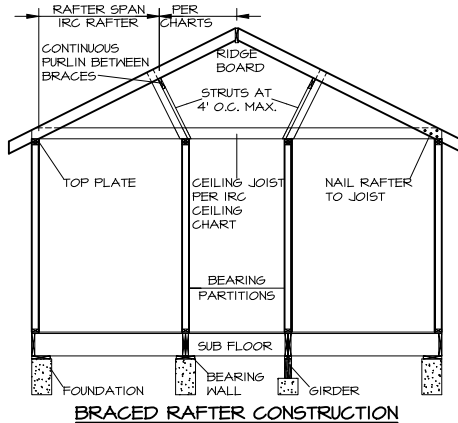
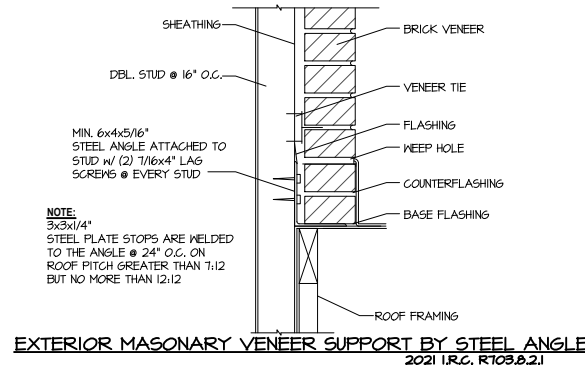
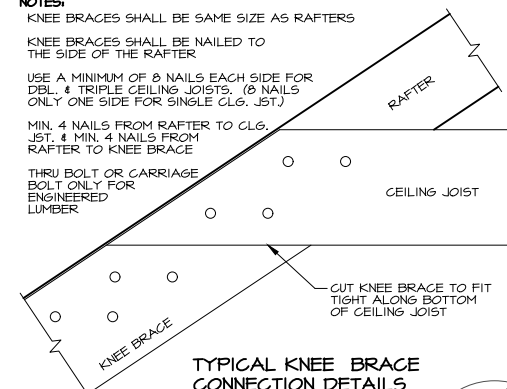
NOTES:
KNEE BRACES SHALL BE SAME SIZE AS RAFTERS

KNEE BRACES SHALL BE NAILED TO THE SIDE OF THE RAFTER

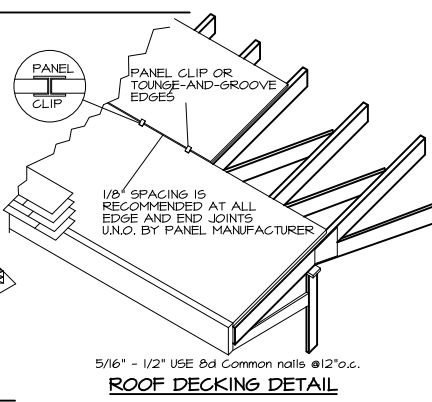
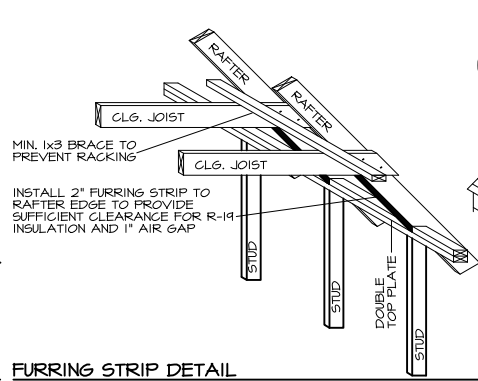
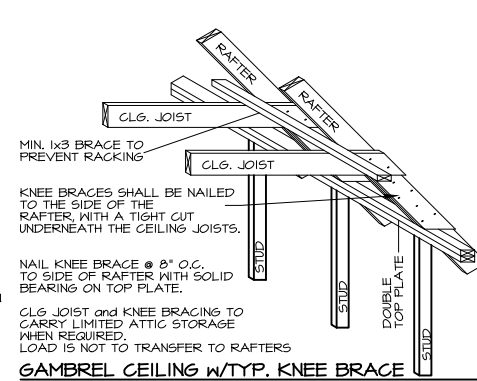
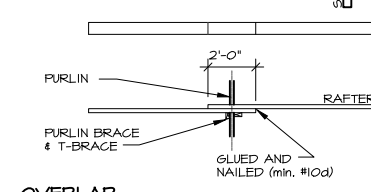
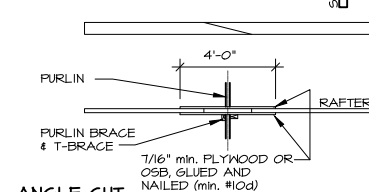
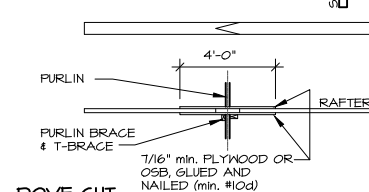
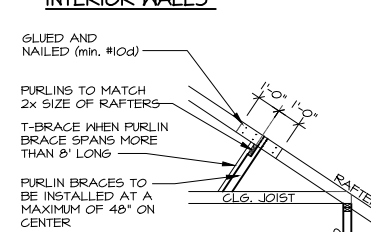
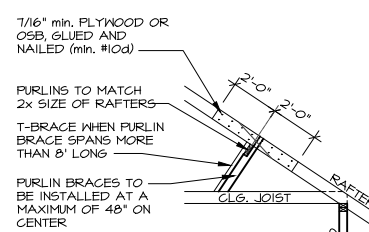
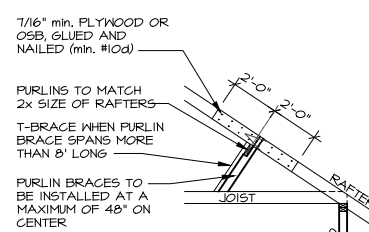
USE A MINIMUM OF 8 NAILS EACH SIDE FOR DBL. & TRIPLE CEILING JOISTS. (8 NAILS ONLY ONE SIDE FOR SINGLE CLG. JST.)

MIN. 4 NAILS FROM RAFTER TO CLG.
JST. 4 MIN. 4 NAILS FROM
RAFTER TO KNEE BRACE

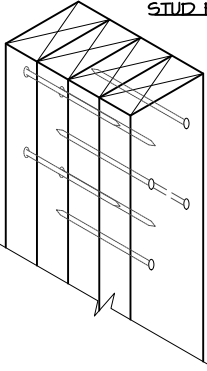
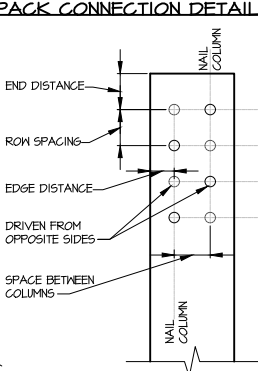
THRU BOLT OR C
BOLT ONLY FOR
ENGINEERED
LUMBER



CHIMNEY WIND BRACING DETAIL



STUD PACK CONNECTION DETAIL

	(3)-2x4	(4)-2x4	(3)-2x6	(4)-2x6
# OF NAILS PER ROW	1	1	2	2
NAIL SIZE	30D	30D	50D	50D
END DISTANCE	3.5"	3.75"	3.5"	3.75"
EDGE DISTANCE	1.5"	1.5"	1.5"	1.5"
SPACE BETWEEN ROWS	8	9	8	9
SPACE BETWEEN COLUMNS	0.5"	0.5"	2.5"	2.5"

	(3)-2x4	(4)-2x4	(3)-2x6	(4)-2x6
# OF NAILS PER ROW	1	1	2	2
NAIL SIZE	30D	30D	50D	50D
END DISTANCE	3.5"	3.75"	3.5"	3.75"
EDGE DISTANCE	1.5"	1.5"	1.5"	1.5"
SPACE BETWEEN ROWS	8	9	8	9
SPACE BETWEEN COLUMNS	0.5"	0.5"	2.5"	2.5"

WHEN ONE NAIL PER ROW IS SPECIFIED, NAILS IN ADJACENT ROWS SHALL BE DRIVEN FROM OPPOSITE SIDES IN OPPOSITE COLUMNS.

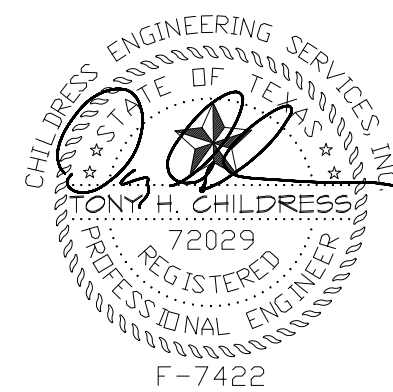
4 1/2" SIMPSON SDS SCREWS MAY REPLACE 30D NAILS & 6" SIMPSON SDS SCREWS MAY REPLACE 50D NAILS

SOLID TIMBER MEMBERS OF EQUAL OR GREATER SIZE MAY BE USED INSTEAD OF SPECIFIED STUD PACKS

GENERAL FRAMING DETAILS

N.T.S.

The seal appearing on this document was authorized by Tony H. Childress, P.E. #72029 on **04/10/25** (Record copy on file)



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City of Denton

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Legislation Text

File #: HLC25-020, **Version:** 1

AGENDA CAPTION

Hold a discussion regarding placing a hold on potential program updates to our current historic tax exemption program.



City of Denton

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AGENDA INFORMATION SHEET

DEPARTMENT: Department of Development Services

DCM: Cassey Ogden

DATE: April 14, 2025

SUBJECT

Hold a discussion regarding placing a hold on potential program updates to our current historic tax exemption program.

BACKGROUND

Since May 2024, staff has been working with the Historic Landmark Commission on updating the City of Denton's Historic Tax Exemption program. However, after further review of the program as well as current budget uncertainties, potential expansion of this program has been put on hold.

Staff will continue to research additional tools that incentivize homeowners to actively participate in preserving Denton's cultural heritage while alleviating financial burdens associated with maintaining historic properties.

EXHIBITS:

1. Agenda Information Sheet

Respectfully submitted:
Tina Firgens, AICP
Deputy Director Development Services/
Planning Director

Prepared By:
Cameron Robertson, AICP
Historic Preservation Officer



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File #: HLC25-022, **Version:** 1

AGENDA CAPTION

Discuss and determine opportunities for education, marketing, and events hosted by staff and the Historic Landmark Commission.



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AGENDA INFORMATION SHEET

DEPARTMENT: Department of Development Services

DCM: Cassey Ogden

DATE: April 14, 2025

SUBJECT

Discuss and determine opportunities for education, marketing, and events hosted by staff and the Historic Landmark Commission.

BACKGROUND

At the December 9, 2024, and March 3, 2025, Historic Landmark Commission (HLC) meetings, the Commission discussed interest in finding new ways to market the historic preservation program through the formation of new partnerships, hosting events, and providing educational opportunities. Goal #4 and Policies 4.1 and 4.2 in 2019 Denton Historic Preservation Plan, recommends that the HLC contribute in the following ways:

- Support innovative education initiatives that inform, engage new audiences, and tell the stories of Denton's multi-cultural and generational populations.
- Promote the use of existing programs and tools to educate the public on historic preservation's benefits and advance community preservation goals.

Therefore, staff seeks feedback and direction from the HLC regarding potential new partnerships, event ideas, and educational initiatives that the Commission would like to pursue in fiscal year 2025-2026 to facilitate marketing the historic preservation program throughout the city.

EXHIBITS

1. Agenda Information Sheet

Respectfully submitted:
Tina Firgens, AICP
Deputy Director Development Services/
Planning Director

Prepared by:
Cameron Robertson, AICP
Historic Preservation Officer



City of Denton

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Legislation Text

File #: HLC25-018, **Version:** 1

AGENDA CAPTION

Receive a report, hold a discussion, and give staff direction on the Historic Landmark Commission's request for local historic designation of eligible historic properties.



City of Denton

City Hall
215 E. McKinney Street
Denton, Texas
www.cityofdenton.com

AGENDA INFORMATION SHEET

DEPARTMENT: Department of Development Services

DCM: Cassey Ogden

DATE: April 14, 2025

SUBJECT

Receive a report, hold a discussion, and give staff direction on the Historic Landmark Commission's request for local historic designation of eligible historic properties.

BACKGROUND

At the November 14, 2022, HLC meeting, staff started including a standing agenda item that pertains to the designation of local historic properties. Commissioners have the opportunity to bring forward one to two properties from Denton's Historically Eligible Structures map to discuss and vote on. A Commissioner proposing a property for local designation consideration will have a maximum of two-minutes to justify the need for designation of the property. Remaining Commissioners will then have a maximum of one minute each to provide feedback and indicate their support for the designation. Each proposed property will need a minimum of four Commissioner votes to pursue designation of the property. If the property receives four or more votes, the property will be added to an active designation list to be maintained by staff for the HLC. The HLC will have the opportunity to utilize the list to reach out to property owners to encourage the designation of their property or properties.

EXHIBITS

1. Agenda Information Sheet
2. Denton's [Historically Eligible Structures](#) Map

Respectfully submitted:
Tina Firgens, AICP
Deputy Director Development Services/
Planning Director

Prepared by:
Cameron Robertson, AICP
Historic Preservation Officer



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Legislation Text

File #: HLC25-019, **Version:** 1

AGENDA CAPTION

Hold a discussion regarding the Historic Landmark Commission Project Matrix.

2025
Historic Landmark Commission
Requests for Information

Request		Request Date	Status
Discussion regarding marketing the historic preservation program; forming new partnerships; educating property owners, etc.	HLC	12/9/2024	Scheduled for April 14, 2025 HLC Meeting
Discuss the possible creation of a Porch Fest that promotes local musicians and historic preservation in Denton	HLC	3/3/2025	Scheduled for April 14, 2025 HLC Meeting
Template/agenda to be utilized by HLC members at community meetings to discuss and educate historic property owners on designation, HLC/HPO processes, etc.	HLC	2/12/2024	On-going
Review local Historic District signage; larger discussion of beautification standards/expectations for local historic districts	HLC	1/13/2025	Discussion will occur in Spring/early Summer 2025
Items for Historic Landmark Commission Consideration			
Discuss 'Stop Work Order' fees for properties working without Certificates of Appropriateness	HPO	7/9/2024	Deters inappropriate work from taking place to historically recognized properties and fees collected can be utilized for preservation efforts. Strengthens the COA process.

Update the COA Process to include inspection dependent upon the scale of work taking place (i.e. new construction, demolition, addition)	HPO	7/9/2024	Further strengthen and clarify the COA process
Annual Update			
Prepare an annual study list of potential landmarks and districts.	HLC/HPO	2025 Work Plan Goal	Implemented; On-going from 2024
Broaden the tax-exemption eligibility criteria for improvements to historic buildings.	HLC/HPO	2025 Work Plan Goal	Discussion has started; on-going from 2024
Explore a program allowing for the partial or full property tax exemption from the City of Denton and other applicable taxing authorities for locally designated historic homes.	HLC/HPO	2025 Work Plan Goal	Discussion has started; on-going from 2024
Complete designation reports for landmarks and districts.	HLC/HPO	2025 Work Plan Goal	Implemented; On-going from 2024
Improve visibility and awareness of tax exemption program to increase participation.	HLC/HPO	2025 Work Plan Goal	New for 2025
Increase awareness and use of Federal Rehabilitation Tax Credit.	HLC/HPO	2025 Work Plan Goal	New for 2025
Include additional historic preservation information materials in the City of Denton website	HLC/HPO	2025 Work Plan Goal	New for 2025
Create a marketing plan to encourage additional Local Landmark designations.	HLC/HPO	2024 Work Plan Goal	On-going from 2024

Provide training to local realtors and bankers.	HLC/HPO	2024 Work Plan Goal	On-going from 2024
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Future HLC Meetings:

- Monday, May 12th
- Monday, June 9th
- Monday, July 14th
- Monday, August 11th
- Monday, September 8th
- Monday, October 13th
- Monday, November 10th
- Monday, December 8th