| ORDINANCE NO. |  |
|---------------|--|
|               |  |

AN ORDINANCE OF THE CITY OF DENTON, TEXAS REGARDING A CHANGE IN THE ZONING DISTRICT AND USE CLASSIFICATION FROM RURAL RESIDENTIAL (RR) DISTRICT TO A PLANNED DEVELOPMENT (PD) DISTRICT WITH BASE ZONING OF RESIDENTIAL 4 (R4) DISTRICT, RESIDENTIAL 7 (R7) DISTRICT, MIXED USE NEIGHBORHOOD (MN) DISTRICT, MIXED USE REGIONAL (MR) DISTRICT, PUBLIC FACILITIES (PF) DISTRICT ON APPROXIMATELY 2,499.35 OF LAND GENERALLY LOCATED WEST AND SOUTH OF FM 2153, EAST OF FM 2164, AND NORTH OF GRIBBLE SPRINGS AND SHEPARD ROAD, IN THE CITY OF DENTON, DENTON COUNTY, TEXAS; ADOPTING AN AMENDMENT TO THE CITY'S OFFICIAL ZONING MAP; PROVIDING FOR A PENALTY IN THE MAXIMUM AMOUNT OF \$2,000.00 FOR **VIOLATIONS** THEREOF: **PROVIDING** SEVERABILITY CLAUSE AND AN EFFECTIVE DATE. (PD25-0003a, Craver Ranch PD)

WHEREAS, Alexa Knight, of Daake Law, applied on behalf of the property owner, Run Wells Ranches, LLC, to rezone approximately 2,499.35 acres from Rural Residential (RR) to a Planned Development (PD) District with base zoning of Residential 4 (R4) District, Residential 7 (R7) District, Mixed Use Neighborhood (MN) District, Mixed Use Regional (MR) District, and Public Facilities (PF) District, legally described and depicted in Exhibit "A" (hereinafter, the "Property"); and

WHEREAS, on November 19, 2025, the Planning and Zoning Commission, in compliance with the laws of the State of Texas, have given the requisite notices by publication and otherwise, and have held due hearings and afforded full and fair hearings to all property owners interested in this regard, and have recommended approval (4-2) of the amendment; and

WHEREAS, on December 2, 2025, the City Council likewise conducted a public hearing as required by law, and finds that the request meets and complies with all substantive and procedural standards for a zoning change to Planned Development (PD) District with base zoning of Residential 4 (R4) District, Residential 7 (R7) District, Mixed Use Neighborhood (MN) District, Mixed Use Regional (MR) District, and Public Facilities (PF) District set forth in Section 2.7.3 of the Denton Development Code, and is consistent with the Denton 2040 Comprehensive Plan and the Denton Development Code; and

WHEREAS, the Planning and Zoning Commission and the City Council of the City of Denton, in considering the application for a change in the zoning classification of the property, have determined that the proposed change is in the best interest of the health, safety, morals, and general welfare of the City of Denton, and accordingly, the City Council of the City of Denton is of the opinion and finds that said zoning change is in the public interest and should be granted as set forth herein; NOW THEREFORE,

### THE COUNCIL OF THE CITY OF DENTON HEREBY ORDAINS:

<u>SECTION 1.</u> The findings and recitations contained in the preamble of this ordinance are incorporated herein by reference and found to be true.

SECTION 2. The zoning district and use classification for the Property is hereby changed from Rural Residential (RR) to a Planned Development (PD) District with base zoning of Residential 4 (R4) District, Residential 7 (R7) District, Mixed Use Neighborhood (MN) District, Mixed Use Regional (MR) District, and Public Facilities (PF) District. The Development Standards for the Property are described in Exhibit "B" attached hereto and incorporated herein by reference, and the PD Development Plans depicting the proposed development layout for the Property is provided in Exhibit "C" attached hereto and incorporated herein by reference. Development of the Property shall be in accordance with the Development Standards in Exhibit "B" and the Development Plans in Exhibit "C".

<u>SECTION 3.</u> The City's official zoning map is hereby amended to show the change in the zoning district and use classification.

<u>SECTION 4.</u> If any provision of this ordinance or the application thereof to any person or circumstance is held invalid by any court, such invalidity shall not affect the validity of the provisions or applications, and to this end the provisions of this ordinance are severable.

<u>SECTION 5.</u> Any person, firm, partnership or corporation violating any provision of this ordinance shall, upon conviction, be deemed guilty of a misdemeanor and shall be punished by fine in a sum not exceeding \$2,000.00 for each offense. Each day that a provision of this ordinance is violated shall constitute a separate and distinct offense.

<u>SECTION 6.</u> In compliance with Section 2.09(c) of the Denton Charter, this ordinance shall become effective fourteen (14) days from the date of its passage, and the City Secretary is hereby directed to cause the caption of this ordinance to be published twice in the Denton Record-Chronicle, a daily newspaper published in the City of Denton, Texas, within ten (10) days of the date of its passage.

| The motion to approve this ordinance   | e was made l | by            |                 | and        |  |  |  |
|--|--------------|---------------|-----------------|------------|--|--|--|
| seconded by                            | , the        | e ordinance w | as passed and a | pproved by |  |  |  |
| the following vote []:                 |              |               |                 |            |  |  |  |
|  | Aye          | Nay           | Abstain         | Absent     |  |  |  |
| Gerard Hudspeth, Mayor:                |              |               |                 |            |  |  |  |
| Vicki Byrd, District 1:                |              |               |                 |            |  |  |  |
| Brian Beck, District 2:                |              |               |                 |            |  |  |  |
| Suzi Rumohr, District 3:               |              |               |                 |            |  |  |  |
| Joe Holland, District 4:               |              |               |                 |            |  |  |  |
| Brandon Chase McGee. At Large Place 5: |              |               |                 |            |  |  |  |

| Jill Jester, At Large Place 6:                            |                        |   |
|---|------------------------|---|
| PASSED AND APPROVED this the                              | day of, 2025.          |   |
|   |                        |   |
|   | GERARD HUDSPETH, MAYOR | _ |
|   |                        |   |
| ATTEST:<br>INGRID REX, CITY SECRETARY                     |                        |   |
| BY:   |                        |   |
| APPROVED AS TO LEGAL FORM:<br>MACK REINWAND CITY ATTORNEY |                        |   |
| BY: Helary McMahon  |                        |   |

#### Exhibit A

BEING all of that tract of land situated in the P.G. Yarborough Survey, Abstract No. 1447, the J. Morton Survey, Abstract No. 121, the W. Norment Survey, Abstract No. 965, the J.W. Jagoe Survey, Abstract No. 1640, the A.W. Patton Survey, Abstract No. 990 and the W. A. Thompson Survey, Abstract No. 1238, City of Sanger, Denton County, Texas, and being all of a called 0.862 acre tract of land described in the deed to Raymond & Jewel Vinson, recorded in Instrument No. 2008-66099, Official Records of Denton County, Texas, and a portion of a called 623.211 acre tract of land described in the deed to Daredevil Communications LLC, recorded in Instrument No. 2018-109219, said Official Records, and a portion of a called 66.247 acre tract of land described as Tract III, in the deed to Gregory J. Egner, Jr., Trustee of the Egner Family Living Trust, recorded in Instrument No. 2016-23869, said Official Records, and a portion of a called 1892.409 acre tract of land described as Tract I and all of a called 219.478 acre tract of land described as Tract II, in the deed to NTCH-NM, LLC, recorded in Instrument No. 2024-44505, said Official Records, and being more particularly described as follows:

BEGINNING at a wooden right-of-way monument found in the east right-of-way line of FM 2164 (Variable width right-of-way), at a westerly corner of said 623.211 acre tract, at the southwest corner of Wild West Addition, a subdivision of record in Cabinet G, Page 150, Plat Records of Denton County, Texas;

THENCE North 89° 00' 03" East, with a north line of said 623.211 acre tract, a distance of 1562.78 feet to a 1/2-inch iron rod with a cap stamped 'RPLS 6677" found at a T-Post at the southeast corner of said Wild West Addition;

THENCE North 00° 29' 29" West, with a north line of said 623.211 acre tract, a distance of 1460.42 feet to a wood fence corner post found at the southwest corner of a called 11.015 acre tract described in deed to Jason Walden and wife, Marianne K. Benton Sharp, recorded in Instrument No. 2014-107288, said Official Records;

THENCE North 89° 02' 03" East, with a north line of said 623.211 acre tract, a distance of 2688.93 feet to a 1/2-inch capped iron rod found at the northwest corner of a called 10.021 acre tract described as Tract one in deed to Augie's Addition, L.L.C., recorded in Instrument No. 2008-40851, said official Records;

THENCE South 01° 10′ 35″ East, with a north line of said 623.211 acre tract, a distance of 1174.75 feet to a 1/2-inch capped iron rod found at the southwest corner of said 10.021 acre tract;

THENCE North 89° 09' 19" East, with a northerly line of said 623.211 acre tract, a distance of 741.27 feet to a 1/2-inch capped iron rod found at the southeast corner of said 10.021 acre tract, same being the northeast corner of said 623.211 acre tract, the northwest corner of said 1892.409 acre tract, and the southwest corner of a called 20.190 acre tract of land described in deed to Richard W. Freeman and Wife, Janice H. Freeman, recorded in Instrument No. 2009-147025, said Official Records;

THENCE North 88° 27' 29" East, with a north line of said 1892.409 acre tract, a distance of 2530.35 feet to a wooden fence corner post found at the southeast corner of Quail Ridge Estates, a subdivision of record in Cabinet R, Slide 274, said Plat Records, and in the west line of Culp Branch Addition, a subdivision of record in Cabinet B, Page 323, said Plat Records;

THENCE South 01° 28′ 30″ East, with a north line of said 1892.409 acre tract, a distance of 1977.73 feet to a 1-inch iron rod found at the southwest corner of a called 28.870 acre tract described in deed to Richard Alan Estes and Gaye Lynn Estes, Trustees of the Estes Family Living Trust, recorded in Instrument No. 2014-47520, said Official Records;

THENCE North 89° 02' 14" East, with a north line of said 1892.409 acre tract, a distance of 1883.14 feet to a 1/2-inch capped iron rod found (illegible) at the southeast corner of said 28.870 acre tract;

THENCE North 01° 10′ 24″ West, with a north line of said 1892.409 acre tract, a distance of 2799.94 feet to a 1-inch iron pipe found in the east line of said Culp Branch Addition;

THENCE North 01° 08' 36" West, continuing with a north line of said 1892.409 acre tract, a distance of 1324.91 feet to a 5/8-inch iron rod found at the northeast corner of a called 42.98 acre tract described as Tract II, in deed to Dave & Dave LTD, Co., recorded in Instrument No. 2001-80814, said Official Records, and at a southerly corner of Lake Ride Estates, a subdivision of record in Cabinet W, Page 651, said Plat Records;

THENCE North 01° 23' 13" West, continuing with a north line of said 1892.409 acre tract, a distance of 465.52 feet to a metal fence corner post found at a northwesterly corner of said 1892.409 acre tract and in a southerly line of said Lake Ridge Estates;

THENCE North 88° 59' 10" East, with a north line of said 1892.409 acre tract, a distance of 2876.25 feet to a metal fence corner post found at a northeasterly corner of said 1892.409 acre tract and at the southeast corner of a called 10.56 acre tract described in deed to Ronny Ryan Allen, recorded in Instrument No. 2011-59595, said Official Records, and in the west line of a called 16.00 acre tract described in deed to Jack Albert Jr. & Wendy Harrod Hall, Trustees of the Jack & Wendy Hall Living Trust, recorded in Instrument No. 2018-135544, said Official Records:

THENCE South 03° 18' 46" East, with a north line of said 1892.409 acre tract, a distance of 422.97 feet to a metal fence corner post found at the southwest corner of said 16.00 acre tract;

THENCE North 88° 56' 43" East, with a north line of said 1892.409 acre tract, a distance of 1703.91 feet to a calculated point in the north line of said 1892.409 acre tract, same being the south line of a called 33.021 acre tract described in deed to Dan C. Reding & Elizabeth J. Reding, recorded in Instrument No. 2011-92590, said Official Records,

THENCE crossing through said 1892.409 acre tract the following courses:

1. South 01°04'50" East 986.41 feet to a calculated point of curvature;

- 2. Along a non-tangential curve to the right, having a radius of 3899.85 feet, an arc length of 1327.94 feet, a delta angle of 19°30'35", and a chord which bears South 88°06'20" East a distance of 1321.53 feet to a calculated point of tangency;
- 3. South 78°21'04" East a distance of 295.48 feet to a calculated point;
- 4. South 11°38'56" West a distance of 831.24 feet to a calculated point of curvature;
- 5. Along a tangential curve to the left, having a radius of 1000.00 feet, an arc length of 222.17 feet, a delta angle of 12°43'46", and a chord which bears South 05°17'03" West a distance of 221.71 feet to a calculated point of tangency;
- 6. South 01°04'50" East a distance of 346.63 feet to a calculated point of curvature;
- 7. Along a tangential curve to the right, having a radius of 1000.00 feet, an arc length of 288.62 feet, a delta angle of 16°32'12", and a chord which bears South 07°11'16" West a distance of 287.62 feet to a calculated point of tangency;
- 8. North 89°13'22" East a distance of 1686.66 feet to a calculated point in the east line of said 1892.409 acre tract and the west right-of-way line of FM 2153 (Prescriptive right-of-way)

THENCE with the east line of said 1892.409 acre tract and the west right-of-way line of FM 2153 the following courses:

- 1. South 01°04'48" East a distance of 828.58 feet to a 5/8-inch found iron rod with plastic cap found;
- 2. South 00° 48' 48" East, a distance of 572.81 feet, to a mag nail found in a fence corner post at the northeast corner of a called 15.00 acre tract described in deed to Bijan Janami, Shahrivar Sobhanian & Shahla Nouri Kohani, recorded in Instrument No. 2024-50795, said Official Records;

THENCE South 89° 13' 22" West, with the east line of said 1892.409 acre tract, a distance of 2156.68 feet to a 1-inch iron rod found at the northwest corner of said 15.00 acre tract;

THENCE South 01° 04' 05" East, with the east line of said 1892.409 acre tract, a distance of 303.17 feet to a 1-inch iron pipe found at the southwest corner of said 15.00 acre tract;

THENCE South 01° 34′ 19″ East, continuing with the east line of said 1892.409 acre tract, a distance of 331.29 feet to a 1/2-inch capped iron rod found (illegible) at the northwest corner of a called 16.364 acre tract described in deed to Spire Tower US LLC, recorded in Instrument No. 2024-48396, said Official Records;

THENCE South 01° 29' 45" East, continuing with the east line of said 1892.409 acre tract, a distance of 242.84 feet to a 1/2-inch iron rod found at the most westerly southwest corner of said 16.364 acre tract;

THENCE South 73° 44' 27" East, continuing with the east line of said 1892.409 acre tract, a distance of 237.66 feet to a capped iron rod set;

THENCE South 82° 07' 13" East, continuing with the east line of said 1892.409 acre tract. a distance of 266.22 feet to a 3/8-inch iron rod found at the most southerly southwest corner of said 16.364 acre tract and the northwest corner of Parks Addition, a subdivision of record in

Instrument No. 2010-206, said Official Records;

THENCE with the east line of said 1892.409 acre tract and the west line of said Parks Addition, the following courses:

- 1. South 11° 04' 31" East, a distance of 138.03 feet;
- 2. South 32° 46' 02" East, a distance of 51.03 feet;
- 3. South 48° 18' 56" East, a distance of 56.57 feet;
- 4. South 68° 05' 51" East, a distance of 30.19 feet;
- 5. South 81° 20' 09" East, a distance of 27.00 feet;
- 6. South 88° 48' 25" East, a distance of 243.52 feet to a 1/2-inch iron rod found at the northwest corner of a called 37.7184 acre tract described in deed to Larry Hibberd & Spouse, Darlene Hibberd, recorded in Instrument No. 2000-4481, said Official Records;

THENCE with the east line of said 1892.409 acre tract and the west line of said 37.7184 acre tract, the following courses:

- 1. South 08° 13' 25" East, a distance of 631.62 feet;
- 2. South 04° 44′ 10″ East, a distance of 210.34 feet;
- 3. South 14° 00' 51" East, a distance of 106.56 feet;
- 4. South 19° 03' 47" East, a distance of 77.78 feet;
- 5. South 18° 22' 42" East, a distance of 176.66 feet;
- 6. South 28° 35' 49" East, a distance of 57.16 feet;
- 7. South 35° 51' 23" East, a distance of 64.50 feet;
- 8. South 76° 20' 21" East, a distance of 117.45 feet;
- 9. North 86° 19' 20" East, a distance of 145.94 feet;
- 10. South 61° 14' 20" East, a distance of 116.10 feet;
- 11. South 22° 57' 45" East, a distance of 147.48 feet to a capped iron rod set;

THENCE North 89° 32' 36" East, with the east line of said 1892.401 acre tract, a distance of 572.51 feet to a point in the west right-of-way line of FM 2153, at a northeasterly corner of said 1892.401 acre tract, from which a 1/2-inch iron rod found bears South 89° 32' 36" West, a distance of 1.41 feet;

THENCE South 00° 48' 48" East, a distance of 3094.50 feet to a capped iron rod set at the point of curvature;

THENCE along a tangential curve to the left, having a radius of 1191.00 feet, an arc length of 196.20 feet, a central angle of 09° 26′ 19″, and a chord which bears South 04° 26′ 21″ East, a distance of 195.98 feet to a mag nail set in Shepard Road (No Record Found, Prescriptive right-of-way), at the end of said curve;

THENCE with the south line of said 1892.409 acre tract and in said Shepard Road, the following courses:

1. South 89° 50' 46" West, a distance of 1858.57 feet to a mag nail set;

- 2. South 89° 28' 44" West, a distance of 945.64 feet to a 1/2-inch iron rod found;
- 3. South 89° 23' 55" West, a distance of 370.10 feet to a calculated point;

THENCE crossing through said 1892.409 acre tract the following courses:

- 1. North 01°02'45" West a distance of 590.38 feet to a calculated point;
- 2. North 37°34'12" West a distance of 314.06 feet to a calculated point;
- 3. South 87°04'32" West a distance of 385.50 feet to a calculated point;
- 4. South 00°44'40" West a distance of 825.89 feet to a calculated point in the south line of said 1892.409 acre tract and in said Shepard Road;

THENCE South 89°23'55" West, with the south line of said 1892.409 acre tract and in said Shepard Road a distance of 959.22 feet to Mag Nail Set at the southeast corner of a called 318.00 acre tract of land described in deed to Jones - Brown - Davis Limited Partnership, recorded in Instrument No. 2002-146053, said Official Public Records;

THENCE North 00° 44′ 22″ West, with a westerly line of said 1892.409 acre tract, a distance of 2953.22 feet to a metal fence corner post found at the northeast corner of a called 318.00 acre tract described in deed to Jones-Brown-Davis Limited Partnership, recorded in Instrument No. 2002-146053, said Official Records;

THENCE with the south line of said 1892.409 acre tract, the following courses:

- 1. South 88° 03' 15" West, a distance of 4794.40 feet to a capped iron rod set at a T-Post;
- 2. North 00° 55' 35" West, a distance of 1017.61 feet to a metal fence corner post found at the northeast corner of a called 202.501 acre tract described in deed to Eric Seymour & Elizabeth Seymour, recorded in Instrument No. 2013-79507, said Official Records;
- 3. South 88° 36' 29" West, a distance of 2289.40 feet to a 1/2-inch capped iron rod stamped "ALLIANCE" found at the northwest corner of said 202.501 acre tract and at the northeast corner of a called 9.987 acres tract described as Tract I in deed to Gregory J. Egner, Jr. Trustee of the Egner Family Living Trust, recorded in Instrument No. 2016-23869, said Official Records:
- 4. South 87° 55' 15" West, a distance of 249.50 feet to a 1/2-inch iron rod found at the southwest corner of said 1892.409 acre tract and the southeast corner of said a called 66.247 acre tract described as Tract III in deed to Gregory J. Egner, Jr., trustee of the Egner Family Living Trust, recorded in Instrument No. 2016-23869, of said Official Public Records;

THENCE North 00°43'45" West, along the west line of the 1892.409 acre tract, same being the east line of said 66.247 acre tract a distance of 1326.40 feet to a Fence Corner Post found at the northeast corner of said 66.247 acre tract;

THENCE North 87°27'43" West, with the south line of said 66.247 acre tract, same being the north line of said 66.247 acre tract, a distance of 2067.82 feet to a wood fence corner post found at the southwest corner of said 66.247 acre tract, and in the east line of said 623.211 acre tract;

THENCE South 00°36'57" East, with the south line of said 66.247 acre tract, same being the

west line of said 66.247 acre tract, a distance of 1465.31 feet to a wooden fence corner post found at the southwest corner of said 66.247 acre tract, same being the northwest corner of a called 15.00 acre tract described in deed to Richard G. Buckner, recorded in Instrument No. 2015-20724, said Official Public Records;

THENCE South 00° 40′ 20″ East, partially with the east line of said 623.211 acre tract and the east line of said 219.478 acre tract, a distance of 1127.14 feet to a 1/2-inch iron rod found at the northwest corner of a called 5.00 acre tract described as Tract I, in deed to Edward Flores & Wife, Diena Flores, recorded in Instrument No. 1984-39110 (Volume 1449, Page 258), Deed Records of Denton County, Texas, in Indian Wells Road (No Record Found, Prescriptive right-of-way assumed);

THENCE South 00° 42' 40" East, continuing with the east line of said 219.478 acre tract, a distance of 1515.14 feet to a 1/2-inch iron rod found at the southwest corner of a called 5.53 acre tract described in deed to C&P COUNTRYLIFE LLC, recorded in Instrument No. 2020-164077, said Official Records, and at the northwest corner of a called 9.887 acre tract described in deed to Lendal R. Patton & Wife, Lisa B. Patton, recorded in Instrument No. 1996-011783, said Official Records;

THENCE South 00° 27' 46" East, continuing with the east line of said 219.478 acre tract, a distance of 824.08 feet to a 1/2-inch iron rod found in Gribble Springs Road (No record found, Prescriptive right-of-way assumed), at the southeast corner of said 219.478 acre tract and the northeast corner of a called 2.00 acre tract described in deed to Mark Laird & Kristie Laird, recorded in Instrument No. 2017-94146, said Official Records;

THENCE South 89° 05' 08" West, with the south line of said 219.478 acre tract, a distance of 3024.85 feet to a 1/2-inch iron rod found at the southwest corner of said 219.478 acre tract;

THENCE North 00° 57′ 06″ West, with a westerly line of said 219.478 acre tract, a distance of 1380.73 feet to a metal fence corner post found at the northeast corner of a called 15.000 acre tract described in deed to Timothy Gene Trietsch, Karen Reynolds, Michael Trietsch & Patricia Temple, recorded in Instrument No. 2022-120814, said Official Records;

THENCE South 89° 17' 21" West, with a southerly line of said 219.478 acre tract, a distance of 653.46 feet to a 1/2-inch iron rod found at the northwest corner of said 15.000 acre tract, and at the northeast corner of a called 4.84 acre tract described in deed to Rodney Lane & Marlena Lane, recorded in Instrument No. 2013-17328, said Official Records;

THENCE South 89° 28' 10" West, continuing with a southerly line of said 219.478 acre tract, a distance of 600.27 feet to a wood fence corner post found at the southeast corner of said 0.862 acre tract;

THENCE North 00°42'39" West, with the east line of said 0.862 acre tract, a distance of 458.08 feet to a capped iron rod set for a point of curvature;

THENCE along a non-tangential curve to the left, with the west line of said 219.478 acre tract

and the east right-of-way line of FM 2164 (variable width right-of-way), having a radius of 955.37 feet, an arc length of 116.35 feet, a central angle of 06° 58' 40", a chord that bears North 01° 07' 57" West, a distance of 116.28 feet to a capped iron rod set for a point of tangency;

THENCE North 00° 55' 07" West, passing the northwest corner of said 219.478 acre tract at a distance of 650.95 feet and the southwest corner of said 623.211 acre tract, for a total distance of 667.23 feet to a capped iron rod set;

THENCE crossing through said 623.211 acre tract the following courses:

- 1. North 88°59'10" East a distance of 746.37 feet to a calculated point;
- 2. North 05°08'28" East a distance of 1021.55 feet to a calculated point;
- 3. North 44°59'46" East a distance of 1053.54 feet to a calculated point;
- 4. North 00°00'00" East a distance of 1501.06 feet to a calculated point;
- 5. South 89°00'03" West a distance of 946.48 feet to a calculated point in the west line of said 623.211 acre tract, same being the east right-of-way line of F.M. 2164;

THENCE along the west line of said 623.211 acre tract, same being the east right-of-way line of F.M. 2164 the following courses:

- 1. North 55°25'52" East, a distance of 163.35 feet to a capped iron rod set at the point of curvature;
- 2. Along a tangential the left, having a radius of 1186.30 feet, an arc length of 1144.63 feet, a central angle of 55° 16′ 59″, a chord which bears North 27° 47′ 22″ East, a distance of 1100.74 feet to a 1/2-inch capped iron rod found;
- 3. North 00°08'52" East, a distance of 333.40 feet to the POINT OF BEGINNING and enclosing 2,499.350 acres (108,871,672 square feet) of land, more or less.

# Exhibit B

(PD Development Standards)

# Exhibit B – DEVELOPMENT STANDARDS PD25-0003

#### **Craver Ranch**

PD - 2,499.35 acres

### **City of Denton, Denton County, Texas**

### **SECTION 1: Purpose Statement**

The purpose of the proposed Planned Development (PD) District is to facilitate a well-designed, comprehensive, master planned residential community encompassing approximately 2,499.35 acres (the "Property") located in the northern portion of the City of Denton, Denton County, Texas. The Property is generally between FM 2153 on the east and FM 2164 on the west. The majority of the immediate neighboring property is within the City of Denton's extra-territorial jurisdiction (ETJ). There are two school districts within the Property, Sanger ISD and Denton ISD. The proposed PD will be known as 'Craver Ranch'.

The proposed development will be a residential community focused on providing a variety of residential product types for all ages and stages of economic growth along with supporting commercial use located in mixed-use regional and neighborhood nodes. Craver Ranch will incorporate pedestrians and cyclists with a series of shared pathways providing connectivity to the various residential neighborhoods and parks provided throughout the development. Architectural consistency will be developed by integrating common, thematic architectural elements, color palettes, and characteristics throughout the development.

The regulations set forth in these development standards are for the PD District which consists of approximately 2,499.35 acres described in Exhibit A.

#### **SECTION 2: Definitions**

**Zero Lot Line Dwellings**: Detached single-family dwellings arranged on individual lots with one side wall located directly on a side property line.

**Concrete Washout Lot:** a designated, contained area on a construction site where concrete trucks, tools and equipment are washed.

### **SECTION 3: Permitted Uses and Dimensional Standards**

Where modifications are not expressly authorized within the Planned Development Standards, all requirements of the Denton Development Code, as amended, must be met.

The property shall be developed in accordance with Residential 4 (R4); Residential 7 (R7); Mixed-Use Neighborhood (MN), Mixed-Use Regional (MR) and Public Facilities (PF) Zoning Districts, and as provided within this PD as outlined in the following Permitted Uses table below.

### 3.1.1 Permitted Uses (DDC 5.2):

|                                  | Table 5.2-A: Table of Allowed Uses  |          |          |        |                           |                           |  |  |  |  |  |
|----------------------------------|---|----------|----------|--------|---------------------------|---------------------------|--|--|--|--|--|
|                                  | P = Permitted S = specific use permit required Blank cell = use prohibited + = use-specific standards apply |          |          |        |                           |                           |  |  |  |  |  |
|                                  | Resid   | ential   | Mixed    | -Use   | Other Non-<br>Residential | Use-<br>Specific<br>Stnds |  |  |  |  |  |
|                                  | R4  | R7       | MN       | MR     | PF                        |                           |  |  |  |  |  |
| Re                               | sidential Us  | ses      |          |        |                           |                           |  |  |  |  |  |
| Single-Family<br>Detached Dwelli | ng P+   | P+       | P+       |        |                           | 5.3.3A                    |  |  |  |  |  |
| 70-Foot Lot                      | P+  | P+       | P+       |        |                           | 5.3.3A                    |  |  |  |  |  |
| 60-Foot Lot                      | P+  | P+       | P+       |        |                           | 5.3.3A                    |  |  |  |  |  |
| 50-Foot Lot                      | P+  | P+       | P+       |        |                           | 5.3.3A                    |  |  |  |  |  |
| 40-Foot Lot                      | P+  | P+       | P+       |        |                           | 5.3.3A                    |  |  |  |  |  |
| Zero Lot Line                    | S+  | P+       | P+       | P+     |                           | 5.3.3B                    |  |  |  |  |  |
| Townhome                         | S+  | P+       | P+       | P+     |                           | 5.3.3B                    |  |  |  |  |  |
| Duplex                           | S+  | P+       | P+       | P+     |                           | 5.3.3C                    |  |  |  |  |  |
| Triplex                          |   | P+       | P+       | P+     |                           | 5.3.3C                    |  |  |  |  |  |
| Fourplex                         |   | P+       | P+       | P+     |                           | 5.3.3C                    |  |  |  |  |  |
| Multifamily Dwel                 | ling  | S+       | P+       | P+     |                           | 5.3.3D                    |  |  |  |  |  |
| Work/Live Dwelli                 | ng  | P+       | P+       | P+     |                           | 5.3.3F                    |  |  |  |  |  |
| Park, Playground<br>Open Space   | , P   | Р        | Р        | Р      | Р                         |                           |  |  |  |  |  |
| Gre                              | oup Living  |          |          |        |                           |                           |  |  |  |  |  |
| Elderly Housing                  | P+  | P+       | P+       | P+     |                           | 5.3.3H                    |  |  |  |  |  |
| Community Hom                    | ie P+   | P+       | P+       | P+     |                           | 5.3.31                    |  |  |  |  |  |
| Group Home                       | S+  | S+       | S+       | S+     |                           | 5.3.3J                    |  |  |  |  |  |
| Co                               | mmunity ar  | nd Cultu | ral Faci | lities |                           |                           |  |  |  |  |  |

|  | Table 5.2-A: Table of Allowed Uses  |           |          |         |         |                           |                           |  |  |  |
|--|---|-----------|----------|---------|---------|---------------------------|---------------------------|--|--|--|
|  | P = Permitted S = specific use permit required Blank cell = use prohibited + = use-specific standards apply |           |          |         |         |                           |                           |  |  |  |
|  |   | Reside    | ntial    | Mixed-  | -Use    | Other Non-<br>Residential | Use-<br>Specific<br>Stnds |  |  |  |
|  |   | R4        | R7       | MN      | MR      | PF                        |                           |  |  |  |
| Community                                | Service   | Р         | Р        | Р       | Р       | Р                         |                           |  |  |  |
| Day Care, A<br>Child                     | dult or   | S         | Р        | Р       | Р       |                           |                           |  |  |  |
| Religious As                             | sembly  | P+        | P+       | P+      | P+      | P+                        |                           |  |  |  |
| School, Priv                             | ate   | Р         | Р        | Р       | Р       | Р                         |                           |  |  |  |
| School, Pub                              | lic   | Р         | Р        | Р       | Р       | Р                         |                           |  |  |  |
| School, Cha                              | ırter   | Р         | Р        | Р       | Р       | Р                         |                           |  |  |  |
|  | Healtho   | are Fac   | ilities  |         |         |                           |                           |  |  |  |
| Hospital Sei                             | rvices  |           |          |         | P+      |                           | 5.3.4F                    |  |  |  |
| Medical Clir                             | nic   |           |          | P+ P+   |         |                           | 5.3.4G                    |  |  |  |
| Medical Offi                             | ice   |           |          | P+ P+   |         |                           | 5.3.4H                    |  |  |  |
|  | Agricult  | tural     |          |         |         |                           |                           |  |  |  |
| General Agr                              | iculture  | P+        | P+       | P+      | P+ P+   |                           | 5.3.5A                    |  |  |  |
| Community                                | Garden  | Р         | Р        | Р       | Р       | Р                         |                           |  |  |  |
|  | Recreat   | tional ar | d Enter  | tainme  | nt      |                           |                           |  |  |  |
| Amenity Cer                              | nter  | Р         | Р        | Р       | Р       |                           |                           |  |  |  |
| Indoor Recre<br>Facility                 | eation  |           |          | Р       | Р       |                           |                           |  |  |  |
| Outdoor Red<br>Facility                  | creation  | Р         | Р        | S       | S       |                           |                           |  |  |  |
|  | Food ar   | nd Bever  | age Ser  | vices   |         |                           |                           |  |  |  |
| Bar, Tavern,<br>Lounge                   | or  |           |          | S+      | Р       |                           | 5.3.5F                    |  |  |  |
| Mobile Food                              | l Court   |           |          | S+      | S+      |                           | 5.3.5G                    |  |  |  |
| Restaurant                               |   |           |          | Р       | Р       |                           |                           |  |  |  |
| Restaurant, with<br>Drive-Through        |   |           |          | P+      | P+      |                           | 5.3.5J                    |  |  |  |
|  | Office,   | Busines   | s, and P | rofessi | onal Se | rvices                    |                           |  |  |  |
| Administrati<br>Professiona<br>Governmen | l, &  |           |          | P+      | Р       | Р                         | 5.3.5K                    |  |  |  |

|  | Table 5.2-A: Table of Allowed Uses  |           |          |         |      |                           |                           |  |  |  |
|--|---|-----------|----------|---------|------|---------------------------|---------------------------|--|--|--|
|  | P = Permitted S = specific use permit required Blank cell = use prohibited + = use-specific standards apply |           |          |         |      |                           |                           |  |  |  |
|  |   | Reside    | ntial    | Mixed-  | -Use | Other Non-<br>Residential | Use-<br>Specific<br>Stnds |  |  |  |
|  |   | R4        | R7       | MN      | MR   | PF                        |                           |  |  |  |
| Bank or Fina<br>Institution  | ıncial  |           |          | P+      | Р    |                           | 5.3.5L                    |  |  |  |
| General Ret<br>Unless Othe<br>Specified, le<br>5,000 sf                          | erwise  |           | Р        | Р       | Р    | Р                         |                           |  |  |  |
| General Ret<br>Unless Othe<br>Specified, B<br>5,000 sf and<br>sf                 | erwise<br>etween  |           |          | Р       | Р    |                           |                           |  |  |  |
| General Retail<br>Unless Otherwise<br>Specified, Greater<br>than 15,000 sf       |   |           |          | S       | Р    |                           |                           |  |  |  |
|  | Lodging   | Facilitie | es       | _       | _    |                           |                           |  |  |  |
| Hotel  |   |           |          | Р       | Р    |                           |                           |  |  |  |
| Short-Term   | Rental  |           |          | P+      |      |                           | 5.3.5T                    |  |  |  |
|  | Vehicle   | s and Ed  | quipme   | nt      |      |                           |                           |  |  |  |
| Auto Wash  |   |           |          |         | Р    |                           |                           |  |  |  |
| Automotive<br>Sales  | Fuel  |           |          | S+      | P+   |                           | 5.3.5U                    |  |  |  |
| Automotive<br>Shop, Major  | -   |           |          |         | P+   |                           | 5.3.5V                    |  |  |  |
| Automotive<br>Shop, Minor  | -   |           |          | S+      | P+   |                           | 5.3.5W                    |  |  |  |
|  | Public a  | and Sem   | i-Public | Utility | Uses |                           |                           |  |  |  |
| Basic Utilitie   | es  | Р         | Р        | Р       | Р    | Р                         |                           |  |  |  |
| Power Stations,<br>Electric Substations,<br>Interchanges, and<br>Switch Stations |   |           |          | P+      | P+   | P+                        | 5.3.7A                    |  |  |  |
| Solar Collect<br>Principal Us  |   | P+        | P+       | P+      | P+   | P+                        | 5.3.7B                    |  |  |  |
|  | Accessor  | ry Uses   |          |         |      |                           |                           |  |  |  |

|  | Table 5.2-A: Table of Allowed Uses                  |   |                                    |        |      |                           |                           |  |        |  |  |  |  |
|--|---|---|------------------------------------|--------|------|---------------------------|---------------------------|--|--------|--|--|--|--|
|  |   | P = Permitted S = specific use permit required Blank cell = use prohibited + = use-specific standards apply |                                    |        |      |                           |                           |  |        |  |  |  |  |
|  |   | Reside  | ntial                              | Mixed- | -Use | Other Non-<br>Residential | Use-<br>Specific<br>Stnds |  |        |  |  |  |  |
|  |   | R4  | R7                                 | MN     | MR   | PF                        |                           |  |        |  |  |  |  |
| Accessory [<br>Unit                                | Owelling  | P+  | P+                                 |        |      |                           | 5.4.4A                    |  |        |  |  |  |  |
| Home Occu  | ıpation   | P+  | P+                                 | P+     | P+   |                           | 5.4.4C                    |  |        |  |  |  |  |
| Solar Collect<br>(Ground or I<br>Mounted)          |   | P+  | P+                                 | P+     | P+   | P+                        | 5.4.4F                    |  |        |  |  |  |  |
|  | Temporary Uses                                      |   |                                    |        |      |                           |                           |  |        |  |  |  |  |
| Model Hom  | e Park  | Р   | Р                                  |        |      |                           |                           |  |        |  |  |  |  |
| Concrete W<br>Lot                                  | ashout/   | Р   | Р                                  |        |      |                           |                           |  |        |  |  |  |  |
| Temporary S<br>Containers<br>Portable Sto<br>Units | & Other   | P+  | P+                                 | P+     | P+   |                           | 5.5.6A                    |  |        |  |  |  |  |
|  | Concrete or Asphalt<br>Batching Plant,<br>Temporary |   | atching Plant,                     |        | P+   | P+                        | P+                        |  | 5.5.6B |  |  |  |  |
|  |   |   | rmer's Market or<br>oen Air Market |        | P+   | P+                        | P+                        |  | 5.5.4  |  |  |  |  |
| Field or Cor<br>office                             | Field or Construction office                        |   | P+                                 | P+     | P+   |                           | 5.5.6C                    |  |        |  |  |  |  |
| Seasonal Sales                                     |   |   |                                    | P+     | P+   |                           | 5.5.4                     |  |        |  |  |  |  |
| Special Event                                      |   | P+  | P+                                 | P+     | P+   |                           | 5.5.4                     |  |        |  |  |  |  |
|  | Portable Wireless<br>Telecommunications             |   | P+                                 | P+     | P+   |                           | 5.5.4                     |  |        |  |  |  |  |
|  |   |   |                                    |        |      |                           |                           |  |        |  |  |  |  |

### 3.1.2 **Prohibited Uses:**

Any land use not expressly permitted within these PD District Standards.

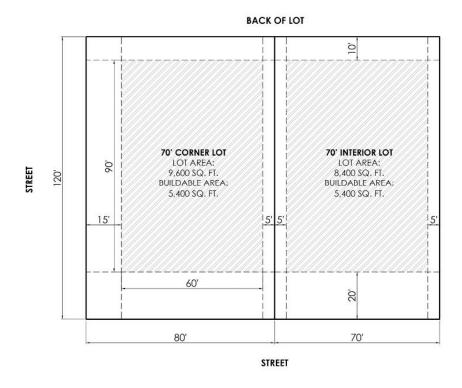
**3.2 Dimensional Standards:** The property shall be developed in accordance with the Zoning Plan attached as Exhibit C. The development shall comply

with the dimensional and development standards as outlined, unless otherwise outlined in Section 3.2 below.

### **Subdivision Regulations:**

- a) Lot planning and subdivision design shall comply with DDC 8.3, except where modified below.
- b) The lot widths shall be measured along the arc of the primary structure setback line.
- c) For Cul-de-sacs and eye-brows/elbows, for all lots 40' in width or wider, the minimum lot width measured at the building line may be reduced by a maximum of five (5) feet; the minimum lot width measured at the right-of-way line shall be thirty-five (35) feet.
- d) Side lot lines may deviate from perpendicular or radial to the right-of-way up to 15 degrees.

### 3.2.1 70' Lot - Residential



### Minimum Lot Dimensions

Lot area: 8,400 square feet

Lot width: 70 feet (interior); 80 feet (corner lot)

Lot depth: 120 feet

### Minimum Setbacks:

Front yard: 20 feet

Side yard: 5 feet (interior); 15 feet (corner lot)

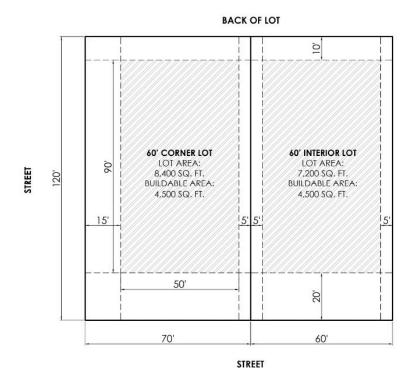
Rear yard: 10 feet

### Other Standards:

Building height (maximum): 2-story and 40 feet

Building coverage (maximum): 65%

### 3.2.2 60' Lot – Residential



### Minimum Lot Dimensions

Lot area: 7,200 square feet

Lot width: 60 feet (interior); 70 feet (corner lot)

Lot depth: 120 feet

### Minimum Setbacks:

Front yard: 20 feet

Side yard: 5 feet (interior); 15 feet (corner lot)

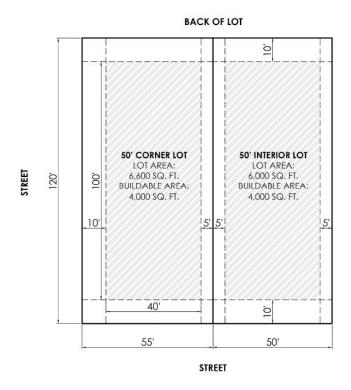
Rear yard: 10 feet

### Other Standards:

Building height (maximum): 2-story and 40 feet

Building coverage (maximum): 65%

### 3.2.3 50' Lot – Residential



### Minimum Lot Dimensions

Lot area: 6,000 square feet

Lot width: 50 feet (interior); 55 feet (corner lot)

Lot depth: 120 feet

### Minimum Setbacks:

Front yard: 10 feet

Side yard: 5 feet (interior); 10 feet (corner lot)

Rear yard: 10 feet

### Other Standards:

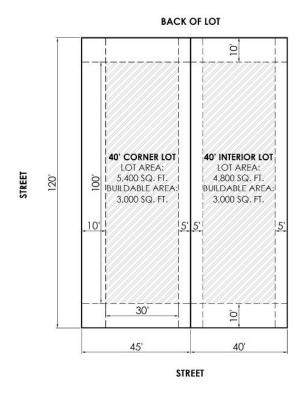
Building height (maximum): 2-story and 40 feet

Building coverage (maximum): 67%

Maximum number of residential lots: 3,056\*

<sup>\*</sup> The maximum number of 50' wide lots may vary by ten percent (10%) as approved administratively if the overall number of residential lots is not exceeded.

### 3.2.4 40' Lot - Residential



### Minimum Lot Dimensions

Lot area: 4,800 square feet

Lot width: 40 feet (interior); 45 feet (corner lot)

Lot depth: 120 feet

### Minimum Setbacks:

Front yard: 10 feet

Side yard: 5 feet (interior); 10 feet (corner lot)

Rear yard: 10 feet

### Other Standards:

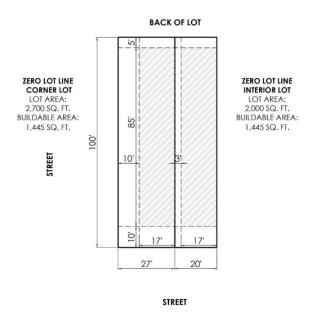
Building height (maximum): 2-story and 40 feet

Building coverage (maximum): 65%

Maximum number of residential lots: 2,254\*

<sup>\*</sup> The maximum number of 40' wide lots may vary by ten percent (10%) as approved administratively if the overall number of residential lots is not exceeded.

### 3.2.5 Zero Lot Line - Residential



### Minimum Lot Dimensions

Lot area: 2,000 square feet

Lot width: 20 feet (interior); 27 feet (corner lot)

Lot depth: 100 feet

### Minimum Setbacks:

Front yard: 10 feet

Side yard: 0 feet and 3 feet (interior); 10 feet (corner lot)

Each lot shall have a 0-foot side yard setback and a minimum 3-foot setback for the opposite side yard lot line.

Rear yard: 5 feet

### Other Standards:

Any zero lot line residential lots shall have rear-entry garages accessible from alleys.

Building height (maximum): 2-story and 40 feet

Building coverage (maximum): 85%

Maximum number of residential lots: 1,084\*

\* The maximum number of zero lot line (ZLL) lots may increase by decreasing the corresponding number of multi-family units, as approved administratively if the overall number of TH and ZLL lots plus multi-family unit total is not exceeded. The zero lot line unit count shall be considered in the maximum number of townhome units (i.e. not a part of the single-family lot).

### 3.2.6 MN – Mixed-Use Neighborhood

Minimum Lot Dimensions

Lot area: 2,500 square feet

Lot width: 20 feet

Lot depth: 50 feet

Minimum Setbacks:

Front yard: 10 feet

Side yard: none

Rear yard: none

Other Standards:

Building height (maximum): 65 feet

Building coverage (maximum): 80%

### 3.2.7 MR - Mixed-Use Regional

Minimum Lot Dimensions

Lot area: none

Lot width: none

Lot depth: none

Minimum Setbacks:

Front yard: none

Side yard: none

Rear yard: none

Other Standards:

Building height (maximum): 100 feet

Building coverage (maximum): 90%

### 3.2.8 Overall Residential Development Summary

- a. The following summary of residential lots corresponds with the Development Plan, Exhibit D.1.
- b. The number of lot types shall be as prescribed in the above table and as provided within the PD Development Plan. The Director may administratively approve an increase in the total maximum number of 50-foot and 40-foot wide lots permitted by no more than 10%.

|       | GROSS AREA | SF UNITS | TH/ZERO<br>LOT LINE<br>UNITS | MF UNITS |
|-------|------------|----------|------------------------------|----------|
|       |            |          |                              |          |
| TOTAL | ±2,499.35  | 7,091    | 1,084 <sup>1</sup>           | 1,015¹   |

<sup>&</sup>lt;sup>1</sup> Number of multi-family units may be decreased by increasing the townhome or zero lot line units by the corresponding number of units.

### **SECTION 4: Development Standards**

This PD District shall comply with the development standards listed in this Section below, and in accordance with the Zoning Plan and Landscape & Open Space Plan as attached Exhibits respectively. Otherwise, all requirements of the 2019 Edition of the Denton Development Code (DDC) shall apply except where modified herein.

### 4.1 Residential Landscape Standards

### 4.1.1 Screening Regulations

- a. Mechanical equipment shall be located in the rear yard or on the side of the residence, outside of the side yard setback.
- The screening requirement for all residential uses shall be a six (6) foot solid masonry wall for lots backing or siding to a Major Arterial, Minor Arterial, Major Collector, and Minor Collector.

#### 4.1.2 Minimum Landscaping

- a. Front yard landscaping shall be minimum 30% of the front yard area.
- b. Rear yard landscaping shall be minimum 20% of the rear yard area.
- c. Unless specified below, every residential lot shall have at least one (1) tree of a minimum 3"-caliper in a location determined by the builder.

- a. Zero Lot Line and townhome residential lots shall be required to have at least one (1) small accent tree of a minimum 30-gallon container in a location determined by the builder.
- d. All residential lot trees described here shall be planted by the homebuilder.
- e. Full landscaped yard (front, side and rear) sod and irrigation required for all residential lots.

#### 4.1.3 Street Trees

- Street trees for internal streets shall be located within the street right-of-way or within private open space lots adjacent to the street, subject to spacing needs.
- b. At least one (1) street tree is required for every 40 feet of street frontage

### 4.1.4 Fencing

- a. Fencing in the front yards is not allowed.
- b. Masonry, wrought iron / tubular steel / decorative metal, or a combination of the two is required for the portion of any lot's boundary that is adjacent to an amenity, open space, greenbelt, or other open area.
  - a. Fencing adjacent to an amenity, open space, greenbelt, or other open areas shall be installed by the developer.
  - b. A continuous row of evergreen shrubs shall be installed by the developer on the amenity, open space, greenbelt, or other open areas lot along any wrought iron / tubular steel / decorative metal fence.
  - c. Maintenance of the fence and landscaping within the amenity, open space, and greenbelt areas shall be the responsibility of a Property Owners' Association.

#### c. Wood Fencing:

- a. All wooden fencing shall be stained and preserved.
- b. All fencing adjacent to public ROW, open spaces, or public view on a Lot shall be no less than six feet (6') in height from grade, and shall be constructed board-on-board, of spruce wood with steel posts.
- c. Posts for all wood fences must not be visible on any fence facing the street, front of a home, any Common Area, Open Space or other highly visible area.
- d. Fencing for interior Lots not visible from any public standpoint shall be board-to-board, spruce or better.
- e. All wood fences shall adjust for grade and maintain at least one inch (1") gap between the ground and wood to prevent rotting or decay. Vertical posts spacing should be no more than eight feet (8') on center or less and set in concrete post footings of a minimum of ½ the height of the post. All fencing shall include a top cap or trim and be stained.

- d. Wrought Iron / Tubular Steel / Decorative Metal Fencing:
  - a. In addition to the standards below, the use of wrought iron, tubular steel, and/or decorative metal fencing shall comply with the Denton Development Code in regard to location, material, height, and style.
  - b. Wrought iron, tubular steel, and/or decorative metal fencing, to be installed by the Developer, shall be black and of a type designed to be rust proof and suitable for Texas weather.
  - c. Minimum height shall be no less than three (3) feet and maximum of six (6) feet.
- e. Masonry Fencing:
  - a. Masonry Fencing shall consist of brick, stone, or decorative concrete panels.
  - b. Masonry fencing shall be no less than six feet (6') in height from grade.
  - c. Decorative masonry pilasters shall be required at a maximum of 50' on center.

### 4.2 Parking Standards

### 4.2.1 Amount of off-street parking required

- a. The minimum parking requirements will comply with DDC Section 7.9.
- b. The minimum parking requirement for Zero Lot line development is two (2) spaces per dwelling unit.

### 4.3 Site and Building Design Standards

Site and building design shall comply with DDC 7.10, as amended, except where modified below:

### 4.3.1.1 Anti-Monotony Requirements.

a. No front house elevation on a single-family residence shall be repeated on the same side of the street unless it is separated by a minimum of four (4) lots from the same elevation. No front house elevation on a single-family residence shall be repeated directly across the street or within two (2) lots of one another on either side of the residence and on either side of the street.

#### 4.3.2 Parkland

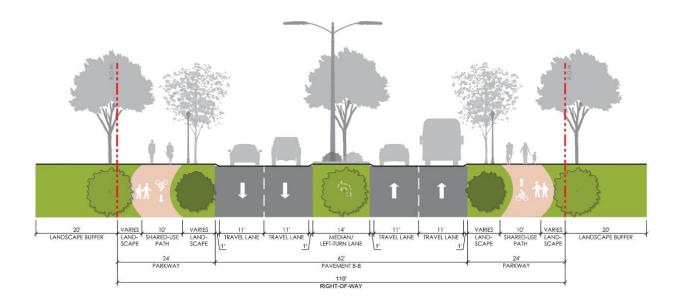
The developer shall coordinate park land dedication with the City's Parks and Recreation Department to compose a Project Agreement (the "Agreement") specifying required park land dedication and improvements. The agreement shall require approval of the Denton City Council. No part of the Agreement shall conflict with the Landscape/Open Space Plan included within the PD Zoning and Development Plan. Required park land dedication and improvements shall be comply with the Agreement.

### 4.4 Access and Circulation

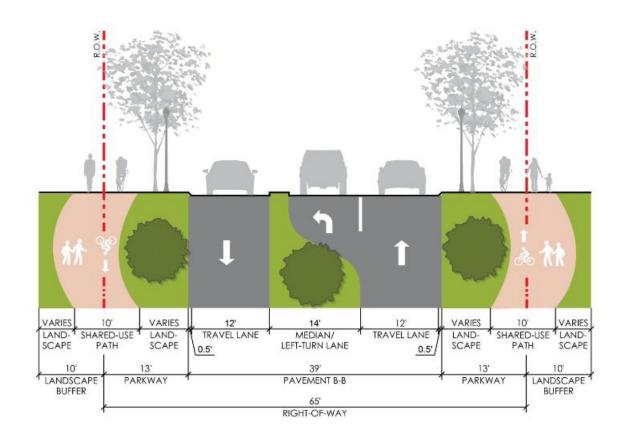
#### 4.4.1 Traffic Circles:

When determined to be necessary by a TIA, traffic circles with surmountable curb shall be utilized as a traffic calming measure. Any landscape islands installed within the public right-of-way must be constructed with a surmountable curb and landscaping which does not impede visibility and complies with the City's Standard Details for curb and gutter.

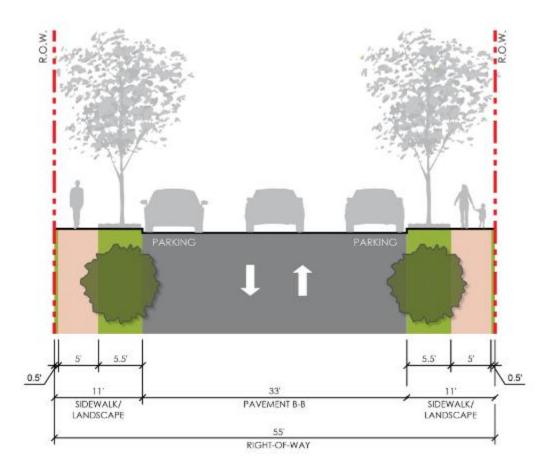
### 4.4.2 Secondary Arterial Street Cross-Section:



### 4.4.3 Collector Street Cross-Section:



#### 4.4.4 Residential Street Cross-Section:



### 4.5 Regulation of Signs

### 4.5.1 General Signage Requirements (Residential and Commercial)

- a. New signs shall comply with the Denton Code of Ordinances Chapter 33, except where modified below.
- b. No ground signs shall have an effective copy display area greater than one hundred fifty (150) square feet or a greater height that twenty (20) feet.
- c. No wall sign(s) shall have an effective sign area greater than 30% of the total area of the façade for which the sign is proposed.
- d. Vinyl signs and signs painted on windows and doors of new nonresidential buildings may be permitted and shall not require a permit.
- e. Public facilities and community service facilities may be permitted to construct on-site electronic message boards. This includes signs, illuminated from within, which have any type of intermittent illumination, including flashing, fading, revolving or blinking lights, or any type of moving,

- traveling or changing message by means of illumination. The images and messages on these signs may change at intervals no less than 15 seconds.
- f. Any illuminated (internal or external) ground sign exceeding 15 feet in height shall maintain a minimum separation of 200 feet from all single- family residential lot.

### **SECTION 5: Subdivision**

The PD District shall follow all subdivision standards in DDC Subchapter 8, as amended, except where modified herein.

### **5.1 Permits for Construction Activity or Public Improvements**

#### 5.1.1 Model Homes

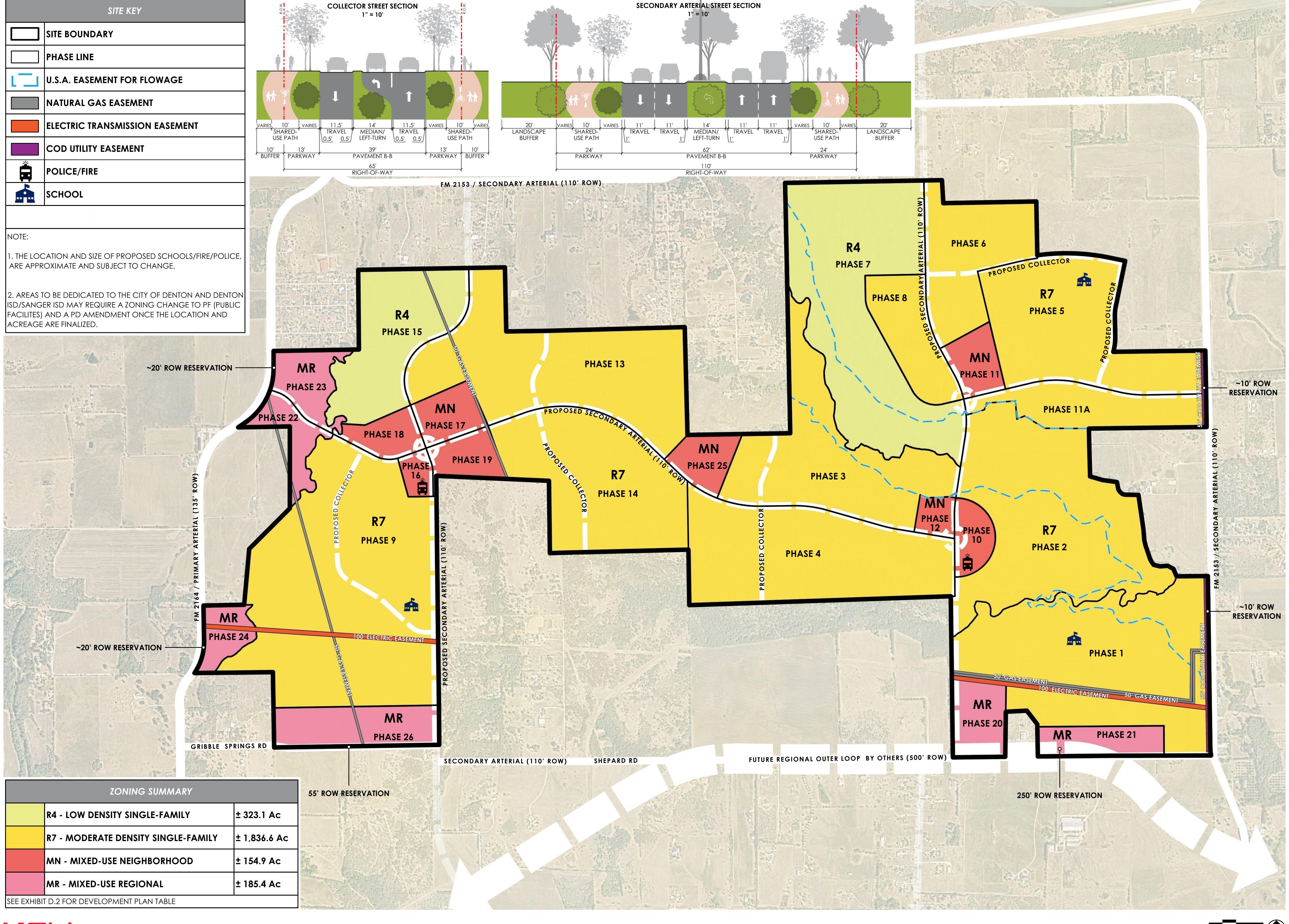
- a. A developer may construct no more than eight (8) model homes within a single-family detached, duplex, or townhome development phase containing public improvements that have not yet been finally accepted, provided that:
  - a. All off-site, drainage or regional improvements have been installed, inspected and accepted;
  - Each model home is inspected and found to meet all building, plumbing and fire code requirements prior to being opened to observation by the public;
  - The home will not be sold or occupied as a dwelling unit until all
    public improvements within that phase have been completed and
    accepted by the city; and
  - d. The homes comply with Section 7.3 Land-Disturbing Activities.

### **SECTION 6:** Development Phasing

The PD District will be developed in multiple phases as depicted on the Phasing Plan provided as Exhibit G. The development phases are subject to builder take down and market conditions. While the phasing plan depicts numeric phases, they may be taken out of sequence based on market demands. Construction/Dedication of public improvements (excluding schools) shall occur with the adjacent phase.

# **Exhibit C**

(PD Development Plan)





|    |           |             |                             |          |          |          |                     |     |      | DEVE          | LOPMEN        | T SUMM        | ARY TAI     | BLE      |         |                          |                                |  |    |
|----|-----------|-------------|-----------------------------|----------|----------|----------|---------------------|-----|------|---------------|---------------|---------------|-------------|----------|---------|--------------------------|--------------------------------|--|----|
|    | PHASE     | GROSS ACRES | LOT TYPE MIX <sup>1,6</sup> |          |          |          |                     |     |      | MAX. DENSITY  |               |               |             | DWELLING | UNITS & | SQ.FT. <sup>2,3</sup>    | PARKS                          | SCHOOLS  |    |
|    |           |             | 70' LOTS                    | 60' LOTS | 50' LOTS | 40' LOTS | TH/ZERO<br>LOT LINE | MF  | СОММ | SF<br>DENSITY | TH<br>DENSITY | MF<br>DENSITY | COMM<br>FAR |          | TH/ZERO | MF<br>UNITS <sup>8</sup> | COMM<br>SQ. FT. <sup>4,5</sup> |  |    |
|    | PHASE 1   | 241.0       | 5%                          | 10%      | 50%      | 35%      |                     |     |      | 5.2           |               |               |             | 759      | 0       | 0                        | 0                              | NEIGHBORHOOD PARK, CENTRAL PARK                  | ES |
|    | PHASE 2   | 225.7       |                             | 10%      | 50%      | 40%      |                     |     |      | 6.0           |               |               |             | 425      | 0       | 0                        | 0                              | DISTRICT PARK, CENTRAL PARK, AMENITY CENTER      |    |
|    | PHASE 3   | 154.3       | 5%                          | 10%      | 50%      | 35%      |                     |     |      | 5.2           |               |               |             | 417      | 0       | 0                        | 0                              | CENTRAL PARK                                     |    |
|    | PHASE 4   | 178.4       | 5%                          | 10%      | 50%      | 35%      |                     |     |      | 5.2           |               |               |             | 639      | 0       | 0                        | 0                              |  |    |
|    | PHASE 5   | 153.2       |                             | 10%      | 50%      | 40%      |                     |     |      | 5.2           |               |               |             | 407      | 0       | 0                        | 0                              | CENTRAL PARK, AMENITY CENTER                     | MS |
|    | PHASE 6   | 88.0        | 5%                          | 10%      | 50%      | 35%      |                     |     |      | 5.2           |               |               |             | 364      | 0       | 0                        | 0                              |  |    |
|    | PHASE 7   | 221.2       | 30%                         | 70%      |          |          |                     |     |      | 4.5           |               |               |             | 592      | 0       | 0                        | 0                              | CENTRAL PARK                                     |    |
|    | PHASE 8   | 52.7        | 5%                          | 10%      | 50%      | 35%      |                     |     |      | 5.2           |               |               |             | 173      | 0       | 0                        | 0                              |  |    |
|    | PHASE 9   | 328.1       |                             | 10%      | 50%      | 40%      |                     |     |      | 6.0           |               |               |             | 1,138    | 0       | 0                        | 0                              | NEIGHBORHOOD PARK, DISTRICT PARK, AMENITY CENTER | ES |
|    | PHASE 10  | 19.7        |                             |          |          |          | 50%                 |     | 50%  |               | 9.0           |               | 0.25        | 0        | 132     | 0                        | 84,398                         |  |    |
|    | PHASE 11  | 23.1        |                             |          |          |          | 50%                 |     | 50%  |               | 9.0           |               | 0.25        | 0        | 148     | 0                        | 102,366                        |  |    |
|    | PHASE 11A | 61.3        | 5%                          | 10%      | 50%      | 35%      |                     |     |      | 5.2           |               |               |             | 304      | 0       | 0                        | 0                              | DISTRICT PARK                                    |    |
|    | PHASE 12  | 11.4        |                             |          |          |          | 50%                 |     | 50%  |               | 9.0           |               | 0.25        | 0        | 95      | 0                        | 39,204                         |  |    |
|    | PHASE 13  | 197.6       | 5%                          | 10%      | 50%      | 35%      |                     |     |      | 5.2           |               |               |             | 827      | 0       | 0                        | 0                              | NEIGHBORHOOD PARK, AMENITY CENTER                |    |
|    | PHASE 14  | 156.2       | 5%                          | 10%      | 50%      | 35%      |                     |     |      | 5.2           |               |               |             | 586      | 0       | 0                        | 0                              |  |    |
|    | PHASE 15  | 101.8       | 30%                         | 70%      |          |          |                     |     |      | 4.5           |               |               |             | 352      | 0       | 0                        | 0                              |  |    |
|    | PHASE 16  | 10.0        |                             |          |          |          | 50%                 |     | 50%  |               | 9.0           |               | 0.25        | 0        | 102     | 0                        | 46,827                         |  |    |
|    | PHASE 17  | 23.8        |                             |          |          |          | 50%                 |     | 50%  |               | 9.0           |               | 0.25        | 0        | 144     | 0                        | 97,466                         |  |    |
|    | PHASE 18  | 21.5        |                             |          |          |          | 50%                 |     | 50%  |               | 9.0           |               | 0.25        | 0        | 138     | 0                        | 90,387                         |  |    |
|    | PHASE 19  | 22.4        |                             |          |          |          | 50%                 |     | 50%  |               | 9.0           |               | 0.25        | 0        | 164     | 0                        | 122,513                        |  |    |
|    | PHASE 20  | 31.2        |                             |          |          |          |                     | 40% | 60%  |               |               | 34.0          | 0.25        | 0        | 0       | 205                      | 138,521                        |  |    |
|    | PHASE 21  | 29.0        |                             |          |          |          |                     | 40% | 60%  |               |               | 34.0          | 0.25        | 0        | 0       | 114                      | 94,743                         |  |    |
|    | PHASE 22  | 24.0        |                             |          |          |          |                     | 40% | 60%  |               |               | 34.0          | 0.25        | 0        | 0       | 56                       | 66,647                         |  |    |
|    | PHASE 23  | 30.0        |                             |          |          |          |                     | 40% | 60%  |               |               | 34.0          | 0.25        | 0        | 0       | 205                      | 138,521                        |  |    |
|    | PHASE 24  | 20.7        |                             |          |          |          |                     | 40% | 60%  |               |               | 34.0          | 0.25        | 0        | 0       | 43                       | 60,767                         |  |    |
|    | PHASE 25  | 23.1        |                             |          |          |          | 50%                 |     | 50%  |               | 9.0           |               | 0.25        | 0        | 161     | 0                        | 122,513                        |  |    |
|    | PHASE 26  | 50.5        |                             | 10%      | 20%      | 20%      |                     | 40% | 10%  | 6.0           |               | 34.0          | 0.25        | 108      | 0       | 392                      | 38,224                         |  |    |
| TO | OTAL      | 2,499.9     |                             |          |          |          |                     |     |      |               |               |               |             | 7,091    | 1,084   | 1,015                    | 1,243,097                      |  |    |

<sup>1</sup> LOT TYPE MIX CAN VARY +/- 10 PERCENT.



<sup>&</sup>lt;sup>2</sup> MAXIMUM DWELLING UNITS AND COMMERCIAL SQUARE FOOTAGE CAN VARY +/- 10 PERCENT.

<sup>&</sup>lt;sup>3</sup> MAXIMUM DWELLING UNITS AND COMMERCIAL SQUARE FOOTAGE IS BASED ON NET DEVELOPABLE AREA.

<sup>&</sup>lt;sup>4</sup> COMMERCIAL SQUARE FOOTAGE IS BASED ON SINGLE-STORY BUILDING.

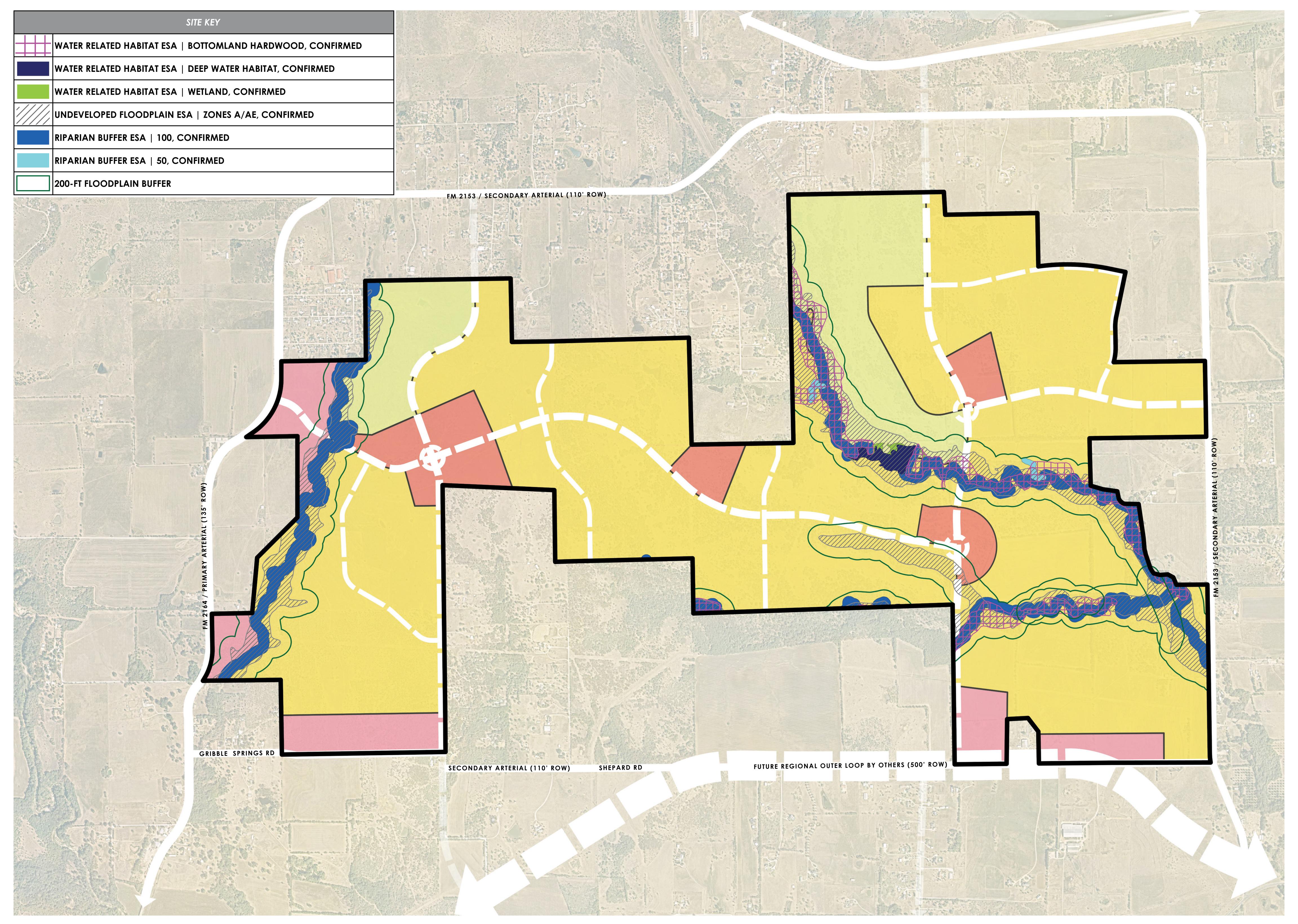
<sup>&</sup>lt;sup>5</sup> COMMERCIAL SQUARE FOOTAGE IS SHOWN AS AN ESTIMATE. ACTUAL DENSITY OF COMMERCIAL DEVELOPMENT WILL COMPLY WITH THE CITY OF DENTON'S ZONING CRITERIA FOR MN OR MR ZONING CATEGORIES.

<sup>&</sup>lt;sup>6</sup> LAND AREA DESIGNATED AS TOWHOME AND MULTIFAMILY IS ALLOWED TO BE REDISTRIBUTED TO SINGLE-FAMILY LOTS.

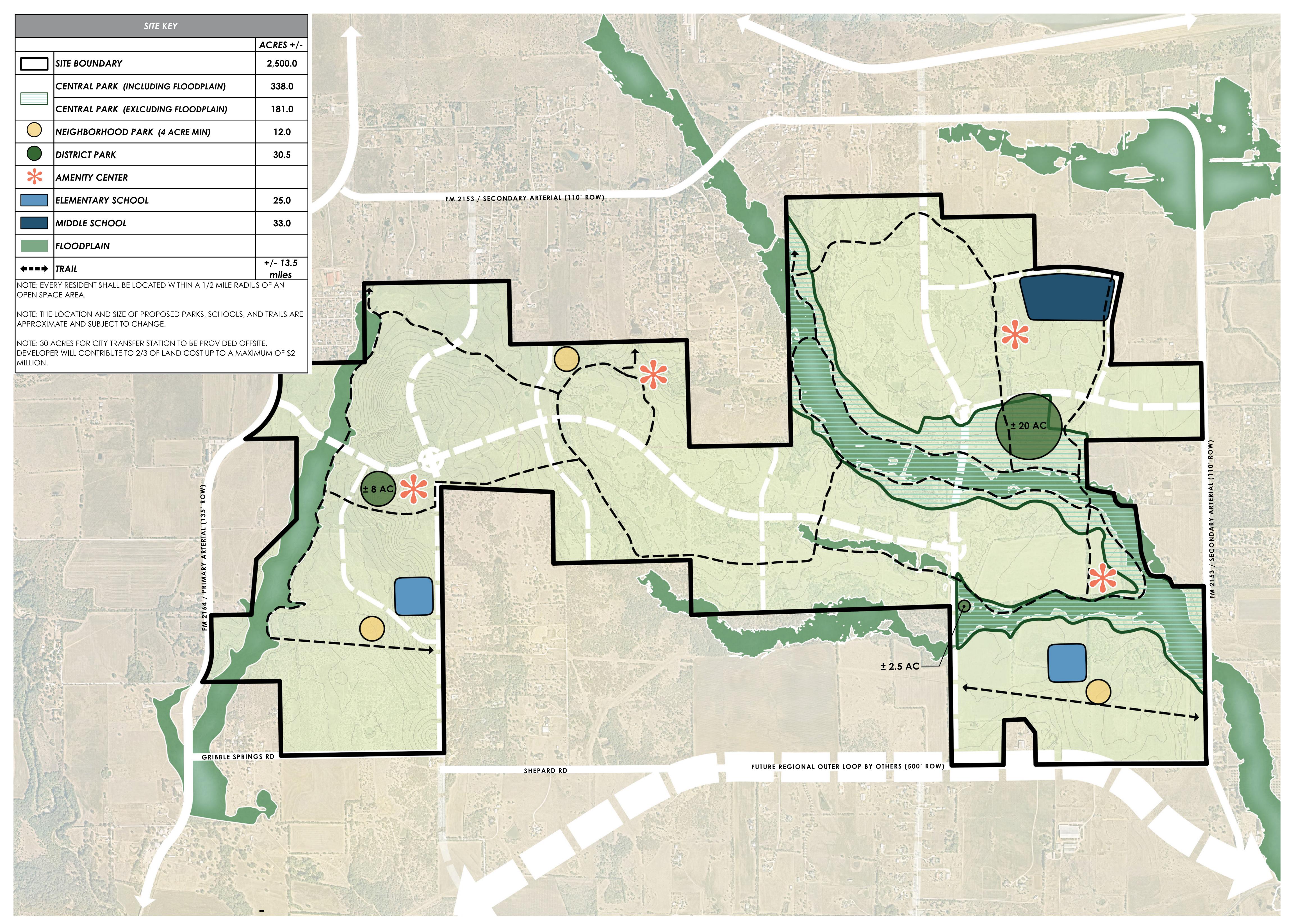
<sup>&</sup>lt;sup>7</sup> THE MAXIMUM NUMBER OF LOTS ARE TRANSFERRABLE BETWEEN PHASES SO LONG AS THE MAXIMUM TOTAL NUMBER OF LOTS IS NOT EXCEEDED.

<sup>&</sup>lt;sup>8</sup> THE NUMBER OF MULTIFAMILY UNITS MAY BE DECREASED BY INCREASING THE TOWNHOME OR ZERO LOT LINE UNITS BY THE CORRESPONDING NUMBER OF UNITS.

NOTE: REFERENCE APPROVED TRAFFIC SCOPING MEMO TSC24-0025 FOR TRIP GENERATION TABLE.

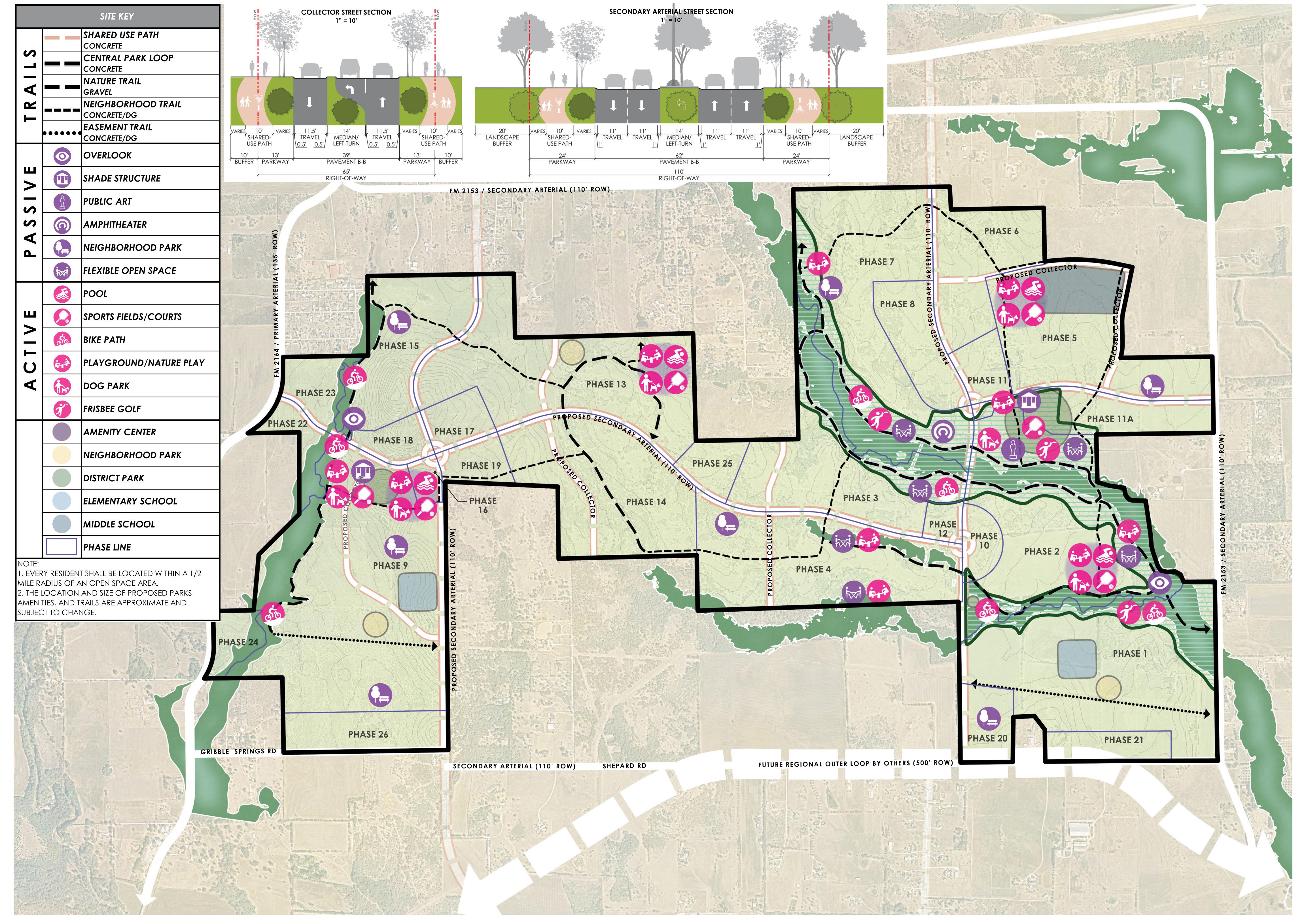




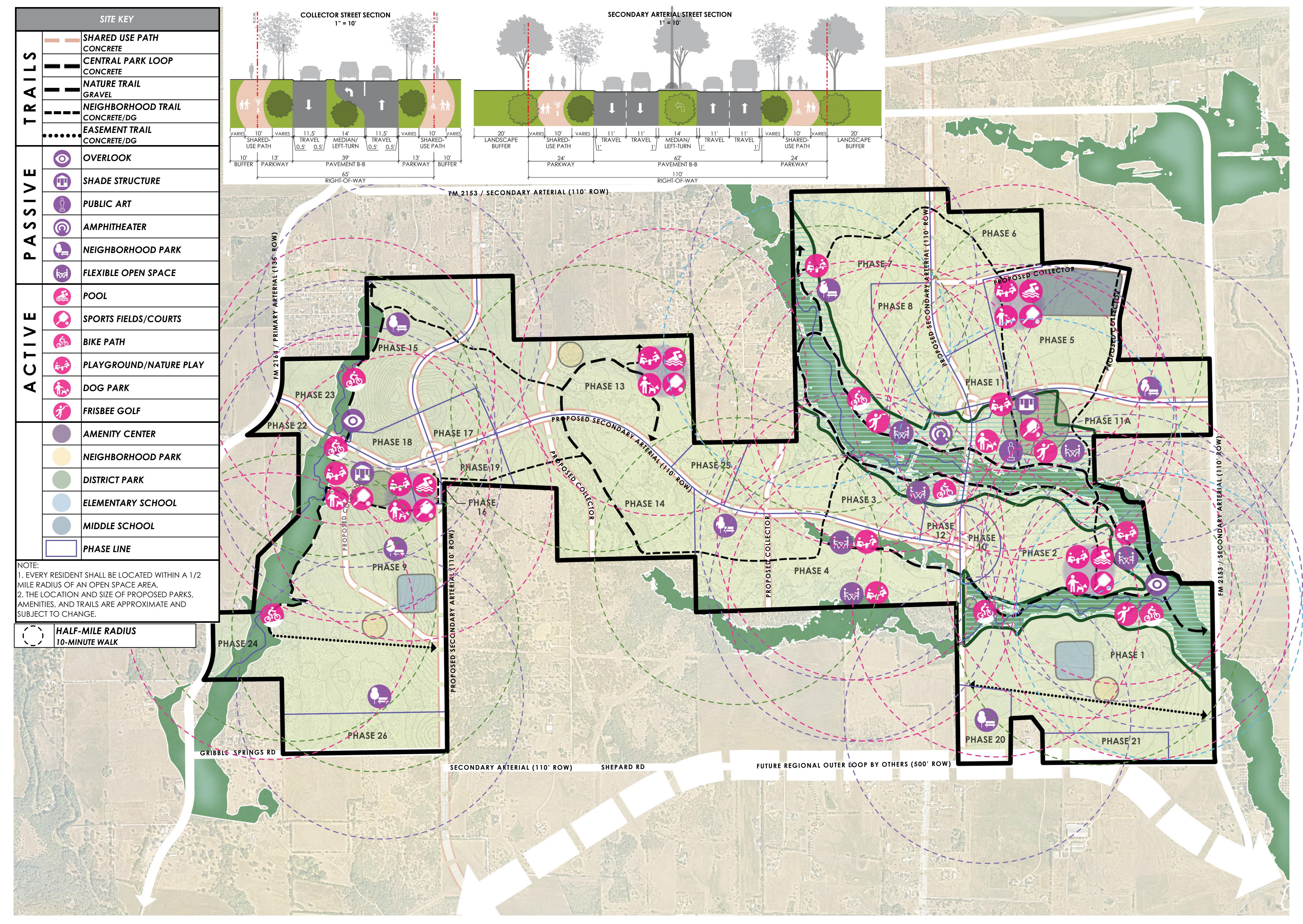




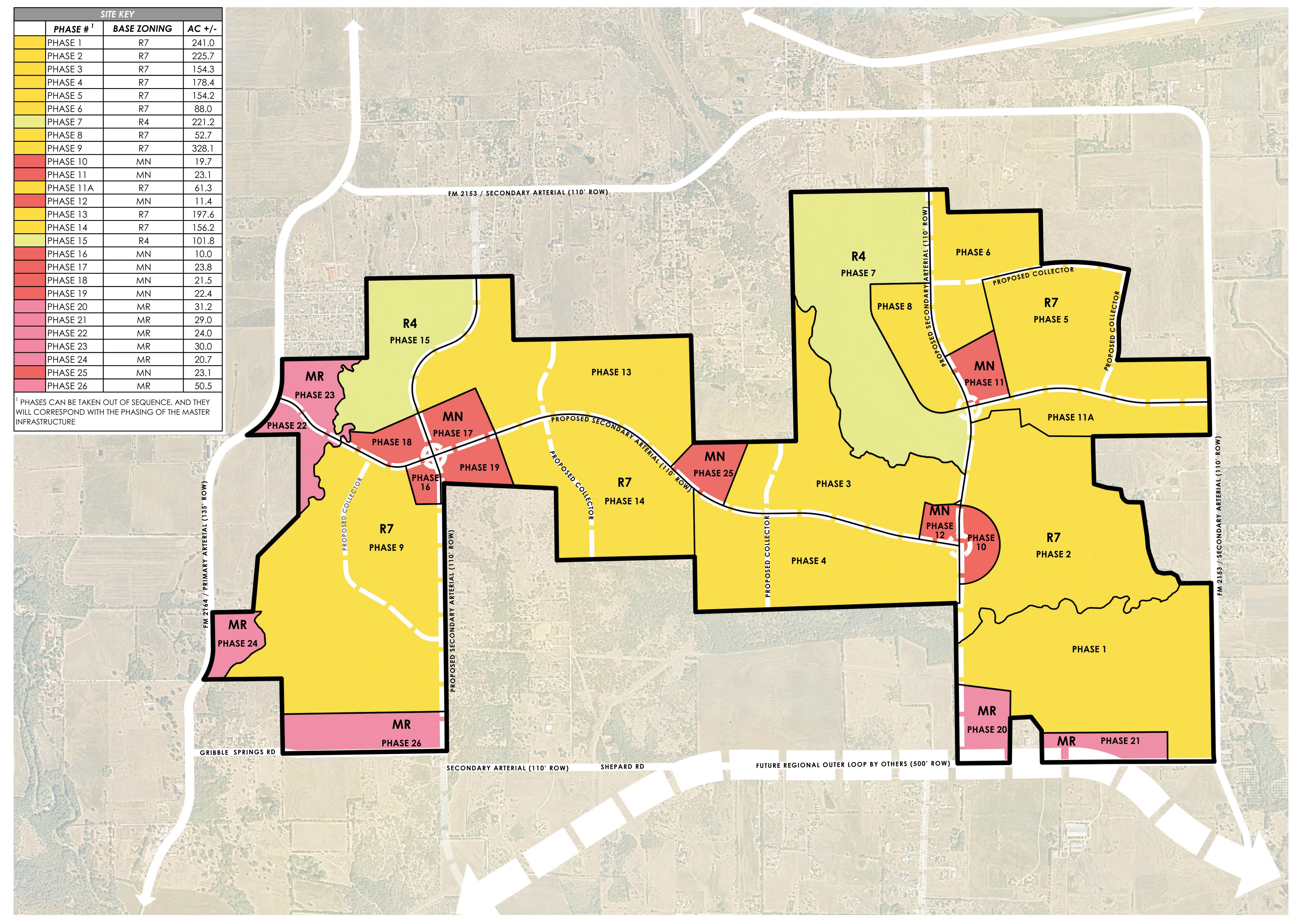




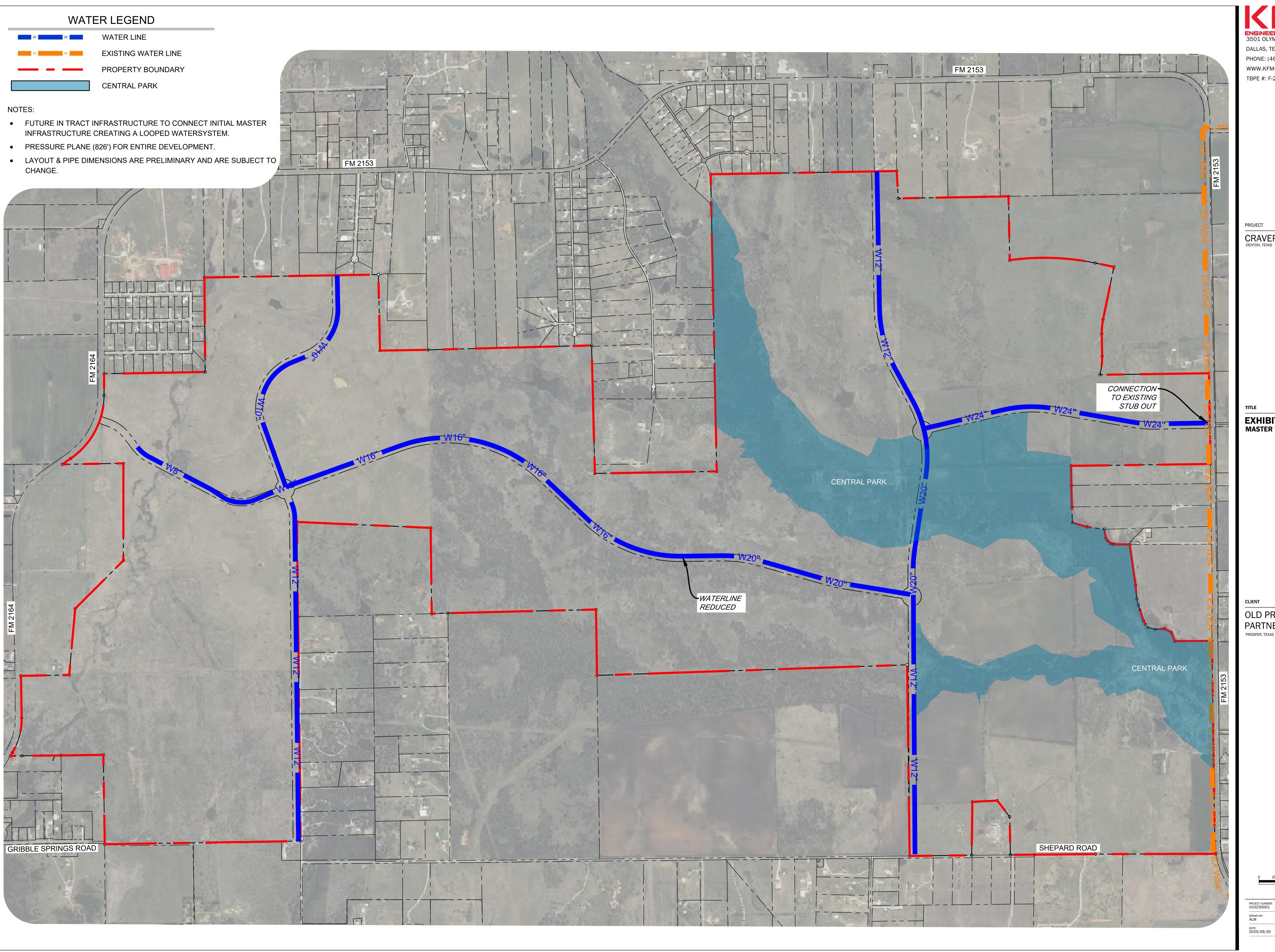










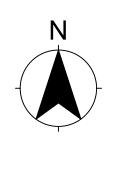


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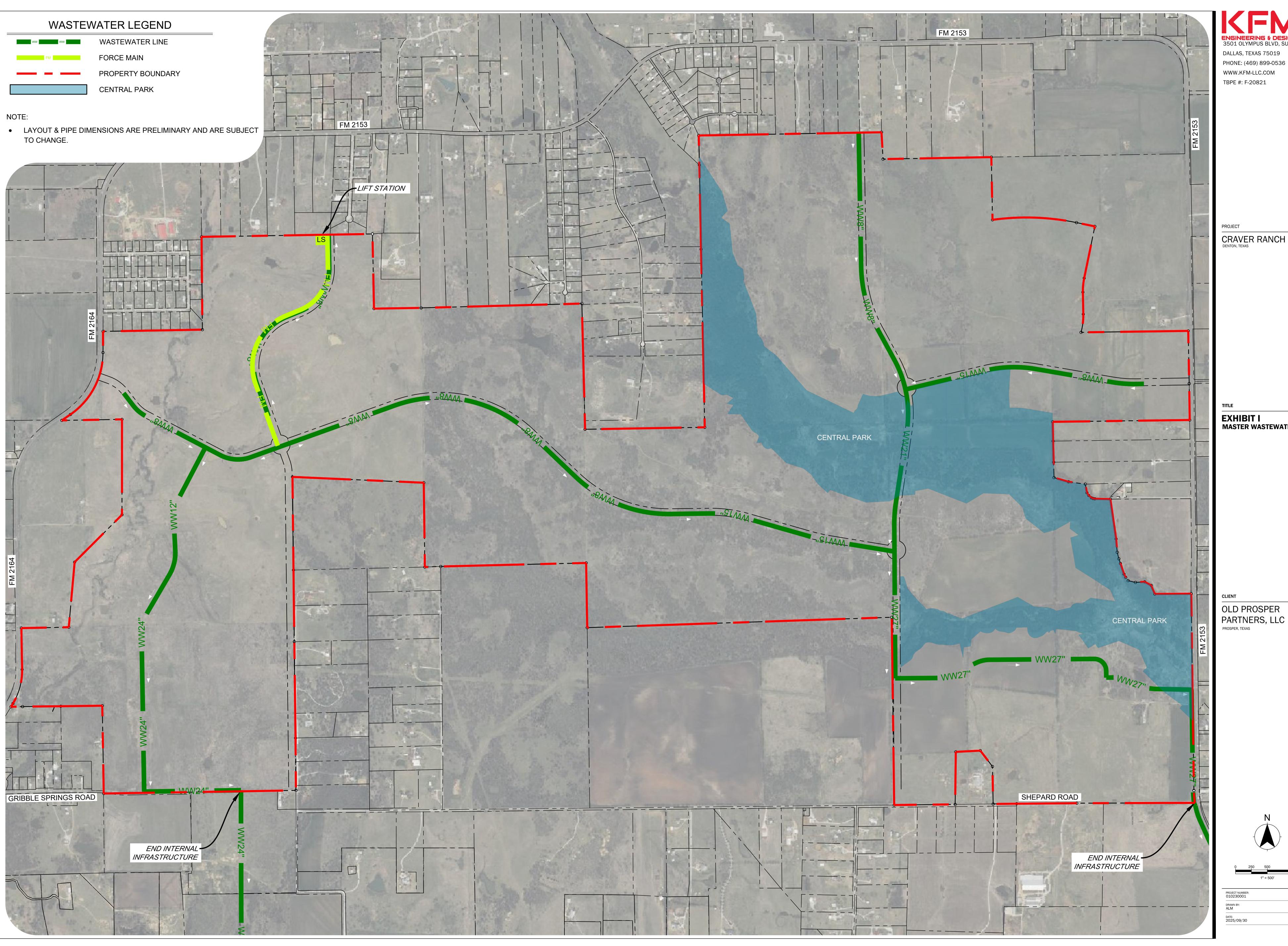
CRAVER RANCH DENTON, TEXAS

**EXHIBIT H**MASTER WATER PLAN

OLD PROSPER PARTNERS, LLC



DATE: 2025/09/30



**ENGINEERING & DESIGN** 3501 OLYMPUS BLVD, SUITE 100 DALLAS, TEXAS 75019 PHONE: (469) 899-0536 WWW.KFM-LLC.COM

**EXHIBIT I**MASTER WASTEWATER PLAN

PARTNERS, LLC

