



City of Denton

City Hall
215 E. McKinney St.
Denton, Texas 76201
www.cityofdenton.com

Meeting Agenda

Tax Increment Reinvestment Zone Number One Board

Wednesday, June 10, 2026

3:00 PM

Development Service Center

SPECIAL CALLED

After determining that a quorum is present, the Tax Increment Reinvestment Zone Number One Board of the City of Denton, Texas, will convene in a Special Called Meeting on Wednesday, June 10, 2026, at 3:00 p.m. in the Development Service Center Training Rooms 4 and 5 at 401 N. Elm Street, Denton, Texas at which the following items will be considered:

1. PRESENTATIONS FROM MEMBERS OF THE PUBLIC

Citizens may complete one Request to Speak "Public Comment" card per night for the "Presentations from Members of the Public" portion of the meeting and submit it to City Staff. Presentations from Members of the Public time is reserved for citizen comments regarding item not listed on the agenda. No official action can be taken on these items. Presentation from Members of the Public is limited to five speakers per meeting with each speaker allowed a maximum of three (3) minutes.

2. ITEMS FOR CONSIDERATION

- A. [TIF26-022](#) Consider approval of the meeting minutes for February 25, 2026 Special Called Meeting.
Attachments: [February 25, 2026 TIRZ 1 Special Called Minutes](#)
- B. [TIF26-023](#) Consider approval of the meeting minutes for March 25, 2026 Special Called Meeting.
Attachments: [March 25, 2026 TIRZ 1 Special Called Minutes](#)
- C. [TIF26-024](#) Consider recommending approval to City Council regarding the FY2024-2025 Downtown Tax Increment Reinvestment Zone Number One Annual Report.
Attachments: [Exhibit 1 - Agenda Information Sheet](#)
[Exhibit 2 - Downtown TIRZ 1 Annual Report 24-25](#)
[Exhibit 3 - Presentation](#)
- D. [TIF26-025](#) Receive a report, hold a discussion, and make a recommendation to City Council regarding a Downtown Reinvestment Grant Program application for 112 W Oak St., Suite 200, d20 Keep. The Downtown Economic Development Committee recommends approval of up to \$23,031 (8-0).
Attachments: [Exhibit 1 - Agenda Information Sheet](#)
[Exhibit 2 - Grant Application](#)
[Exhibit 3 - Presentation](#)
- E. [TIF26-026](#) Receive a report, hold a discussion, and make a recommendation regarding an amendment to the Downtown Tax Increment Reinvestment Zone Number One budget for

the Downtown Reinvestment Grant.

Attachments: [Exhibit 1 - Agenda Information Sheet](#)
 [Exhibit 2 - Presentation](#)

3. WORK SESSION

- A. [TIF26-027](#) Receive a report and hold a discussion regarding an overview of current items in the Agenda Queue and discussion of possible future agenda items.

Attachments: [Exhibit 1 - Agenda Information Sheet](#)
 [Exhibit 2 - Future Agenda Items](#)

4. CONCLUDING ITEMS

A. Under Section 551.042 of the Texas Open Meetings Act, respond to inquiries from the Tax Increment Reinvestment Zone Number One Board or the public with specific factual information or recitation of policy, or accept a proposal to place the matter on the agenda for an upcoming meeting AND Under Section 551.0415 of the Texas Open Meetings Act, provide reports about items of community interest regarding which no action will be taken, to include: expressions of thanks, congratulations, or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee, or other citizen; a reminder about an upcoming event organized or sponsored by the governing body; information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the governing body that was attended or is scheduled to be attended by a member of the governing body or an official or employee of the municipality; or an announcement involving an imminent threat to the public health and safety of people in the municipality that has arisen after the posting of the agenda.

NOTE: The Tax Increment Reinvestment Zone Number One Board reserves the right to adjourn into a Closed Meeting on any item on its open meeting agenda consistent with Chapter 551 of the Texas Government Code, as amended, or as otherwise allowed by law.

CERTIFICATE

I certify that the above notice of meeting was posted on the official website (<https://tx-denton.civicplus.com/242/Public-Meetings-Agendas>) and bulletin board at City Hall, 215 E. McKinney Street, Denton, Texas, on June 4, 2026, in advance of the three (3) business day posting deadline, as applicable, and in accordance with Chapter 551 of the Texas Government Code.

OFFICE OF THE CITY SECRETARY

NOTE: THE CITY OF DENTON'S DESIGNATED PUBLIC MEETING FACILITIES ARE ACCESSIBLE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. THE CITY WILL PROVIDE ACCOMMODATION, SUCH AS SIGN LANGUAGE INTERPRETERS FOR THE HEARING IMPAIRED, IF REQUESTED AT LEAST TWO (2) BUSINESS DAYS IN ADVANCE OF THE SCHEDULED MEETING. PLEASE CALL THE CITY SECRETARY'S OFFICE AT 940-349-8309 OR USE TELECOMMUNICATIONS DEVICES FOR THE DEAF (TDD) BY CALLING 1-800-RELAY-TX SO THAT REASONABLE ACCOMMODATION CAN BE ARRANGED.

**MINUTES
CITY OF DENTON
TAX INCREMENT REINVESTMENT ZONE NUMBER ONE BOARD
SPECIAL CALLED
February 25, 2026**

After determining that a quorum was present, the Tax Increment Financing Reinvestment Zone Number One Board of the City of Denton, Texas, convened in a Special Called Meeting on Wednesday, February 25, 2026, at 12:03 p.m. in the Development Service Center, Training Rooms 1 and 2 at 401 N. Elm Street, Denton, Texas at which the following items were considered:

PRESENT: Brian Beck, Marybeth Reinke Doyle, Joe Holland, Suzanne Johnson (Chair), and Tim Stoltzfus

ABSENT: Daniel Abasolo (Vice-Chair), and Taylor Brakefield

STAFF: Scott Bray, Vanessa Esparza, Kristen Pulido, Brittany Sotelo, Erica Sullivan, and Matilda Weeden

1. PRESENTATIONS FROM MEMBERS OF THE PUBLIC

Citizens may complete one Request to Speak "Public Comment" card per night for the "Presentations from Members of the Public" portion of the meeting and submit it to City Staff. Presentations from Members of the Public time is reserved for citizen comments regarding item not listed on the agenda. No official action can be taken on these items. Presentation from Members of the Public is limited to five speakers per meeting with each speaker allowed a maximum of three (3) minutes.

No presentations from members of the public.

2. ITEMS FOR CONSIDERATION

A. TIF26-009 Consider approval of the meeting minutes for September 24, 2025.

Beck made a motion to approve the minutes of September 24, 2025. Reinke Doyle seconded the motion. Motion carried (5-0).

AYES (5): Beck, Holland, Reinke Doyle, Johnson, and Stoltzfus
NAYS (0): None

B. TIF25-010 Consider approval of the 2026 Meeting Schedule for the Tax Increment Reinvestment Zone Number One Board.

Holland made a motion to approve the 2026 Meeting Schedule for the Tax Increment Reinvestment Zone Number One Board as presented. Stoltzfus seconded the motion. Motion carried (5-0).

AYES (5): Beck, Holland, Reinke Doyle, Johnson, and Stoltzfus
NAYS (0): None

C. TIF26-011 Receive a report, hold a discussion, and make a recommendation to City Council regarding a Downtown Reinvestment Grant Program Fire Suppression application for 115 – 116 N. Elm, Fine Arts Theater of Denton, LLC.

Beck made a motion to approve recommendation of \$50,000 to City Council regarding a Downtown Reinvestment Grant Program Fire Suppression application for 115 – 116 N. Elm, Fine Arts Theater of Denton, LLC. Holland seconded the motion. Motion carried (5-0).

AYES (5): Beck, Holland, Reinke Doyle, Johnson, and Stoltzfus
NAYS (0): None

D. TIF26-012 Receive a report, hold a discussion, and make a recommendation to City Council regarding a Downtown Reinvestment Grant Program application for 114 W. Oak Street, West Oak Coffee Bar.

Stoltzfus made a motion to approve recommendation of \$50,000 to City Council regarding a Downtown Reinvestment Grant Program application for 114 W. Oak Street, West Oak Coffee Bar. Doyle seconded the motion. Motion carried (5-0).

AYES (5): Beck, Holland, Reinke Doyle, Johnson, and Stoltzfus
NAYS (0): None

E. TIF26-013 Receive a report, hold a discussion, and make a recommendation to City Council regarding a Downtown Reinvestment Grant Program Fire Suppression application for 114 W. Oak Street, West Oak Coffee Bar.

Holland made a motion to approve recommendation of \$50,000 to City Council regarding a Downtown Reinvestment Grant Program Fire Suppression application for 114 W. Oak Street, West Oak Coffee Bar. Beck seconded the motion. Motion carried (5-0).

AYES (5): Beck, Holland, Reinke Doyle, Johnson, and Stoltzfus
NAYS (0): None

3. WORK SESSION

A. TIF26-014 Receive a report and hold a discussion regarding the Downtown Reinvestment Grant Policy.

Staff presented the item and discussion followed. No action was taken.

- B. TIF26-015 Receive a report and hold a discussion regarding Section 2.83(c) of the City Code which governs boards, commissions, and committees specifically related to the attendance policy.**

Staff presented the item and discussion followed. No action was taken.

- C. TIF26-016 Receive a report and hold a discussion regarding future agenda items and topics.**

Staff presented the item and discussion followed. No action was taken.

4. CONCLUDING ITEMS

With no further business, the meeting adjourned at 1:28 p.m.

**Daniel Abasolo, Vice-Chair
Tax Increment Reinvestment Zone Number One**

**Vanessa Esparza, Board Secretary
Administrative Assistant**

Minutes Approved On: _____

**MINUTES
CITY OF DENTON
TAX INCREMENT REINVESTMENT ZONE NUMBER ONE BOARD
SPECIAL CALLED
March 25, 2026**

After determining that a quorum was present, the Tax Increment Financing Reinvestment Zone Number One Board of the City of Denton, Texas, convened in a Special Called Meeting on Wednesday, March 25, 2026, at 3:00 p.m. in the Development Service Center, Training Rooms 4 and 5 at 401 N. Elm Street, Denton, Texas at which the following items were considered:

PRESENT: Daniel Abasolo (Vice-Chair), Brian Beck, Joe Holland, Nick Miller, Marybeth Reinke Doyle, and Tim Stoltzfus

ABSENT: Suzanne Johnson (Chair)

STAFF: Scott Bray, Vanessa Esparza, Clay Parker, Kristen Pulido, Brittany Sotelo, and Matilda Weeden

1. PRESENTATIONS FROM MEMBERS OF THE PUBLIC

Citizens may complete one Request to Speak "Public Comment" card per night for the "Presentations from Members of the Public" portion of the meeting and submit it to City Staff. Presentations from Members of the Public time is reserved for citizen comments regarding item not listed on the agenda. No official action can be taken on these items. Presentation from Members of the Public is limited to five speakers per meeting with each speaker allowed a maximum of three (3) minutes.

No presentations from members of the public.

2. ITEMS FOR CONSIDERATION

A. TIF26-017 Consider approval of the meeting minutes for March 25, 2026.

This item was skipped due to the incorrect date in the caption.

B. TIF25-018 Receive a report, hold a discussion, and make a recommendation to the City Council regarding a Downtown Reinvestment Grant Program application for 520 S. Elm St, Brakefield's Pool Service, LLC. The Downtown Economic Development Committee recommends approval of up to \$10,000 (9-0).

Stoltzfus made a motion to approve recommendation of up to \$10,000 to the City Council regarding a Downtown Reinvestment Grant Program application for 520 S. Elm St, Brakefield's Pool Service, LLC. Beck seconded the motion. Motion carried (5-0-1).

AYES (5): Abasolo, Beck, Holland, Miller, and Stoltzfus

NAYS (0): None

ABSENT(1): Reinke Doyle

- C. **TIF26-019 Receive a report, hold a discussion, and make a recommendation to the City Council regarding a Downtown Reinvestment Grant Program application for 122 N. Locust St., Mister Red, LLC. The Downtown Economic Development Committee recommends approval of up to \$50,000 (10-0).**

Holland made a motion to approve recommendation of up to \$50,000 to the City Council regarding a Downtown Reinvestment Grant Program application for 122 N. Locust St., Mister Red, LLC. Miller seconded the motion. Motion carried (6-0).

Member Reinke Doyle joined at 3:07 p.m.

AYES (6): Abasolo, Beck, Holland, Miller, Reinke Doyle, and Stoltzfus

NAYS (0): None

- D. **TIF26-020 Receive a report, hold a discussion, and make a recommendation to the City Council regarding a Downtown Reinvestment Grant Program application for 325 W. McKinney Street, McKaroll Partners, LLC. The Downtown Economic Development Committee recommends approval of up to \$50,000 (10-0).**

Reinke Doyle made a motion to approve recommendation of up to \$50,000 to the City Council regarding a Downtown Reinvestment Grant Program application for 325 W. McKinney Street, McKaroll Partners, LLC. Beck seconded the motion. Motion carried (6-0).

AYES (6): Abasolo, Beck, Holland, Miller, Reinke Doyle, and Stoltzfus

NAYS (0): None

3. WORK SESSION

- A. **TIF26-021 Receive a report and hold a discussion regarding an overview of current items in the Agenda Queue and discussion of possible future agenda items.**

Staff presented the Future Agenda Items and discussion followed. No action was taken.

4. CONCLUDING ITEMS

With no further business, the meeting adjourned at 3:28 p.m.

Suzanne Johnson, Chair
Tax Increment Reinvestment Zone Number One

Vanessa Esparza, Board Secretary
Administrative Assistant

Minutes Approved On: _____



City of Denton

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AGENDA INFORMATION SHEET

DEPARTMENT: Economic Development

ACM: Christine Taylor

DATE: June 10, 2026

SUBJECT

Consider recommending approval to City Council regarding the FY2024-2025 Downtown Tax Increment Reinvestment Zone Number One Annual Report.

BACKGROUND

On December 7, 2010, the City Council adopted an Ordinance No. 2010-316 designating and describing the boundaries of Tax Increment Reinvestment Zone Number One (“Downtown TIRZ 1”) to provide the public infrastructure necessary to encourage development in downtown. An annual report, detailing the previous year’s Downtown TIRZ 1 activities, is required to be submitted to each taxing jurisdiction and the State Comptroller of Public Accounts.

The Downtown TIRZ 1 took effect on January 1, 2011, and was set to terminate on December 31, 2039, or when the budget of \$24.8 million was collected.

On December 4, 2024, the TIRZ 1 Board approved the Amended Project and Financing Plan to amend the TIRZ boundaries.

On December 17, 2024, the Tax Increment Reinvestment Zone One A was established. The life of both zones was extended to December 31, 2040, or when the budget of \$50.2 million was collected. The City of Denton is the sole participating jurisdiction.

The Downtown TIRZ 1 Board recommended two items for City Council approval:

- The 2023 – 2024 Downtown Tax Increment Reinvestment Zone Number One Annual Report
- Approved a Downtown Reinvestment Grant application for the following project:
 - 227 W. Oak, Utility Upgrades, Interior Code Improvements, and Signage, in an amount not to exceed \$35,000

Completed Grant Projects

- A Downtown Reinvestment Grant for Façade/Building Rehab and Interior/Code Improvements in the amount of \$50,000 was paid to the property located at 212 W. Sycamore St. for Eagle Surveying, LLC.

- A Downtown Reinvestment Grant for Fire Suppression in the amount of \$50,000 was paid to the property located at 104-106 W. Oak St. for Little d Property, LLC.
- A Downtown Reinvestment Grant for Façade/Building Rehab in the amount of \$50,000 was paid to the property of 116 W. Oak St. for Green Eggs and Ham, LLC.
- A Downtown Reinvestment Grant for Utility Upgrades, Interior/Code Improvements and Signage in the amount of \$27,148.96 was paid to the property located at 227 W. Oak St. for The Plot Twist, LLC.

Approved Grant Project in progress at the end of FY 2024-2025.

- 113 – 115 N. Elm St., \$1,620.869, Fine Arts Theater of Denton LLC. Pending reimbursement.

Approved Grant Projects in process for FY 2025-2026.

- 113 – 115 N. Elm St., \$50,000, Fine Arts Theater of Denton LLC. (Fire Suppression) Pending reimbursement.
- 114 W. Oak St., \$50,000, West Oak Coffee Bar GP, LLC. (Façade/Building Rehab, Impact Fees, Utility Upgrades, Interior/Code Improvements) Pending reimbursement.
- 114 W. Oak St., \$50,000, West Oak Coffee Bar GP, LLC. (Fire Suppression) Pending reimbursement.
- 520 S. Elm St., \$10,000, Brakefield’s Pool Service, LLC. (Façade, Paint Only & Sign) Pending reimbursement.
- 122 N. Locust St., \$50,000, Mister Red, LLC. (Façade/Building Rehab, Impact Fees, & Utility Upgrades) Pending reimbursement.
- 325 W. McKinney St., \$50,000, McKarroll Partners, LLC. (Façade/Building Rehab and Utility Upgrades) Pending Reimbursement.

Value and Increment Summary

According to Denton Central Appraisal District Certified figures, the FY 2024-2025 total appraised valuation of taxable and real property Downtown TIRZ 1 and 1A was \$230,565,487 and \$144,238,543. This represents a \$30,636,532 decrease from the previous supplement tax value of \$261,202,019 for Downtown TIRZ 1. Since its inception, the final value with supplements of the Downtown TIRZ 1 has increased by an estimated \$151,208,633.

EXHIBITS

- Exhibit 1 – Agenda Information Sheet
- Exhibit 2 – Downtown TIRZ 1 Annual Report 24-25
- Exhibit 3 – Presentation

Respectfully submitted:
 Brittany Sotelo
 Economic Development Director

Prepared By:
 Kristen Pulido
 Main Street Program Manager
 Office of Economic Development



Tax Increment Reinvestment Zone Number One 2024 - 2025 ANNUAL REPORT

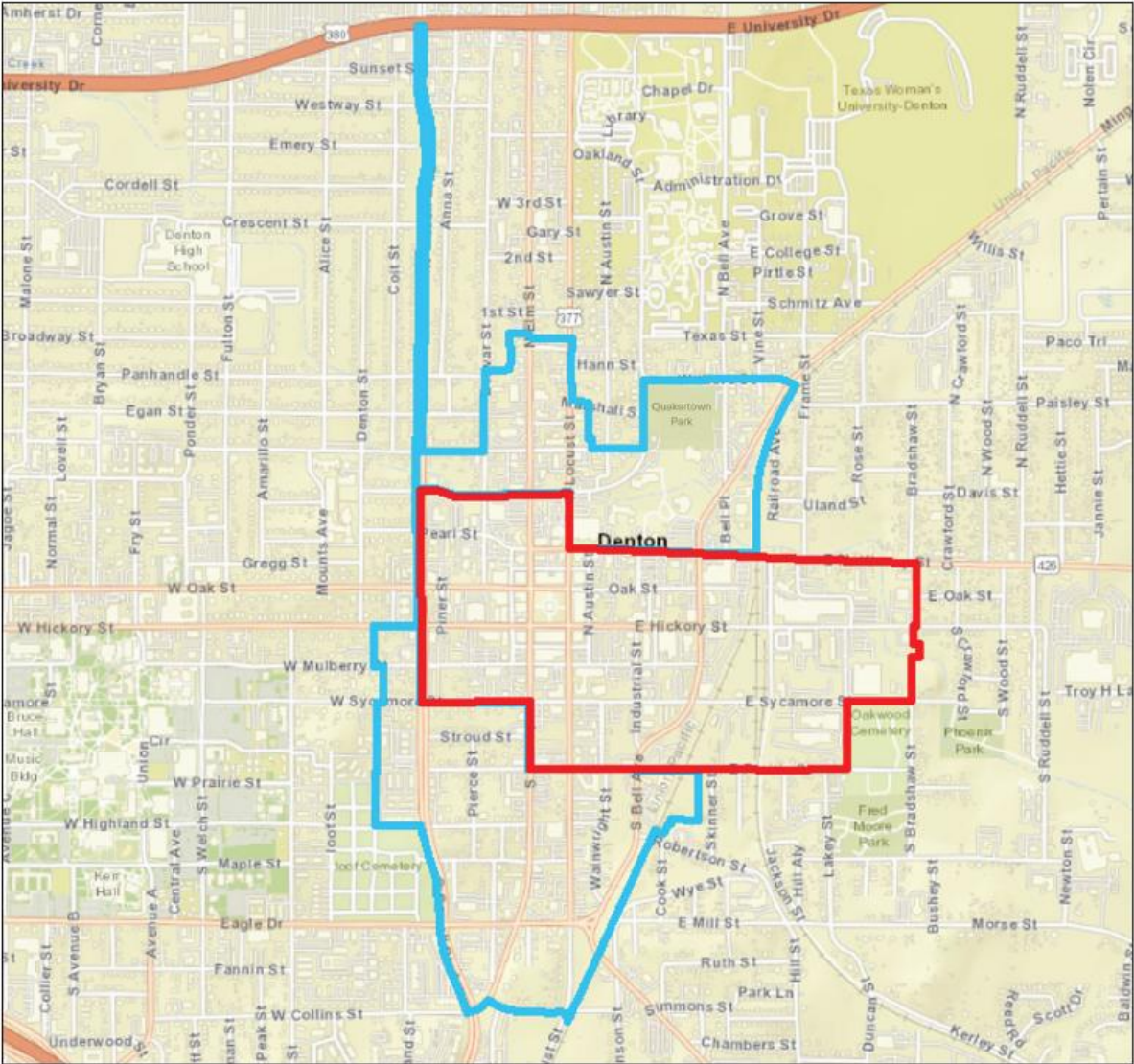
Reporting Period: Oct. 1, 2024, to Sep. 30, 2025



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Tax Increment Reinvestment Zone Number One

DISTRICT MAP



-  - TIRZ #1 Boundary
-  - TIRZ #1A Boundary

Mission Statement

The Mission of the Downtown Tax Increment Reinvestment Zone Number One (Downtown TIRZ 1) is to provide a source of funding for public infrastructure improvements to encourage and accelerate necessary development and redevelopment within the Downtown TIRZ 1 District Area.

Downtown TIRZ 1 took effect on January 1, 2011, with an initial termination date of December 31, 2039, or when the budget of \$24.8 million has been collected.

TIRZ 1A took effect on January 1, 2025, and the life of both Downtown TIRZ 1 and 1A was extended to December 31, 2040, or when the budget of \$ 50,233,426 has been collected.

The City of Denton is the sole participating jurisdiction. The City’s participation is as follows:

Year	Participation
1-5	100%
6- 10	95%
11 - 20	90%
21 -30	85%

District Accomplishments

This report represents October 1, 2024, through September 30, 2025 (FY 2024-25). During FY 2024-25, \$796,685 was collected after the end of the supplemental period determined by the City of Denton. An additional \$212,180 in interest brings the total contribution in FY 2023-24 to \$1,008,865.

Downtown saw increased investment with the Downtown TIRZ 1 area in FY 2024-2025. Identified below are private/public partnership projects supported by the Downtown TIRZ 1 and public investment projects that will support future development within the district.

On December 4, 2024, the TIRZ Board approved the Amended Project and Financing Plan to amend the TIRZ boundaries and extend the term.

On December 17, 2024, City Council approved the expansion of the Downtown TIRZ 1 boundary.

Development Within the District

Project Descriptions: Private/Public Investment

Project Name	Location	Project	Status	Total Investment	TIRZ Investment
Little d Property	104-106 W. Oak	Fire	Reimbursed 2025	\$115,000	\$50,000
Green Eggs and Ham	116 W. Oak	Façade/Building Rehab	Reimbursed 2025	\$138,529	\$50,000
Eagle Surveying	212 W. Sycamore	Façade/Building Rehab	Reimbursed 2025	\$1,465,727	\$50,000
The Plot Twist	227 W. Oak	Utility Upgrades, Interior/Code Improvements, and Signage	Reimbursed 2025	\$49,605	\$27,148.96
Fine Arts Theater of Denton, LLC	113-115 N. Elm	Capital Incentive	In Progress	\$9,119,622	\$1,076,366.00
Fine Arts Theater of Denton, LLC	113-115 N. Elm	Operating Incentive	In Progress	\$9,119,622	\$544,503.00
Fine Arts Theater of Denton, LLC	113-115 N. Elm	Fire Suppression	In Progress	\$118,447.13	\$50,000
West Oak Coffee Bar	114 W. Oak	Fire Suppression	In Progress	\$171,751.16	\$50,000
West Oak Coffee Bar	114. Oak	Façade/Building Rehab, Impact Fees, Utility Upgrades, Interior Code Improvements	In Progress	\$362,132	\$50,000
Brakefield's Pool Service	520 S. Elm	Façade (paint only) and Sign	In Progress	\$32,833.65	\$10,000
Mister Red, LLC	122 N. Locust	Façade/Building Rehab, Impact Fees, Utility Upgrades	In Progress	\$102,137.27	\$50,000
McKarroll Partners, LLC	325 W. McKinney	Façade/Building Rehab & Utility Upgrades	In Progress	\$542,247	\$50,000

Project Descriptions: Public Investment

Project	Location	Status	Investment
Oak & Austin St. Crosswalk improvement	Oak and Austin Streets	Complete*	\$100,000

*Not Funded by the TIRZ

Summary of Downtown TIRZ 1 Board Activity

Board Member list and attendance

Downtown Tax Increment Reinvestment Zone #1									
PLACE NO.	MEMBER NAME		MEETING DATE PERIOD COVERED IS OCTOBER 2024 THROUGH SEPTEMBER 2025						
	Last	First	11/7/2024 CANCELED	12/4/2024	1/22/2025	3/26/2025	5/28/2025	7/23/2025 CANCELED	9/24/2025
1	Reinke Doyle	Marybeth		P	P	P	P		P
2	Stoltzfus	Tim		P	P	P	P		P
3	Byrd	Vicki		P	P	P	P		P
4	Johnson	Suzanne		P	NQ-NS	P	P		A-NA
5	Beck	Brian		P	P	P	P		P
6	Abasolo	Daniel		P	NQ-NS	P	A-NA		P
7	Brakefield	Taylor		A-NA	P	P	NQ-NS		P
TOTAL				6	5	7	5		6

Members serve a two-year term, which begins in October and ends in September each year, depending on their current position.

FY 2024 – 2025 Activity of the Downtown TIRZ 1 Board

The TIRZ 1 Board recommended two items for City Council approval:

- Approved the 2023 – 2024 Downtown Tax Increment Reinvestment Zone Number One Annual Report
- Approved a Downtown Reinvestment Grant application for the following project:
 - 227 W. Oak St., Utility Upgrades, Interior/Code Improvements, and Signage, in an amount not to exceed \$35,000

Downtown Reinvestment Grant Program

In FY 2024-25, the Grant Program's beginning budget was \$200,000, funded by TIRZ 1. Four projects reached completion, creating expenditures of \$177,148.96.

Grant Project Activity

Completed Grant Projects

- A Downtown Reinvestment Grant for Façade/Building Rehab and Interior/Code Improvements in the amount of \$50,000 was paid to the property located at 212 W. Sycamore St. for Eagle Surveying, LLC.
- A Downtown Reinvestment Grant for Fire Suppression in the amount of \$50,000 was paid to the property located at 104-106 W. Oak St. for Little d Property, LLC.
- A Downtown Reinvestment Grant for Façade/Building Rehab in the amount of \$50,000 was paid to the property of 116 W. Oak St. for Green Eggs and Ham, LLC.
- A Downtown Reinvestment Grant for Utility Upgrades, Interior/Code Improvements and Signage in the amount of \$27,148.96 was paid to the property located at 227 W. Oak St. for The Plot Twist, LLC.

Approved Grant Project in progress at the end of FY 2024-2025.

- 113 – 115 N. Elm St., \$1,620.869, Fine Arts Theater of Denton LLC. Pending reimbursement. (Approved FY 2023-2024)

Approved Grant Projects in progress for FY 2025-2026.

- 113-115 N. Elm St., \$50,000, Fine Arts Theater of Denton LLC. (Fire Suppression) Pending reimbursement. (Approved FY 2025-2026)
- 114 W. Oak St., \$50,000, West Oak Coffee Bar GP, LLC. (Façade/Building Rehab, Impact Fees, Utility Upgrades, Interior/Code Improvements) Pending reimbursement. (Approved FY 2025-2026)
- 114 W. Oak St., \$50,000, West Oak Coffee Bar GP, LLC. (Fire Suppression) Pending reimbursement. (Approved FY 2025-2026)
- 520 S. Elm St., \$10,000, Brakefield's Pool Service, LLC. (Façade, Paint Only & Sign) Pending reimbursement. (Approved FY 2025-2026)
- 122 N. Locust St., \$50,000, Mister Red, LLC. (Façade/Building Rehab, Impact Fees, & Utility Upgrades) Pending reimbursement. (Approved FY 2025-2026)
- 325 W. McKinney St., \$50,000, McKarroll Partners, LLC. (Façade/Building Rehab and Utility Upgrades) Pending Reimbursement. (Approved FY 2025-2026)

Expense Summary

During FY 2024-25, expenses for Downtown TIRZ 1 totaled \$207,147.96.

Value and Increment Summary

According to Denton Central Appraisal District Certified figures, the FY 2024-2025 total appraised valuation of taxable and real property Downtown TIRZ 1 and 1A was \$230,565,487 and \$144,238,543.

For the original Downtown TIRZ 1 boundary, this represents a \$30,636,532 decrease from the previous supplement tax value of \$261,202,019.

Since its inception, the final value for FY 2024-2025, with supplements of the Downtown TIRZ 1 has increased by an estimated \$151,208,633.

Certified and Supplement Summary

YEAR	FISCAL YEAR AS OF 9/30	TIRZ CERTIFIED TAX VALUE	SUPPLEMENTAL TIRZ TAX VALUE	INCREMENTAL INCREASE (DECREASE)	SUPPLEMENTAL CONTRIBUTION TO TIRZ	INTEREST	TOTAL TIRZ REVENUE
2010	2010-2011	79,356,854	79,356,854	N/A	N/A	N/A	N/A
2011	2011-2012	81,657,808	80,331,050	974,196	6,720	17	6,737
2012	2012-2013	89,605,635	93,040,263	13,683,409	94,381	297	94,678
2013	2013-2014	96,287,950	100,452,300	21,095,446	145,506	1,084	146,590
2014	2014-2015	114,885,073	116,769,435	37,412,581	258,053	2,821	260,874
2015	2015-2016	118,440,576	127,204,599	47,847,745	330,030	5,855	335,885
2016	2016-2017	136,021,478	150,021,979	70,665,125	458,739	11,439	470,178
2017	2017-2018	142,050,751	161,351,215	81,994,361	496,856	6,712	503,568
2018	2018-2019	167,000,575	170,678,753	91,321,899	538,300	11,589	549,889
2019	2019-2020	210,529,139	209,626,251	130,269,397	730,722	16,930	747,652
2020	2020-2021	232,747,807	234,054,363	154,697,509	867,747	10,870	878,617
2021	2021-2022	232,894,462	222,831,388	143,474,534	730,631	19,667	750,298
2022	2022-2023	249,149,564	248,865,847	169,508,993	855,366	120,323	975,689
2023	2023-2024	261,579,433	261,202,019	181,845,165	917,616	235,968	1,153,584
2024	2024-2025	230,735,289	230,565,487	151,208,633	796,685	212,180	1,008,865
TOTALS					\$7,227,352.00	\$655,752.00	\$7,883,104.00

Fund Balance as of 9/30/25 is \$5,375,568

TIRZ 1A Certified Tax Value

2024-2025: \$144,238,543

Appendix A:

TIRZ One Balance Sheet

City of Denton Tax Increment Financing Reinvestment Zone (TIRZ 1)

FISCAL YEAR AS OF 9/30	SUPPLEMENTAL TIRZ TAX VALUE	INCREMENTAL INCREASE (DECREASE)	CONTRIBUTION	ADJUSTED INCREMENTAL VALUE	TAX RATE	ANNUAL TIRZ AD VALOREM REVENUE	INTEREST	TOTAL TIRZ REVENUE	TOTAL EXPENDITURES	FUND BALANCE
2010-2011	79,356,854	N/A	N/A	N/A		N/A	N/A	N/A	N/A	N/A
2011-2012	80,331,050	974,196	100%	2,300,954	0.68975%	6,720	17	6,737	-	6,737
2012-2013	93,040,263	13,683,409	100%	10,248,781	0.68975%	94,381	297	94,678	-	94,678
2013-2014	100,452,300	21,095,446	100%	16,931,096	0.68975%	145,506	1,084	146,590	-	146,590
2014-2015	116,769,435	37,412,581	100%	35,528,219	0.68975%	258,053	2,821	260,874	-	260,874
2015-2016	127,204,599	47,847,745	100%	39,083,722	0.68975%	330,030	5,855	335,885	76,000	259,885
2016-2017	150,021,979	70,665,125	95%	53,831,393	0.68334%	458,739	11,439	470,178	76,000	394,178
2017-2018	161,351,215	81,994,361	95%	59,559,202	0.637856%	496,856	6,712	503,568	1,542,845	(1,039,277)
2018-2019	170,678,753	91,321,899	95%	83,261,535	0.620477%	538,300	11,589	549,889	156,000	393,889
2019-2020	209,626,251	130,269,397	95%	124,613,671	0.590454%	730,722	16,930	747,652	139,587	608,065
2020-2021	234,054,363	154,697,509	95%	145,721,405	0.590454%	867,747	10,870	878,617	24,988	853,629
2021-2022	222,831,388	143,474,534	90%	138,183,847	0.565823%	730,631	19,667	750,298	51,507	698,791
2022-2023	248,865,847	169,508,993	90%	152,813,439	0.560682%	855,366	120,323	975,689	129,767	845,923
2023-2024	261,202,019	181,845,165	90%	163,660,649	0.560682%	917,616	235,968	1,153,584	103,695	1,049,889
2024-2025	230,565,487	151,208,633	90%	136,087,770	0.585420%	796,685	212,180	1,008,865	207,148	801,717
TOTALS						\$ 7,227,352	\$ 655,753	\$7,883,104	\$ 2,507,537	\$ 5,375,568

REPORT CREATED BY:

City of Denton, Office of Economic Development
 401 N. Elm Denton, TX 76201
 940.349.7776
www.cityofdenton.com

June 10, 2026

FY24-25 - TIRZ No. 1 Annual Report

Brittany Sotelo
Economic Development Director

MISSION

The Downtown TIRZ I is to encourage and accelerate necessary development and redevelopment with the Downtown TIRZ I District Area.

Proposed Project Costs - TIRZ #1		
Water Facilities and Improvements	\$ 1,255,836	2.5%
Sanitary Sewer Facilities and Improvements	\$ 1,255,836	2.5%
Storm Water Facilities and Improvements	\$ 1,255,836	2.5%
Transit/Parking Improvements	\$ 5,023,343	10.0%
Street and Intersection Improvements	\$ 7,535,014	15.0%
Open Space, Park and Recreation Facilities and Improvements, Public Facilities and Improvements	\$ 7,535,014	15.0%
Economic Development Grants	\$ 25,116,713	50.0%
Administrative Costs	\$ 1,255,836	2.5%
Total	\$ 50,233,426	100.0%

PARTICIPATION

The City of Denton is the sole participating jurisdiction. The City's participation is as follows:

YEAR	PARTICIPATION
1-5	100%
6-10	95%
11-20	90%
21-30	85%

DOWNTOWN TIRZ 1 BOARD

- Consist of 7 members
- Appointed by City Council
- Two-year term, with a term limit of three consecutive two-year terms
- A minimum of four members present is a quorum
- Consider/recommend Board Bylaws, Project & Finance Plans
- Monitor Project Plan, recommend changes
- Annual report review

Business Owner
Suzanne Johnson

Business Owner
Tim Stoltzfus

City Council
Member
Brian Beck

Property Owner/
Resident
*Mary Beth Reinke-
Doyle*

City Council
Member
Joe Holland

Property Owner/
Resident
Nick Miller

Qualified Voter
Daniel Abasolo

2024 - 2025 DOWNTOWN TIRZ 1 BOARD ACTIVITY

The Downtown TIRZ I Board recommended two items for City Council approval:

- The 2023-2024 Downtown Tax Increment Reinvestment Zone Number One Annual Report
 - Approved June 17, 2025
- The Downtown Reinvestment Grant application for the following project:
 - 227 W. Oak St., Utility Upgrades, Interior/Code Improvements, and Signage, in an amount not to exceed \$35,000.
 - Approved May 6, 2025



DOWNTOWN REINVESTMENT GRANT PROGRAM

In FY 2024-2025 the Grant Program had a beginning budget of \$200,000 funded by the Downtown TIRZ I. The Grant Program had four projects reach completion creating expenditures of \$177,148.96.

COMPLETED - FY 24/25 Tax Increment Reinvestment Zone Number One (Downtown) Grants				
Owner/Business	Address	Type	Capital Investment	Amount Awarded
Little d Property	104-106 W. Oak St.	Fire Suppression	\$115,000	\$50,000
Green Eggs and Ham LLC	116 W. Oak St.	Façade	\$138,500	\$50,000
Eagle Surveying	212 W. Sycamore St.	Façade/Building Rehab	\$1,465,728	\$50,000
The Plot Twist	227 W. Oak St.	Utility Upgrades, Interior Code Improvements, Signage	\$49,605.00	\$27,148.96
		TOTAL	\$1,768,833	\$177,149

DEVELOPMENT WITHIN THE DISTRICT

APPROVED Grants Projects in Progress				
Owner/Business	Address	Type	Capital Investment	Amount Awarded
Fine Arts Theater of Denton, LLC	115-116 N. Elm	Capital Incentive	\$9,119,622	\$1,076,366
Fine Arts Theater of Denton, LLC	115-116 N. Elm	Operating Incentive	\$9,119,622	\$544,503
Fine Arts Theater of Denton, LLC	115-116 N. Elm	Fire Suppression	\$118,447	\$50,000
West Oak Coffee Bar	114 W. Oak	Fire Suppression	\$171,751.16	\$50,000
West Oak Coffee Bar	114 W. Oak	Façade/Building Rehab, Impact Fees, Utility Upgrades, Interior/Code Improvements	\$362,132	\$50,000
Mister Red, LLC	122 N. Locust	Façade/Building Rehab, Impact Fees, Utility Upgrades	\$102,137.27	\$50,000
Brakefield's Pool Service	520 S. Elm	Façade (Paint Only) and Sign	\$32,833.65	\$10,000
McK Carroll Partners, LLC	325 W. Mckinney	Façade/Building Rehab, Utility Upgrades	\$542,247	\$50,000
TOTAL			\$10,449,170	\$1,880,869

Project	Location	Status	Investment
Oak & Austin St. Crosswalk Improvement	Oak and Austin Streets	Complete*	\$100,000

*Not funded by the TIRZ

CITY VALUATION SUMMARY - TIRZ 1 Original

FISCAL YEAR AS OF 9/30	SUPPLEMENTAL TIRZ TAX VALUE	INCREMENTAL INCREASE (DECREASE)	CONTRIBUTION	ADJUSTED INCREMENTAL VALUE	TAX RATE	ANNUAL TIRZ AD VALOREM REVENUE	INTEREST	TOTAL TIRZ REVENUE	TOTAL EXPENDITURES	FUND BALANCE
2010-2011	79,356,854	N/A	N/A	N/A		N/A	N/A	N/A	N/A	N/A
2011-2012	80,331,050	974,196	100%	2,300,954	0.68975%	6,720	17	6,737	-	6,737
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TOTALS						\$ 7,227,352	\$ 655,753	\$7,883,104	\$ 2,507,537	\$ 5,375,568

TIRZ 1A Certified Tax Value: \$144,238,543

STAFF RECOMMENDATION

Staff recommends that the Downtown TIRZ I Board recommend City Council approve the 2024-2025 Downtown Tax Increment Reinvestment Zone Number One Annual Report.

THANK YOU



City of Denton

City Hall
215 E. McKinney Street
Denton, Texas
www.cityofdenton.com

AGENDA INFORMATION SHEET

DEPARTMENT: Economic Development

ACM: Christine Taylor

DATE: June 10, 2026

SUBJECT

Receive a report, hold a discussion, and make a recommendation to City Council regarding a Downtown Reinvestment Grant Program application for 112 W Oak St., Suite 200, d20 Keep. The Downtown Economic Development Committee recommends approval of up to \$23,031 (8-0).

BACKGROUND

D20 was established in 2022 by founder Mark Michnevitz as a craft beer and boardgame venue, featuring 20 local craft beers on tap and a library of more than 400 tabletop games.

Project

After more than four years of successful operations, d20 plans to expand into the building's second floor. The new space, branded as "d20 Keep," will offer a similar experience to d20 Tavern. The expansion will convert a former photography studio into an additional 1,760 square feet of bar and gaming space, accommodating 29 more occupants. The project includes adding a bar and restrooms, as well as completing interior restoration.

Projected Improvements include: Utility Upgrades and Interior/Code Improvements

Project Submitted Expenses: \$46,062

Grant Request: \$23,031

Applicable Policy Limits:

- *Utility Upgrades:*
 - Definition: Upgrades to water, wastewater and electrical service, includes interior upgrades as well as exterior service upgrades.
 - Utility Upgrade grants are limited to a 50% match with a cap of \$50,000 per grant.
- *Interior/Code Improvements: d20*
 - Definition: Asbestos and mold abatement, fire suppression systems and improvements made as required by or in accordance with the Americans with Disabilities Act, as amended.
 - Interior/Code Improvement grants are limited to a 50% match with a cap of \$50,000 per grant.

PRIOR ACTION/REVIEW

On April 2, 2026, the Downtown Economic Development Committee (DEDC) reviewed and scored the grant application. The application received an average score of 31 points, making it eligible for a recommendation of up to the max allowable amount of \$23,031. These scores support the recommendations to approve the application as requested. The Downtown Economic Development Committee recommended approval of up to \$23,031 (8-0).

The building at 112 W. Oak St., Suite 200 has not previously received a Downtown Reinvestment Grant.

OPTIONS

1. Recommend approval of grant amount recommended by the DEDC to City Council.
2. Recommend a lesser amount than recommended by the DEDC to City Council.
3. Do not recommend approval of grant application.

EXHIBITS

Exhibit 1 – Agenda Information Sheet

Exhibit 2 – Grant Application

Exhibit 3 – Presentation

Respectfully submitted:
Kristen Pulido
Main Street Program Manager
Office of Economic Development

Downtown Reinvestment Grant Program Application

Please return completed the application with necessary attachments and signatures to the Economic Development Department office at 401 N. Elm St., Denton, Texas. If you have any application questions, please contact the Economic Development Department at 940-349-7776.

Applicant Name	MARK MICHEWITZ	Date	12/9/2025
Business Name	d2w TAVERN		
Mailing Address	112 WEST OAK STREET #100 & 200		
Contact Phone	[REDACTED]	Email Address	[REDACTED]
Building Owner (if different from applicant)	STAGI - JOHN WITHERS		
Historical/Current Building Name	UNKNOWN		
Project Site/Address	112 WEST OAK STREET #200		

Type of Work: (check all that apply)

- | | |
|---|--|
| <input checked="" type="checkbox"/> Paint Only | <input type="checkbox"/> Awnings |
| <input checked="" type="checkbox"/> Signage | <input checked="" type="checkbox"/> Impact Fees |
| <input checked="" type="checkbox"/> Utility Upgrades | <input checked="" type="checkbox"/> Interior/Code Improvements |
| <input type="checkbox"/> Facade & Building Renovation | <input type="checkbox"/> Fire Suppression System |

Details of planned improvements relating to grant request (attach additional information if necessary).

PLANS HAVE BEEN SUBMITTED TO CITY BUT CAN BE PROVIDED ON REQUEST. THE PLAN IS TO TURN THE SPACE FROM A INTO A PREMIERE GAMING BAR WITH RETAIL AREA. WE WILL IMPROVE THE CURRENT SPACE BY ADDING A BAR, RESTROOMS AS WELL AS RESURFACING THE INTERIOR. ONCE COMPLETE THIS SPACE WILL HAVE ONE OF, IF NOT THE BEST, VIEWS OF THE COURTHOUSE

How will this project benefit Downtown?

THIS PROJECT WILL TURN A PREVIOUSLY UNDER-UTILIZED SPACE INTO ONE OF THE BEST PLACES TO TAKE IN THE BEAUTY OF THE COURTHOUSE AND SURROUNDING SQUARE.

Legal Description of the property:

THE ENTIRE 112 WEST OAK STREET SUITE 200 INCLUDING STAIRWELL ENTRY

Project Categories	Estimated Costs	Grant Requested
Facade/Building Rehab		
Awnings	-	
Signs	-	
Impact Fees	-	
Utility Upgrades	45,242.00	22,621.00
Interior/Code Improvements	820.00	410.00
Fire Suppression System	-	
Totals		23,031.00

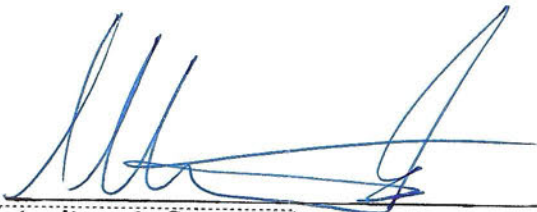
TOTAL COST OF PROPOSED PROJECT

\$ 150,000.00

TOTAL GRANT REQUEST
(May not exceed 50% of TOTAL COST up to \$50,000)

\$ 23,031.00

Attach all required color samples of paint, awning/canopy, sign design, etc., as well as photographs of building's exterior facade, roof and foundation.



Applicant's Signature

3/4/2026

Date

DOWNTOWN REINVESTMENT GRANT AGREEMENT FORM

Please complete and return with the Downtown Reinvestment Grant Application to the Economic Development office, 401 N. Elm St., Denton, Texas. If you have any questions, please contact the Economic Development Department at 940- 349-7776.

I have met with a representative from the Economic Development Department, and I have read and fully understand the Downtown Reinvestment Grant procedures established by the Denton City Council. I intend to use this grant program for the aforementioned renovation projects to advance the efforts of revitalization and historic preservation of Denton's historic downtown. *I have not received, nor will I receive insurance monies for this revitalization project.*

I understand that if I am awarded a Downtown Reinvestment Grant by the City of Denton, any deviation from the approved project may result in the partial or total withdrawal of the grant. (If I am awarded a reinvestment grant for facade, awning or sign work and the facade, sign or awning is altered for any reason within **one (1) year** from construction, I may be required to reimburse the City of Denton immediately for the full amount of the grant.)

Business/Organization Name

DIOTHERN LTD COMPANY

Applicant/s Signature

Printed Name

Date

[Signature] *MARK MICHNEVITZ* *12/9/2025*

Building Owner's Signature (if different from applicant)

Printed Name

Date

This section is to be completed by Economic Development staff.

Date considered by DEDC

Recommendation

Staff Signature

Date considered by TIRZ #1 Board

Recommendation

Staff Signature

Date considered by City Council

Approval

Staff Signature

Project	D20 Tavern	YLEE INTERIORS CORPORATION	
Date	5/20/2025	Email: yleeicorp@gmail.com	DATE : 5-20-2025
Owner		Estimate	Customer ID: 1202
Address	112 west Oak st		
City	Denton TX 76201		
Sq. Footage	0sf		
Estimator	Jong Lee		Phone : 972-302-1753
DIVISION		SCOPE OF	TOTA
GENERAL CONDITIONS		\$3,730.00	
	Site Supervision		\$ 2,000.00
	Project Signage		\$ 650.00
	Final Clean - Heavy Clean		\$ 1,080.00
Demolition		\$3,950.00	
	wall / cabinet / remove		\$ 3,950.00
		\$0.00	
WOOD/MILLWORK		\$12,820.00	
	food expo solid face Countertop installed		\$ 6,700.00
	new custom counter base cabinet (lamine finish)		\$ 6,120.00
FRAMING / CEILINGS / INSULATION		\$10,280.00	
	new wall metal framing restroom/ half wall		\$ 5,980.00
	Drywall 5/8" gypsum		\$ 4,300.00
electric work		\$14,280.00	
	1-relocate existing panel Reconet all existing equipment and light And plug Power for 10-new plug. Provide and 4 new can light 2- new xfan Provide and install 4 new emergency light		\$ 14,280.00
DOORS/HARDWARE		\$3,800.00	
	prefinished 4 door with frame /hardware		\$ 3,800.00
FLOORING		\$12,316.00	
	ceramic tile installed wet bar wall/floor/couter		\$ 4,096.00
	floor cut for plumbing line with finish after inspection		\$ 1,020.00
	floor refinish		\$ 1,500.00
	restroom tile 48" high/ floor tile		\$ 3,900.00
	water proofing membrane install		\$ 1,800.00
PAINTING/WALL COVERING		\$5,050.00	
	1coat primer 2coat paint / wall / restroom		\$ 2,800.00

	wall patch and mud tape plaster smooth finish	\$ 2,250.00
MECHANICAL	\$4,400.00	
	extend restroom AC	\$ 4,400.00
DUMPSTER	\$ 750.00	
	30YD 1 dumpster service	\$750.00
other work	\$2,650.00	
	restroom/storage /ceiling grid with tile	\$ 2,650.00
PLUMBING	\$25,542.00	
	For Plumbing Including Demo existing restroom Demo water heater for reuse 64' Sanitary system 2 Floor drains and 1 Floor sink 1 Above ground grease trap 200' Hot and cold water system Reconnect water heater 2 Toilets and 2 Lavatories 1 Mop sink Hookup hand sink and bar sink NO GAS PIPING NO PAINTING TOTAL PLUMBING 21,285.00	\$ 25,542.00

0

MISCELLANEOUS	\$820.00	
	grab bar dispenser restroom	\$ 820.00
NOTE	Subtotal	\$ 99,638.00
	Overhead and Profit	\$ -
	Discount	\$ -
	Tax	\$ -
	Permit Cost	\$ -
	TOTAL CONSTRUCTION COST	\$ 99,638.00

GENERAL NOTES

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE, INVESTIGATE, AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND FINISH-OUT OF THE PROJECT.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CITY AND STATE CODES AND STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
- THE CONTRACTOR SHALL PICK-UP ALL REQUIRED PERMITS AND CERTIFICATE OF OCCUPANCY. TAP FEES & ANY OTHER FEES SHALL BE PAID BY THE CONTRACTOR. THE OWNER SHALL PAY FOR THE PERMITS & CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR IS RESPONSIBLE FOR INSURING PROPER FILLING AND COMPACTION OF UTILITY COMPANY TRENCHES, BOTH INTERIOR & EXTERIOR.
- CONTRACTOR TO PROTECT ALL EXISTING BUILDINGS AND ALL EXISTING ABOVE AND BELOW GRADE UTILITIES. CONTRACTOR WILL REPAIR ALL DAMAGE TO EXISTING CONDITIONS.
- ALL EXCAVATION, TRENCHING, ETC. REQUIRED IN ROCK SUBGRADE TO BE PART OF CONTRACT, EXCEPT AS RELATING TO SITE WORK. SHORE AND BRACE ALL EXCAVATIONS IN ACCORDANCE WITH CITY, STATE AND O.S.H.A. REQUIREMENTS.
- ALL ACCESSIBLE ROUTES SHALL BE SLOPED 4.75% MAX. IN THE DIRECTION OF TRAVEL AND 1.75% ON CROSS SLOPES. ALL LANDINGS SHALL NOT EXCEED 1.75% IN ALL DIRECTIONS.
- CONTRACTOR TO EXERCISE EXTREME CARE IN CONSTRUCTION TO OR ADJACENT TO EXISTING BUILDINGS. PROVIDE ALL SHORING OR OTHER PROTECTION NECESSARY TO PREVENT DISTURBING BUILDING SUBGRADE OR FOUNDATIONS.
- CONTRACTOR IS TO INSTALL RAMPS AND SIGNAGE FOR ACCESSIBILITY PER CITY, STATE, AND A.D.A. REQUIREMENTS. ALL CURB AND EXIT DOOR RAMPS, INTERIOR & EXTERIOR, ARE TO HAVE HEAVY BROOM FINISH PERPENDICULAR TO DIRECTION OF TRAVEL.
- ALL MAIN AND BRANCH SPRINKLER LINES, ELECTRICAL AND PLUMBING LINES ARE TO BE RUN AS HIGH AS POSSIBLE WITHIN THE ROOF STRUCTURE SPACE WHEREVER THIS IS POSSIBLE. WHEN LINES ARE RUN BELOW ROOF STRUCTURE, THEY ARE TO BE HELD AS TIGHT AS POSSIBLE TO BOTTOM OF STRUCT. ALL LINES ARE TO BE SUSPENDED FROM TOP JOIST AND GIRDER CHORDS. ANY CHANGE IN LINE ROUTING ARE TO BE AS 90 PARALLEL TO STRUCTURE.
- PROVIDE ADEQUATE BLOCKING AS REQUIRED TO SUPPORT ELECTRIC PANELS, ACCESS ROOF LADDER, HANDRAILS, WALL MOUNTED SIGNAGE, ETC.
- DO NOT SUSPEND ANY ITEMS FROM THE BOTTOM JOIST CHORD, HORIZ. BRIDGING OR X-BRACING, OR PIPING AND CONDUITS, METAL ROOF OR FLOOR DECKS AND/OR ANY WORK BY OTHER TRADES. REFER TO STRUCT. DWGS. FOR JOIST LOADS NOT SHOWN ON THE STRUCT. FRAMING PLAN(S) CONSULT ARCHITECT AND STRUCTURAL ENGINEER IF THE DETAIL(S) IS/ARE NOT PROVIDED OR MAY NOT APPLICABLE TO SPECIFIC LOADING CONDITIONS(S).
- UNLESS OTHERWISE INDICATED, EACH SUBCONTRACTOR AND GENERAL CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING & SUPPORTING ALL ITEMS FROM THE ROOF STRUCTURE FOR GRAVITY LOADS AND TO RESIST SEISMIC MOVEMENTS AS REQ'D. BY ALL APPLICABLE CODES. (ANY BRACING W/ A SIGNIFICANT VISUAL IMPACT IS SUBJECT TO ARCHITECT APPROVAL)
- CONTRACTOR IS RESPONSIBLE VERIFYING AND PRICING ALL A.D.A. REQUIREMENTS, PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR TO PROVIDE TEMPORARY SAFETY GUARD RAILS AT ALL FLOOR OPENINGS UNTIL TENANT CONSTRUCTION STARTS.
- AN APPROVED SINGLE SET OF PLANS (BUILDING, FIRE SPRINKLER, FIRE ALARM, ETC.) SHALL BE ON THE JOB SITE DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF APPROVED PLANS TO COINCIDE W/ INSPECTIONS TAKING PLACE.
- ALL EXIT DOOR HARDWARE IS TO COMPLY WITH LOCAL, STATE, AND FEDERAL A.D.A. REQUIREMENTS, WHETHER SPECIFICALLY INDICATED IN HARDWARE NOTES OR SPECIFICATIONS. THIS INCLUDES, BUT NOT NECESSARILY LIMITED TO: DOOR CLOSURES, LATCH SETS, LOCK SETS, PRIVACY SETS, PANIC HARDWARE, CONTROLLERS, AUTOMATIC BOLTS AND DOOR MOUNTED ELECTRICAL STRIKES AND ALARMS.
- ALL EXPOSED EXTERIOR WALL MOUNTED CONDUITS, BUSS GUTTERS, JUNCTION BOXES, PANEL BOXES, METERS, PIPES, ETC. ARE TO BE THREE (3) COAT PAINTED WITH COLOR TO BE SELECTED BY THE ARCHITECT. ALL EXPOSED CONDUIT PIPES JUNCTION BOXES ROOF SCUTTLERS ETC. ABOVE THE ROOF BOTH IN MID FIELD AREAS AND ON BACKS OF PARAPETS ARE TO BE THREE (3) COATS PAINTED; COLOR TO BE SELECTED BY THE ARCHITECT.
- ALL EXITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY. SALES AREA ENTRANCE DOORS SHALL HAVE A SIGN STATING "THESE DOORS SHALL REMAIN UNLOCKED DURING BUSINESS HOURS". CONTRACTOR IN RESPONSIBLE FOR LETTERS MIN. OR AS REQUIRED BY CODE.*
- MOUNTING HEIGHTS. WHERE MOUNTING HEIGHTS ARE NOT INDICATED INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENT ISSUE OF THE AMERICANS WITH DISABILITIES ACT FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE ARCHITECT FOR FINAL DECISION.
- CONTRACTOR IS REFER TO M.E.P. DRAWING AND PROJECT MANUAL IF ANY FOR ANY HINGED ACCESS PANELS NOT INDICATE IN ARCH. DWGS AND PROJ. MANUAL. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESS PANEL LOCATIONS FOR DRYWALL, TILE, E.I.F.S., AND PLASTER WORK WITH ALL TRADES.
- HAZARDOUS MAT'L'S, MAY NOT BE STORED, USED OR DISPOSED.
- SIGN CONTRACTOR SHALL OBTAIN SEPARATE APPROVALS AND PERMITS FROM OWNER AND APPLICABLE JURISDICTIONS PRIOR TO INSTALLATION OF ANY SIGN.
- WOOD PRODUCTS THAT ARE USED IN NON-COMBUSTIBLE BLDGS. SHALL BE PRESSURE-TREATED WITH AN APPROVED FIRE RETARDANT IN ACCORDANCE WITH THE 1997 LBC CODE.
- PROVIDE AN APPROVED FIRE SPRINKLER SYSTEM PER NFPA STANDARDS AND THE APPLICABLE A BUILDING CODE AND AS REGULATED BY LOCAL CITY AUTHORITIES. SUBMIT DRAWINGS FOR APPROVAL PRIOR TO COMMENCING WORK.
- TYPICAL NOTES APPLY TO ALL SIMILAR CONDITIONS. TYPICAL DETAILS ARE COMMON CONSTRUCTION CONDITIONS AND APPLY TO ALL CIRCUMSTANCES UNLESS NOTED OTHERWISE.
- THE DRAWINGS AND THE PROJECT IS CONSIDERED PARTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR THE REVIEW AND CONFORMANCE TO ALL CONTRACT DOCUMENTS. IN THE CASE OF APPARENT CONFLICTS AND DISCREPANCIES BETWEEN THE DRAWINGS AND THE PROJECT MANUAL DOCUMENTS THEMSELVES, CONTRACTOR IS TO NOTIFY ARCHITECT IN WRITING OF SUCH APPARENT CONFLICTS AND REQUEST CLARIFICATION FROM THE ARCHITECT. NO ADDITIONAL COSTS OR DELAYS IN SCHEDULE WILL BE ACCEPTED DUE TO CONTRACTOR'S MISINTERPRETATIONS AND FAILURES TO REQUEST CLARIFICATIONS.

TERMS AND ABBREVIATIONS

A

ABV	ABOVE
AFF	ABOVE FINISHED FLOOR
ACC	ACCESS
ACFL	ACCESS FLOOR
AP	ACCESS PANEL
AC	ACOUSTICAL
ACPL	ACOUSTICAL PLASTER
ACT	ACOUSTICAL TILE
ACR	ACRYLIC PLASTIC
ADH	ADHESIVE
ADJ	ADJACENT
ADJT	ADJUSTABLE
AGG	AGGREGATE
A/C	AIR CONDITIONING
ALT	ALTERNATE
AL	ALUMINUM
ANC	ANCHOR, ANCHORAGE
AB	ANCHOR BOLT
ANOD	ANODIZED
ARCH	ARCHITECT, ARCHITECTURAL
AD	AREA DRAIN
ASPH	ASPHALT
AT	ASPHALT TILE
AUTO	AUTOMATIC
AWN	AWNING

B

BKR	BACKER
BMSIT	BASEMENT
BL	BASE LINE
BM	BEAM
BRG	BEARING
BPL	BEARING PLATE
BEL	BELLOWS
BM	BENCH MARK
BET	BETWEEN
BVL	BEVELED
BEY	BEYOND
BK	BLOCK
BK/G	BLOCKING
BD	BOARD
BS	BOTH SIDES
BT	BOTTOM
BRKT	BRACKET
BR	BRASS
BRK	BRICK
BRZ	BRONZE
BLDG	BUILDING
BLR	BUILT UP ROOFING
BRGL	BULLET RESISTANT GLASS BY OWNER
BO	

C

CAB	CABINET
CAN	CANVAS
CPT	CARPET
CSMU	CASEMENT
CT	CAST IRON
CST	CAST STONE
CB	CATCH BASIN
CLG	CEILING
CHT	CEILING HEIGHT
CEM	CEMENT
CM	CENTIMETER (S)
CER	CERAMIC
CT	CERAMIC TILE
CHBD	CHALKBOARD
CHAM	CHAMFER
CHM	CHIMNEY
CR	CIRCUITRY
CR	CIRCUITRY
CIRC	CIRCUMFERENCE
CLR	CLEAR, CLEARANCE
CLS	CLOSURE
COL	COATED GLASS
COL	COLUMN
COMB	COMBINATION
COM	COMMON
COMP	COMPARTMENT
COMPO	COMPOSITION, COMPOSITE
COMP	COMPRESS, (ED), (ION), (IBLE)
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUE, CONTINUOUS
CONTR	CONTRACT, CONTRACTOR
CONTR	CONTROL JOINT
CJT	CORNER
CPR	COPPER
CG	CORNER GUARD
CORR	CORRUGATED
CTR	COUNTER
CS	COUNTER SINK
CRS	COURSE
CFT	CUBIC FOOT
CYD	CUBIC YARD

D

DPR	DAMPER
DP	DAMP PROOFING
DL	DEAD LOAD
DEM	DEMOLISH, DEMOLITION
DMT	DE-MOUNTABLE
DTL	DETAIL
DIAG	DIAGONAL
DIA	DIAMETER
DIM	DIMENSION
DSP	DISPENSER
DIV	DIVISION
DR	DOOR
DTA	DOVETAIL ANCHOR
DTA	DOVETAIL ANCHOR SLOT
DN	DOWN
DS	DOWNSPOUT
DT	DRAIN TILE
DWR	DRAWER
DWG	DRAWING
DF	DRINKING FOUNTAIN
DW	DUMBWATER

E

EA	EACH
EF	EACH FACE
EW	EACH WAY
ESMNT	EASEMENT
E	EAST
ELAS	ELASTIC
ELEC	ELECTRIC, (AL)
EP	ELECTRICAL PANEL-BOARD
EWC	ELECTRIC WATER COOLER
EL	ELEVATION (VERTICAL HEIGHT)
EB	ELEVATION (VIEW)
LAM	LAMINATE, (ED)
LGL	LAMINATED GLASS
LAV	LAVATORY
LO	LAYOUT
LH	LEFT HAND
L	LENGTH
LT	LIGHT
LW	LIGHTWEIGHT
LMS	LIMESTONE
LTL	LINTEL
LL	LIVE LOAD
LOC	LOCATE
LLD	LOOSE LAID
LVR	LOUVER
LPT	LOW POINT

F

FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOS	FACE OF STUDS
FAS	FACE OF STUDS, FASTENER
FN	FENCE
FBD	FIBERBOARD
FGL	FIBERGLASS
FIN	FINISH, (ED)
FFE	FINISHED FLOOR ELEVATION
FFL	FINISHED FLOOR LINE
FA	FIRE ALARM
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FHS	FIRE HOSE STATION
FPL	FIREPLACE
FR	FIREPROOF
FRT	FIRE-RETARDANT
FXT	FIXTURE
FLG	FLASHING
FLX	FLEXIBLE
FG	FLOAT GLASS
FLR	FLOOR, (ING)
FD	FLOOR DRAIN
FL	FLOOR LINE
FLR	FLORESCENT
FJT	FLUSH JOINT
FTG	FOOTING
FND	FOUNDATION
FR	FRAME, (D), (ING)
FS	FULL SIZE
FLR	FURRED, (ING)
FUT	FUTURE

G

GA	GAGE, GAUGE
GV	GALVANIZED
GKT	GASKET, (ED)
GC	GENERAL CONTRACT, (OR)
GL	GLASS, GLAZING
GLB	GLASS BLOCK
GC/MU	GLAZED CON MASONRY UNITS
GLAM	GLUED LAMINATE
GB	GRAB BAR
GD	GRADE, GRADING
GRN	GRANITE
GRT	GRATE, (ING)
GVL	GRAVEL
GRHS	GREENHOUSE
GT	GROUT
GRD	GUARD
GUT	GUTTER
GPW	GYPSPUM DRY WALL
GRL	GYPSPUM LATH
GPL	GYPSPUM PLASTER
GPT	GYPSPUM TILE
GPW	GYPSPUM WALLBOARD

H

HC	HANDICAP
HRL	HAND-RAIL
HBD	HARDBOARD
HDW	HARDWARE
HWD	HARDWOOD
HER	HEADER
HTG	HEATING
HVAC	HEATING/ VENTILATING AIR CONDITIONING
HD	HEAVY DUTY
HT	HEIGHT
HPT	HIGH POINT
HCR	HOLLOW CORE
HOR	HORIZONTAL
HB	HOSE BIBB

I

INCN	INCANDESCENT
INCN	INCINERATOR
INCL	INCLUDE, (ED), (ING)
INS	INSIDE DIAMETER
INS	INSULATE, (ED), (ING)
INS	INSULATING CONCRETE
IGL	INSULATING GLASS
INT	INTERIOR
INTM	INTERMEDIATE
INV	INVERT

J

JC	JANITOR'S CLOSET
JT	JOINT
JF	JOINT FILLER
J	JOIST

K

KPL	KICKPLATE
KIT	KITCHEN
KO	KNOCKOUT

L

LBL	LABEL
LAB	LABORATORY
LAD	LADDER
LB	LAG BOLT
LAM	LAMINATE, (ED)
LGL	LAMINATED GLASS
LAV	LAVATORY
LO	LAYOUT
LH	LEFT HAND
L	LENGTH
LT	LIGHT
LW	LIGHTWEIGHT
LMS	LIMESTONE
LTL	LINTEL
LL	LIVE LOAD
LOC	LOCATE
LLD	LOOSE LAID
LVR	LOUVER
LPT	LOW POINT

M

MB	MACHINE BOLT
MH	MANHOLE
MFR	MANUFACTURE, (ER)
MRB	MARBLE
MAS	MASONRY
MTL	MATERIAL
MAX	MAXIMUM
MECH	MECHANIC, (AL)
MC	MEDICINE CABINET
MED	MEDIUM
MDO	MEDIUM DENSITY OVERLAY
MBR	MEMBER
MMB	MEMBRANE
MET	METAL
M	METER, (S)
MW	MICROWAVE
MM	MILLIMETER, (S)
MIN	MINIMUM
MIR	MIRROR
MGL	MIRROR GLASS (FRAMED)
MISC	MISCELLANEOUS
MDO	MODULAR
MLD	MOLDING, MOLDING
MR	MOP RECEPTOR
MT	MOUNT, (ED), (ING)
MOV	MOVABLE
MULL	MULLION

N

NL	AVAILABLE
NAT	NATURAL
NI	NICKEL
NR	NOISE REDUCTION
NOM	NOMINAL
N	NORTH
NIC	NOT IN CONTRACT
NYS	NOT TO SCALE
NO	NUMBER

O

OC	ON CENTER, (S)
OP	OPAOLE
OPG	OPENING
OPH	OPPOSITE HAND
ORN	ORNAMENTAL
OD	OUTSIDE DIAMETER
OA	OVERALL
OH	OVERHEAD

P

PNT	PAINT, (ED)
PNL	PANEL, (ING)
PB	PANIC BAR
PTD	PAPER TOWER DISPENSER
PTR	PAPER TOWER RECEPTOR
PAR	PARALLEL
PPPT	PARAPET
PK	PARKING
PBD	PARTICLE BOARD
PTN	PARTITION
PV	PAVE, (D), (ING)
PVM	PAVEMENT
PERF	PERFORATE, (ED)
PER	PERIMETER
PTR	PLANTER
PLTG	PLANTING
PLAS	PLASTER
PLA	PLASTIC
PLAM	PLASTIC LAMINATE
PL	PLATE
PLG	PLATE GLASS
PWD	PLYWOOD
PT	POINT
PVC	POLYVINYL CHLORIDE
PE	PORCELAIN ENAMEL
PCPL	PORTLAND CEMENT PLASTER
PO	POUND, (S)
PCF	POUNDS PER CUBIC FOOT
PLF	POUNDS PER LINEAR FOOT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PCC	PRECAST CONCRETE
PFB	PREFABRICATE, (ED)
PFN	PRE-FINISHED
PFM	PRE-MOLDED
PREM	PRESSURE TREATED
PT	PROPERTY LINE

Q

QT	QUARRY TILE
----	-------------

R

RFH	ROOF HATCH
RFG	ROOFING
RM	ROOM
RO	ROUGH OPENING
RCP	ROUND CONCRETE PIPE
RCK	ROWLOCK
RB	RUBBER BASE
RBT	RUBBER TILE
RBL	RUBBLE STONE
RBT	RABBET, REBATE
RAD	RADIUS
RFT	RAFTER
RL	RAIL, (ING)
REC	RECESS, (ED)
REF	REFER, (ENCE)
REF	REFLECT, (ED), (IVE), (OR)
REFR	REFRIGERATOR
REG	REGISTER
REN	REINFORCE, (ED), (ING)
RECP	REINFORCED CONCRETE PIPE
REIM	REMOVE, (ABLE)
REQ'D	REQUIRED
RES	RESILIENT
RET	RETURN
RA	RETURN AIR
RVS	REVERSE (SIDE)
REV	REVERSE, (S), REVERSE, (ED)
TH	RIGHT HAND
ROW	RIGHT OF WAY
R	RISER
RSD	ROOF AND SHELF
ROD	ROOF DRAIN

S

SFGL	SAFETY GLASS
SCH	SCHEDULE
SCN	SCREEN, (ED)
SCLP	SCREEN
SEAL	SEALANT
STG	SEATING
SEC	SECTION
SVYD	SERVICE YARD
SSK	SERVICE SINK
SHT	SHEATH, (ING)
SHT	SHEET
SG	SHEET GLASS
SH	SHELF, SHELVING
SHNG	SHINGLE, (S)
SHU	SHUTTER, (S)
SIBG	SIBING
SM	SIMILAR
SKL	SKYLIGHT
SL	SLEEVE
SLO	SLOPE
SOL	SOLDER
SC	SOLID CORE
SP	SOUNDPROOF
S	SOUTH
SPC	SPACE, (R)
SGL	SPANDREL GLASS
SPR	SPEAKER
SPL	SPECIAL
SPEC	SPECIFICATION
SPH	SPLASH
SO	SQUARE
SSIT	STAINLESS STEEL
STGL	STAINED GLASS
STD	STANDARD
STA	STATION
ST	STEEL
STO	STORAGE
SF	STOREFRONT
SD	STORM DRAIN
STR	STRUCTURAL
STCO	STUCCO
SFLR	SUB-FLOOR
SA	SUPPLY AIR
SUS	SUSPENDED
SYD	SIDE YARD
SYM	SYMMETRY, (ETRICAL)
SYN	SYNTHETIC
SYS	SYSTEM

T

TKBD	TACK-BOARD
TEL	TELEPHONE
TV	TELEVISION
TG	TEMPERED GLASS
TKG	TEMPERED, INSULATED GLASS
TZ	TERRAZZO
THK	THICK, (NESS)
THR	THRESHOLD
TBR	TO BE RELOCATED
TOBR	TO BE REMOVED
TPO	TOILET PAPER DISPENSER
TPTN	TOILET PARTITION
TOL	TOLERANCE
T&C	TONGUE AND GROOVE
TSL	TOP OF CONCRETE SLAB
TC	TOP OF CURB
TI	TOP OF JOIST
TP	TOP OF PLATE
TS	TOP OF STEEL
TSF	TOP OF SUBFLOOR
TW	TOP OF WALL
TPG	TOPPING
TOR	TO REMAIN
TB	TOWER BAR
TRM	TRANSOM
T	TREAD
TRNB	TURNBUCKLE
TYP	TYPICAL

U

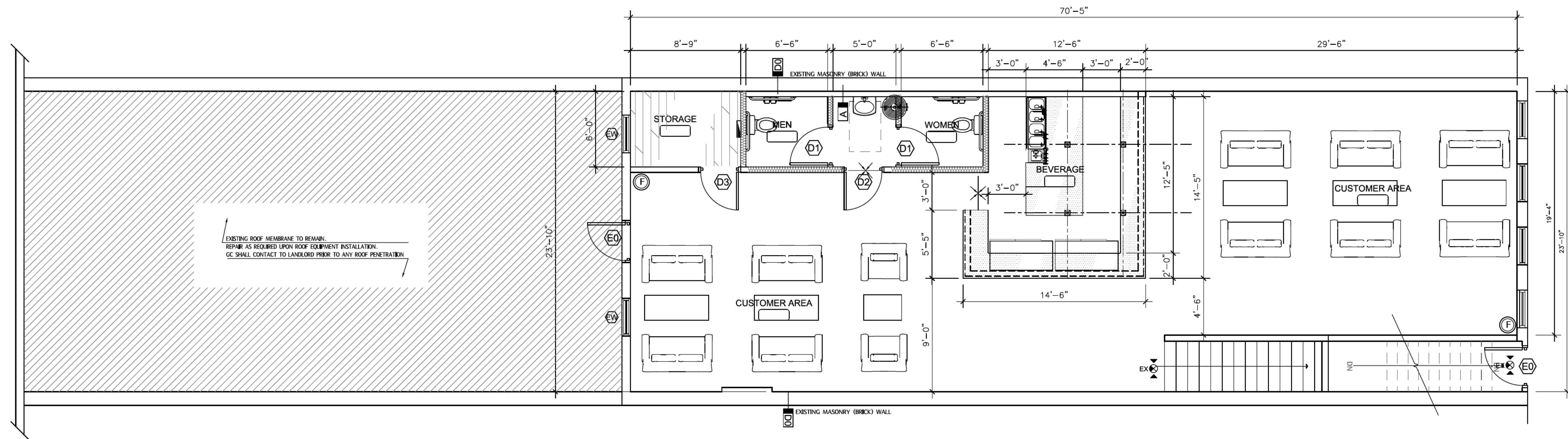
UC	UNDERCUT
UNF	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UR	URNAL
UTL	UTILITY

V

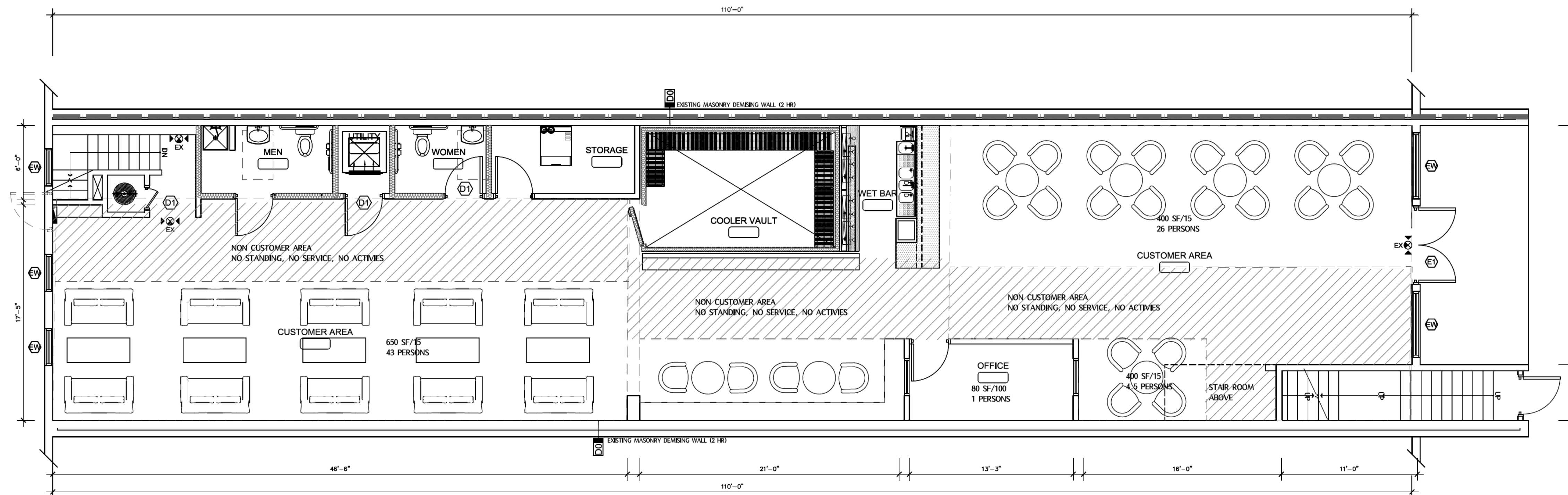
VJ	V-JOINT
VB	VAPOR BARRIER
VBR	VARNISH
VERT	VERTICAL
VG	VERTICAL GRAIN
VN	VINYL
VB	VINYL BASE
VCT	VINYL COMPOSITION TILE
VF	VINYL FABRIC
VT	VINYL TILE
VICP	VITREOUS CLAY PIPE

W

WSC	WAINSCOT
WH	WALL HUNG
WC	WATER CLOSET
WHTR	WATER HEATER
WP	WATERPROOFING
WR	WATER RESISTANT
WS	WATER-STOP
WST	WEATHER-STRIP, (ING)
WWF	WELED WIRE FABRIC
W	WEST
WHS	WHEEL STOP
WID	



02 PROPOSED FLOOR PLAN - 2F-B
1/4"=1'-0"



01 EXISTING FLOOR PLAN - 1F
1/4"=1'-0"

NUMBER	REVISION/ISSUE	DATE

JNF ASSOCIATES
JNF
 ARCHITECTURE

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PROJECT NAME / ADDRESS

SUITE COMBINING & PARTIAL INTERIOR REMODELING
D20 TAVERN
 112 WEST OAK ST, SUITE #112-100
 DENTON, TX 76201

REFERENCE NUMBER

SHEET TITLE

SHEET NUMBER

A1.00

INTERIOR FINISH OUT

ROOM	FLOOR		BASE		WALLS		CEILING		NOTE
	EXISTING	NEW	EXISTING	NEW	EXISTING	NEW	EXISTING	NEW	
CUSTOMER AREA	●		●		●		●		
BEVERAGE	●		●		●		●		
RESTROOM	●		●		●		●		
STORAGE	●		●		●		●		

FINISH OUT NOTE

PATTERN AND COLOR FOR TILE SHALL BE DETERMINED BY OWNER

CERAMIC TILE (TBD)
WET BAR (COUNTER)

CRM-1

HARDWOOD FLOOR (EXISTING)
AT DINING AREA/ROOM DINING
/CORRIDOR/WAITING AREA

QRT-1

CEILING FINISH
WALL FINISH
BASE FINISH
FLOOR FINISH

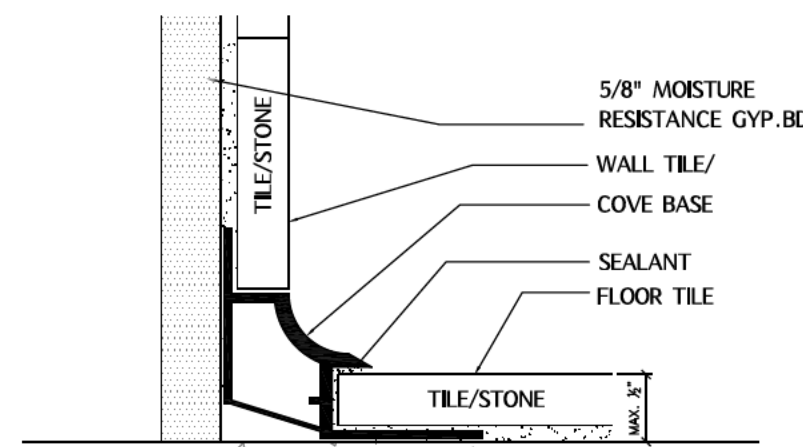
BATT INSULATION

MATERIAL JOINT

(FRP) FRP PANEL FINISH

(CRT) CERAMIC TILE FINISH

COVE BASE AT WET AREA



BUILDING KEY NOTES

- 01 ELECTRIC PANEL 100 AMP 3p 208Y/120V TO BE RELOCATED
- 02 N/A
- 03 EXIT LIGHT W/ MIN. 90 MINUTE BACKUP BATTERY
- 04 BATT 13 INSULATION ON RESTROOM WALL
- 05 INTERIOR PARTITION WALL UP TO 4' (H) FOR PLUMBING & UTILITIES
- 06 COMMON LAV. SINK
- 07 4 COMP SINK
- 08 HAND SINK
- 09 SOLID SURFACE REAR COUNTERTOP
- 10 SOLID SURFACE COUNTERTOP
- 11 BEVERAGE COOLER #1.#2
- 12 EXISTING LOW PARTITION WALL
- 13 WATER HEATER (50 GAL.) ECLECTIC

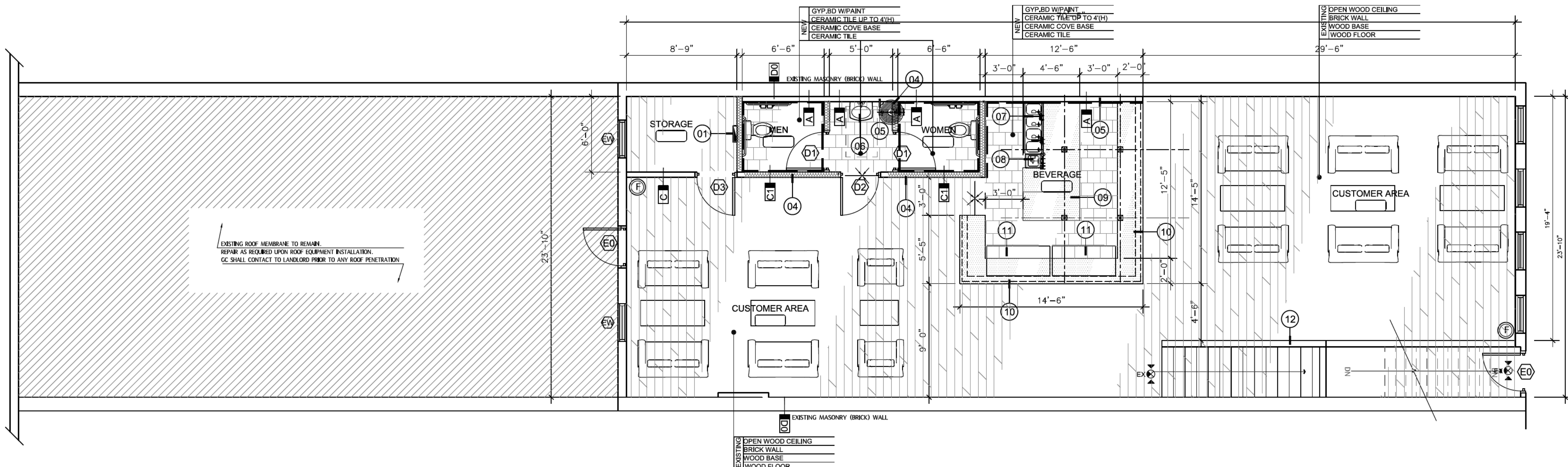
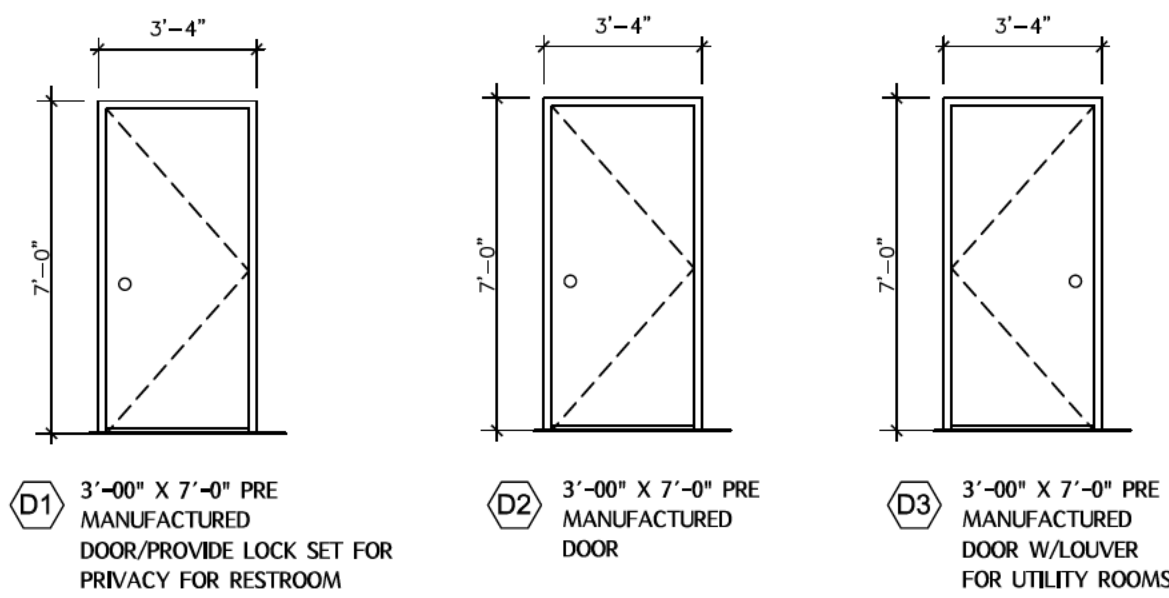
MILL WORK NOTE

MILL WORK CONTRACTOR SHALL PROVIDE SHOP DRAWING FOR ALL LOWER CABINETS AND UPPER CABINETS AT PREP AREA, COUNTER/ DINING AREA, AND CUSTOMER AREA

ALL CABINETS WILL BE MELAMINE, PLASTIC LAMINATE OR BETTER

FIRE EXTINGUISHER NOTE

FIRE EXTINGUISHERS SHALL BE PROVIDED IN ACCORDANCE WITH 2023 INTERNATIONAL FIRE CODE SECTION 906. MINIMUM RATING SHALL BE ONE 2A:10B:C RATED EXTINGUISHER/3000 SQ. FT. FLOOR SPACE. TRAVEL DISTANCE SHALL NOT EXCEED 75 FT. TO ANY FIRE EXTINGUISHER. THE FIRE EXTINGUISHER(S) SHALL HAVE A CURRENT INSPECTION/SERVICE TAG FROM A LICENSED FIRE EXTINGUISHER COMPANY.



02 PROPOSED FLOOR PLAN - 2F
3/16"=1'-00"

SYMBOL/KEY

===== DENOTES EXISTING ITEMS TO BE REMOVED. VERIFY ALL LOCATIONS IN FIELD.

--- DE --- EXISTING INTERIOR WALL TO BE REMOVED

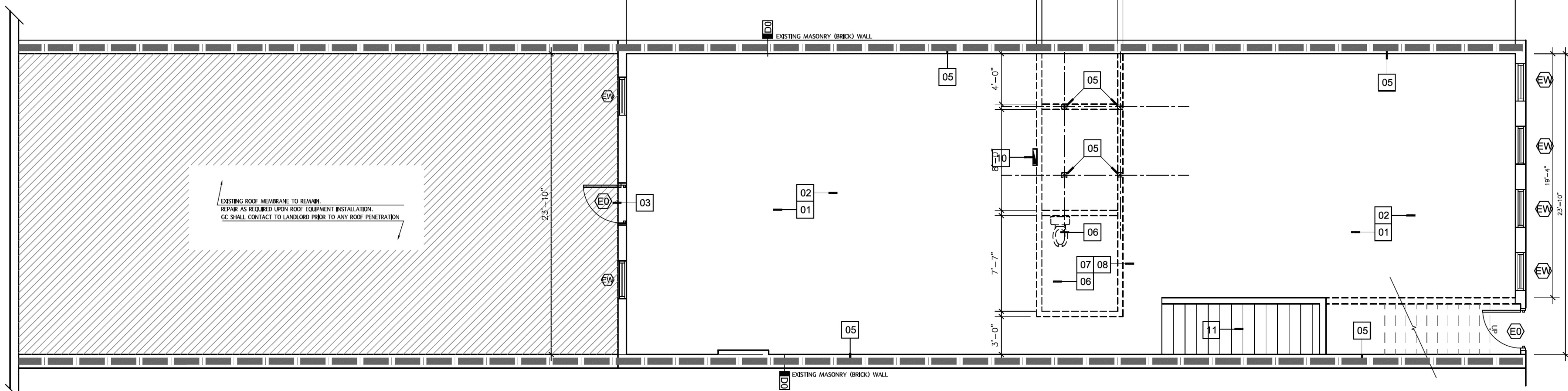
===== DENOTES EXISTING PARTITIONS/ITEMS TO REMAIN

--- EO --- EXISTING EXTERIOR WALL

----- DENOTES EXISTING CEILING TILE/GRID & GYP.BD CEILING TO BE REMOVED

EXISTING PLAN KEY NOTE

- 01 EXISTING WOOD FLOOR TO REMAIN
- 02 EXISTING OPEN CEILING TO REMAIN
- 03 EXISTING DOOR TO REMAIN
- 04 EXISTING BRICK DEMISING WALL TO REMAIN
- 05 EXISTING WOOD COLUMN TO REMAIN
- 06 EXISTING INTERIOR PARTITION WALL TO BE REMOVED
- 07 EXISTING CEILING TO BE REMOVED
- 08 EXISTING RAISED FLOOR TO BE REMOVED
- 09 PROVIDE COMPLETE CLOSE OUT TO C/W,H/W AND S.S LINE AFTER WATER FIXTURE REMOVED
- 10 EXISTING ELECTRIC PANEL TO BE RELOCATED
- 11 EXISTING STAIR TO REMAIN



01 EXISTING FLOOR PLAN/DEMO PLAN- 2F
3/16"=1'-00"



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PROJECT NAME / ADDRESS

SUITE COMBINING & PARTIAL INTERIOR REMODELING
D20 TAVERN
112 WEST OAK ST, SUITE #112-100
DENTON, TX 76201

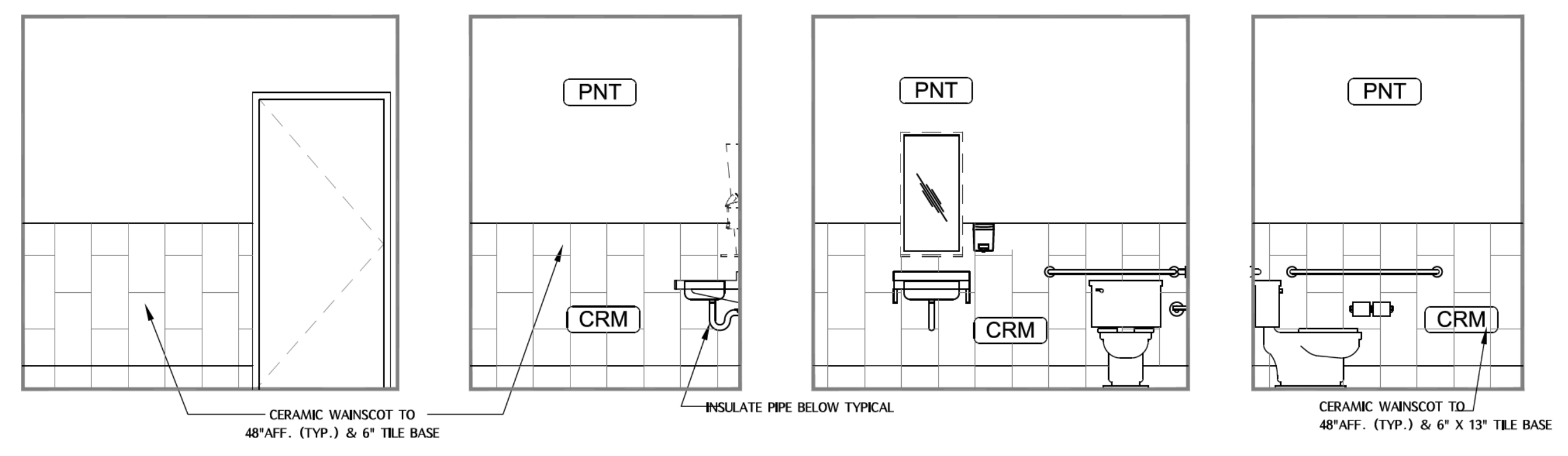
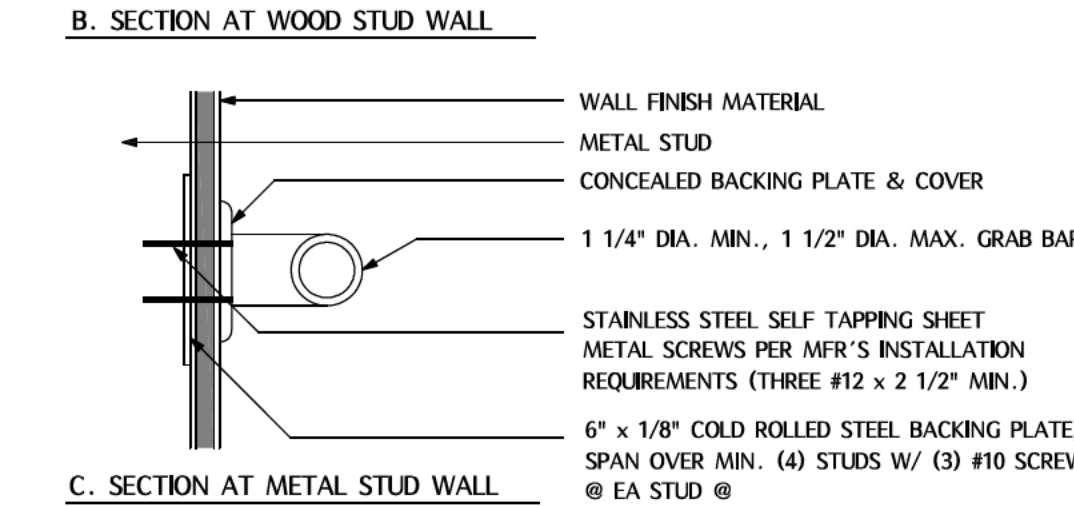
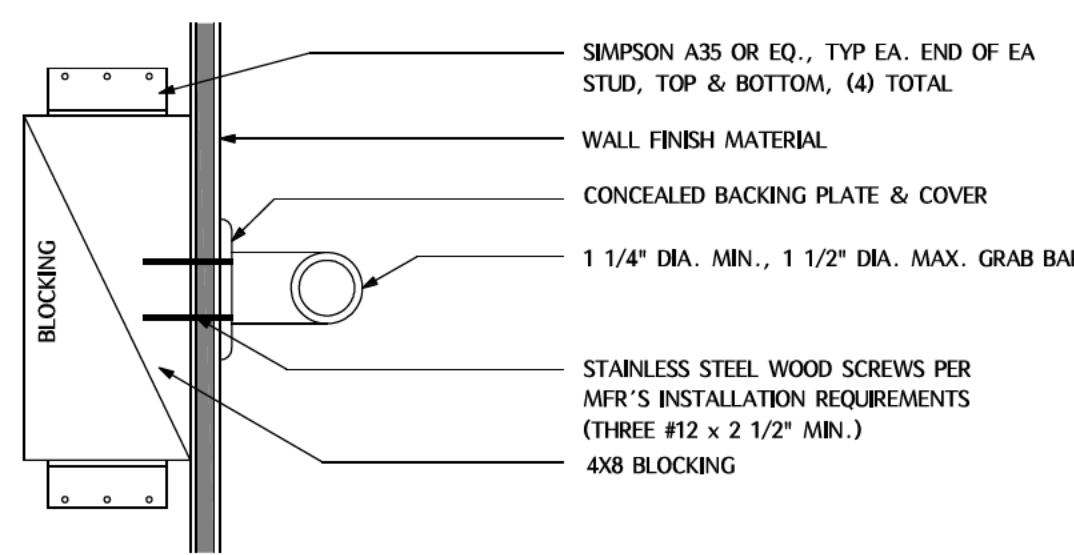
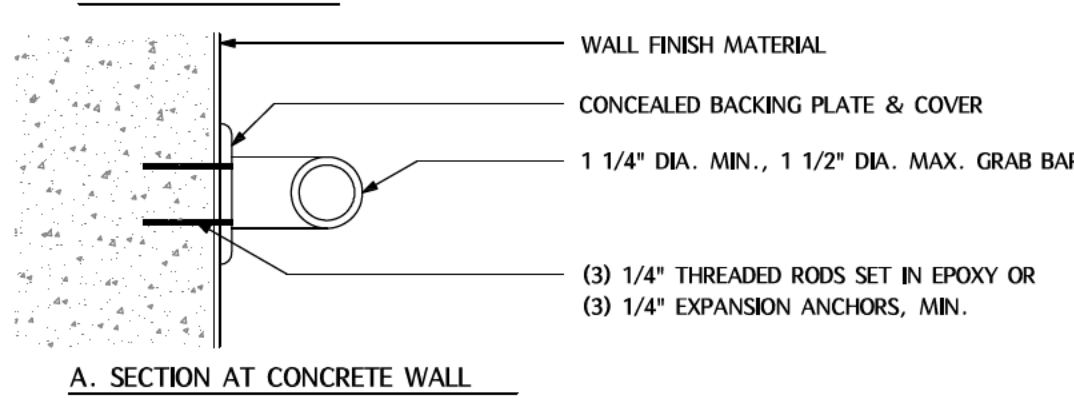
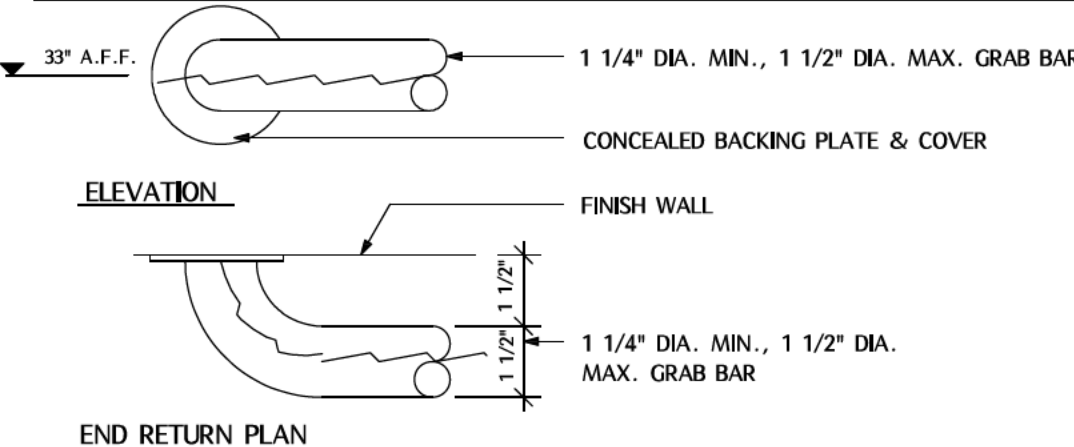
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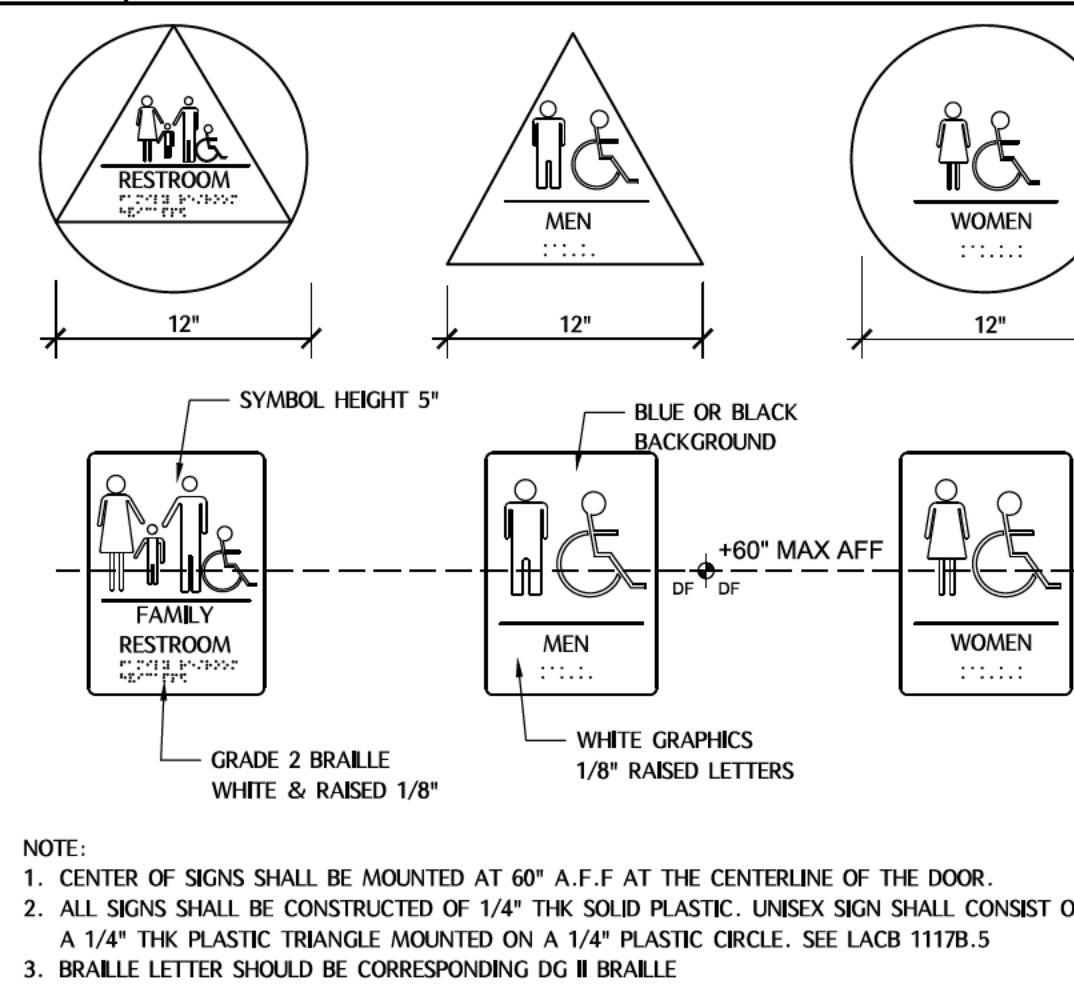
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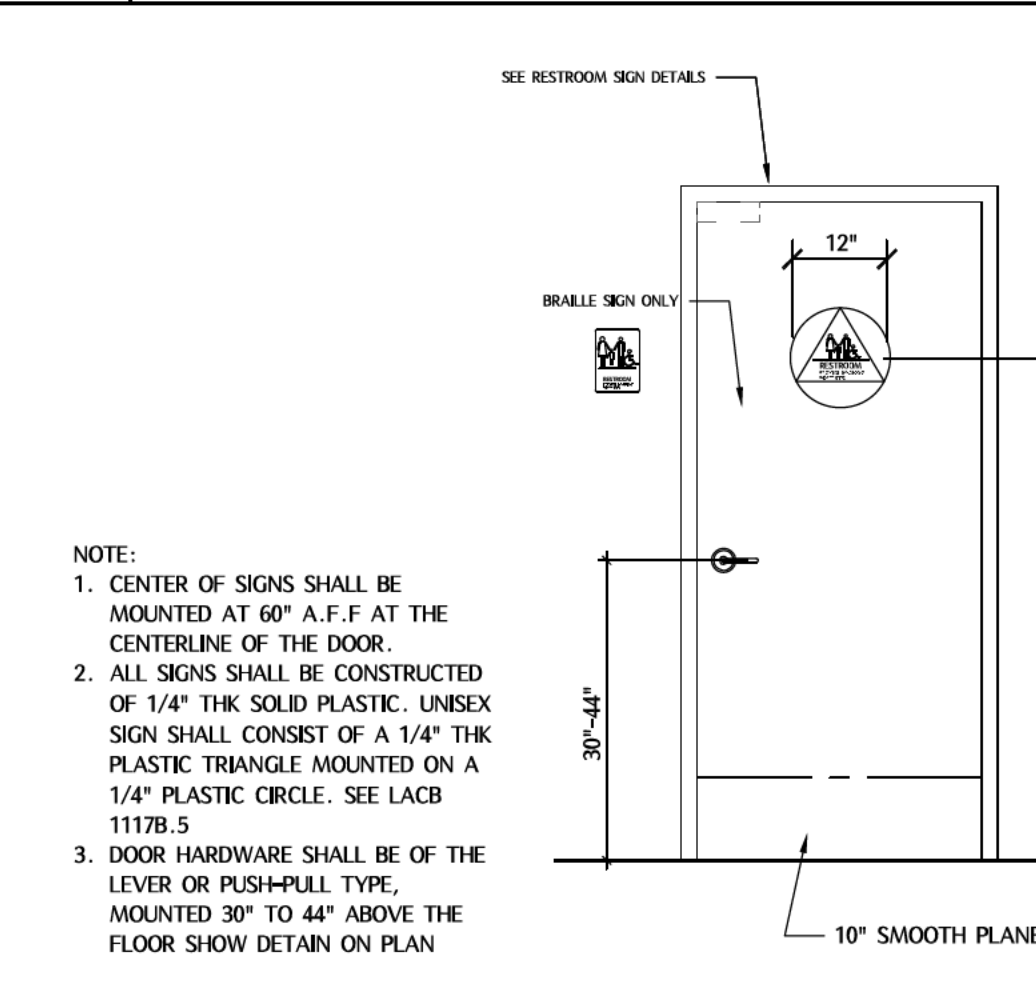
NOTE: GRAB BAR AND ITS INSTALLATION SHALL RESIST A 250 LBS POINT LOAD
REFER TO MANUFACTURER'S SPEC. SHEET



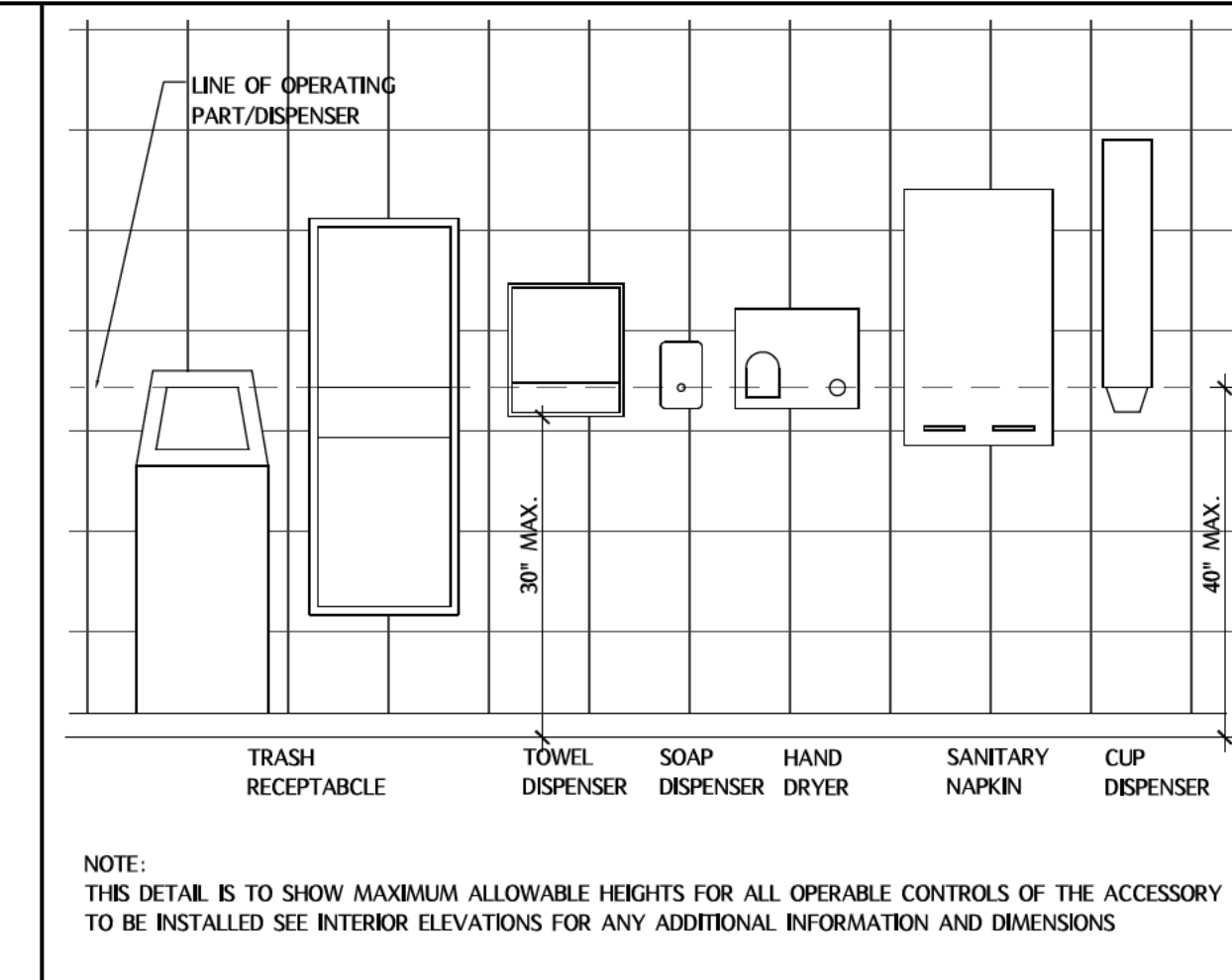
12 RESTROOM SIGN NTS



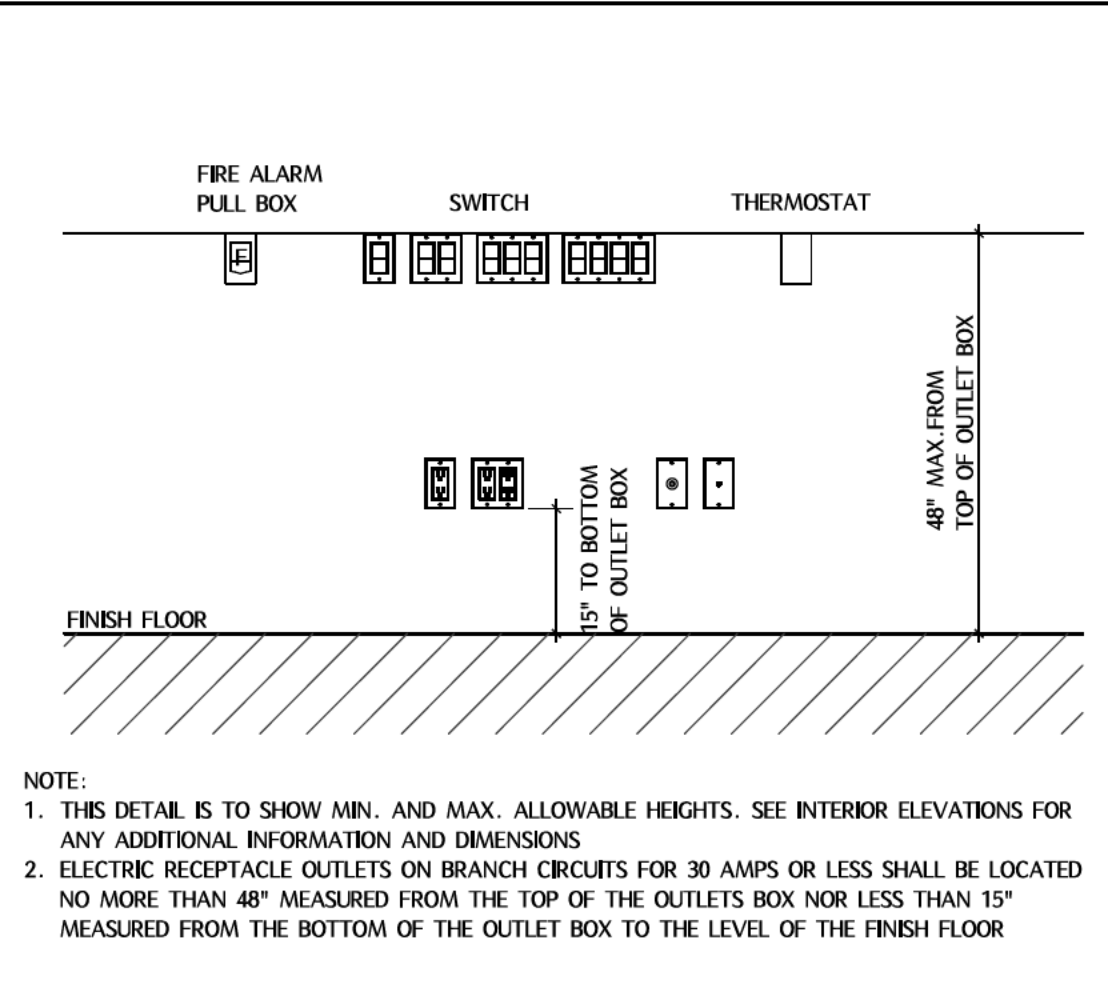
11 ADA RESTROOM DETAIL REFERENCE ONLY NTS



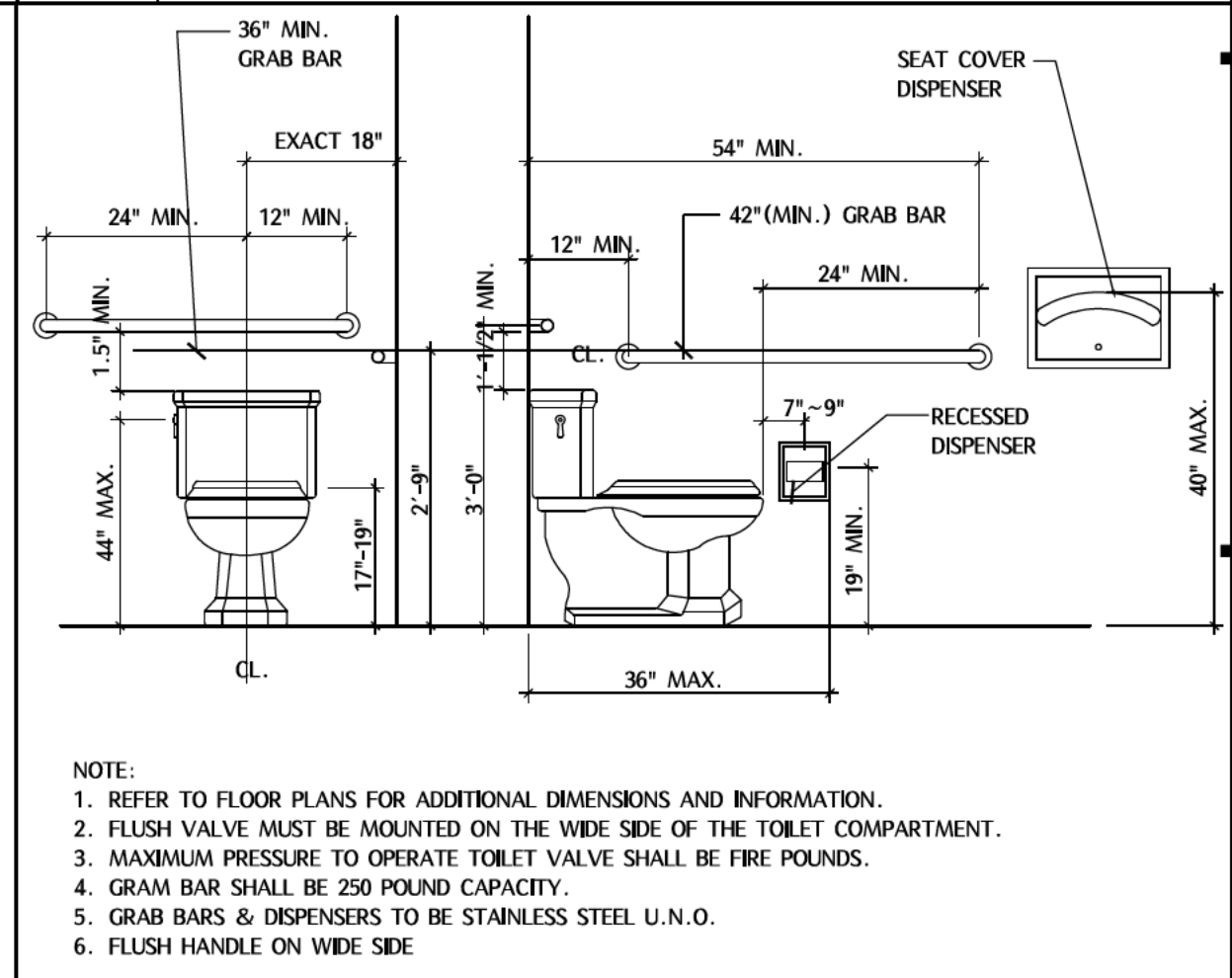
11 ADA RESTROOM DETAIL REFERENCE ONLY NTS



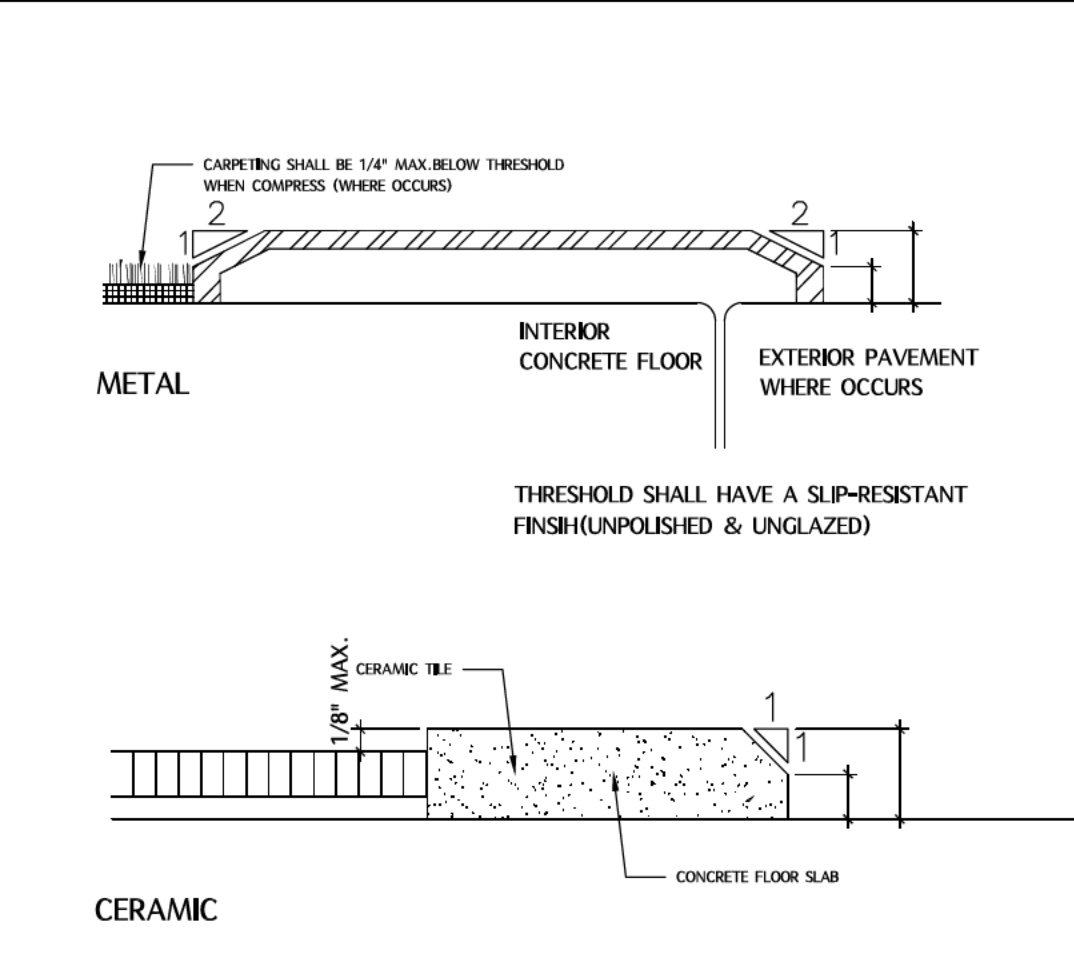
12 N/A



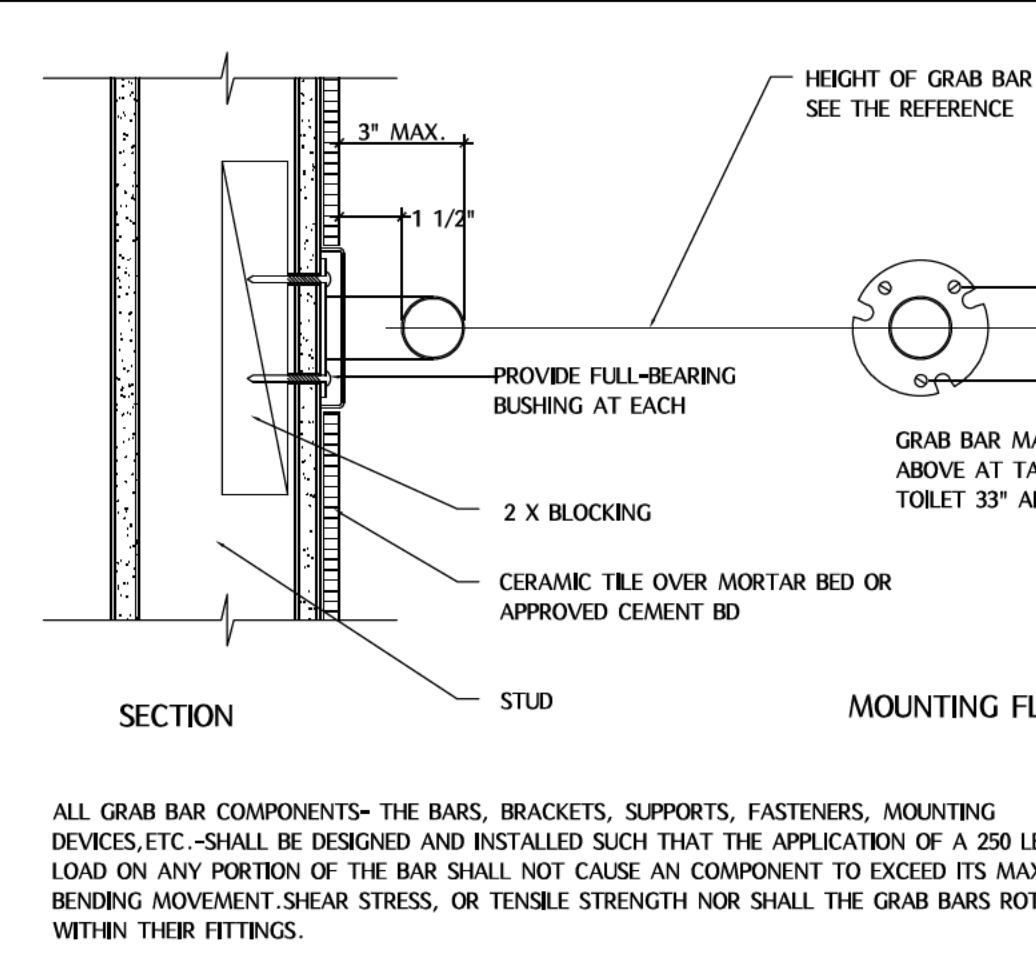
12 N/A



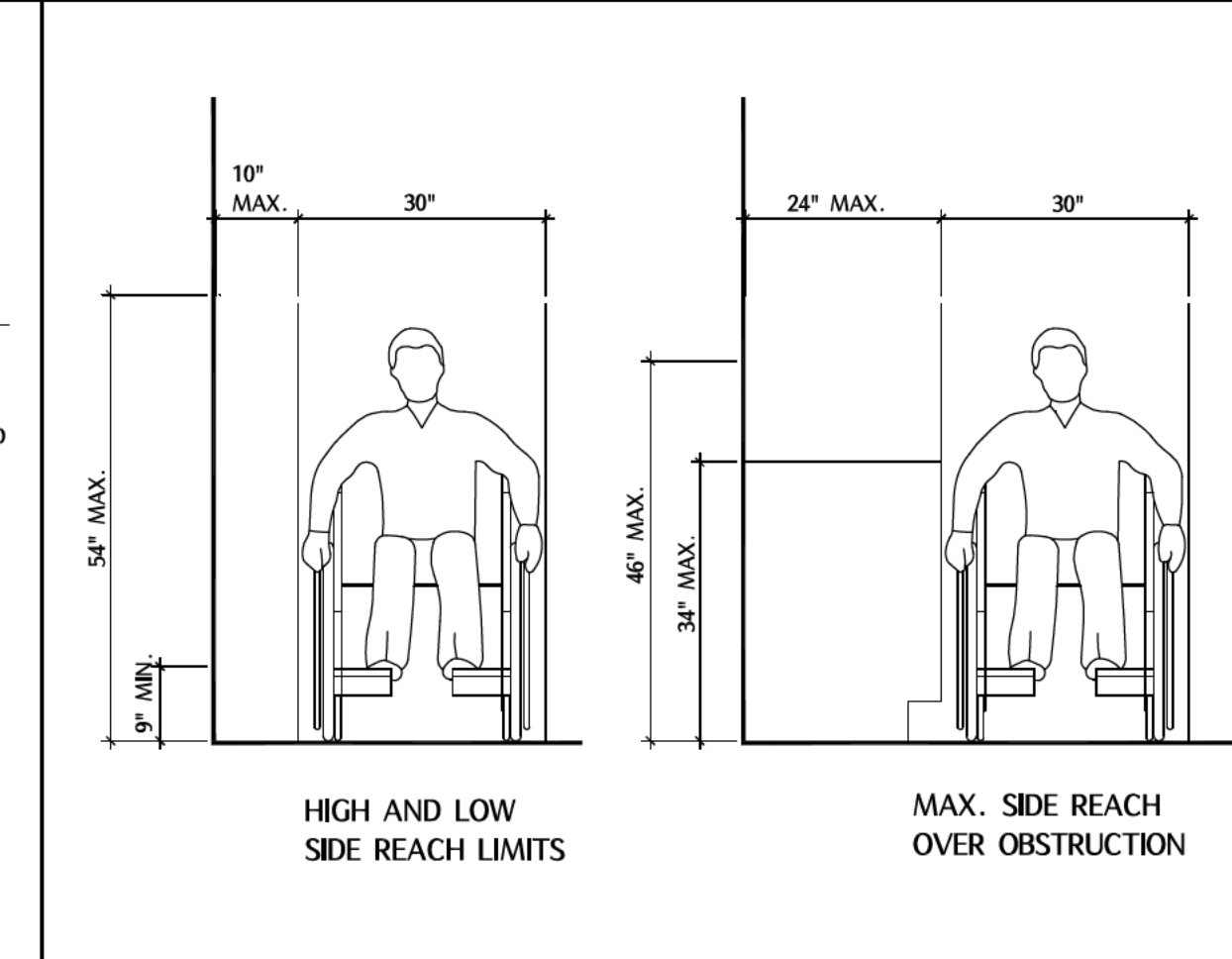
10 RESTROOM SIGN NTS



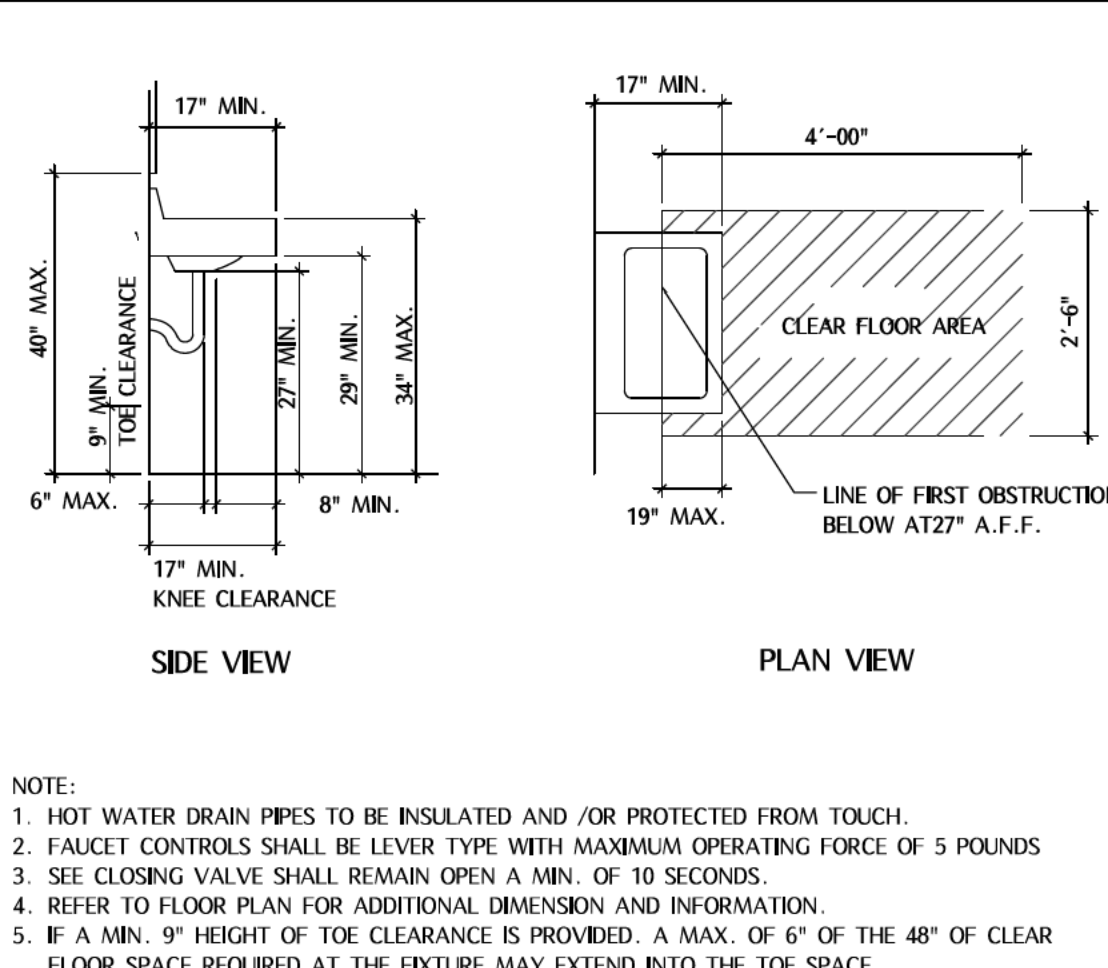
9 H.C. DOOR (TYP.) NTS



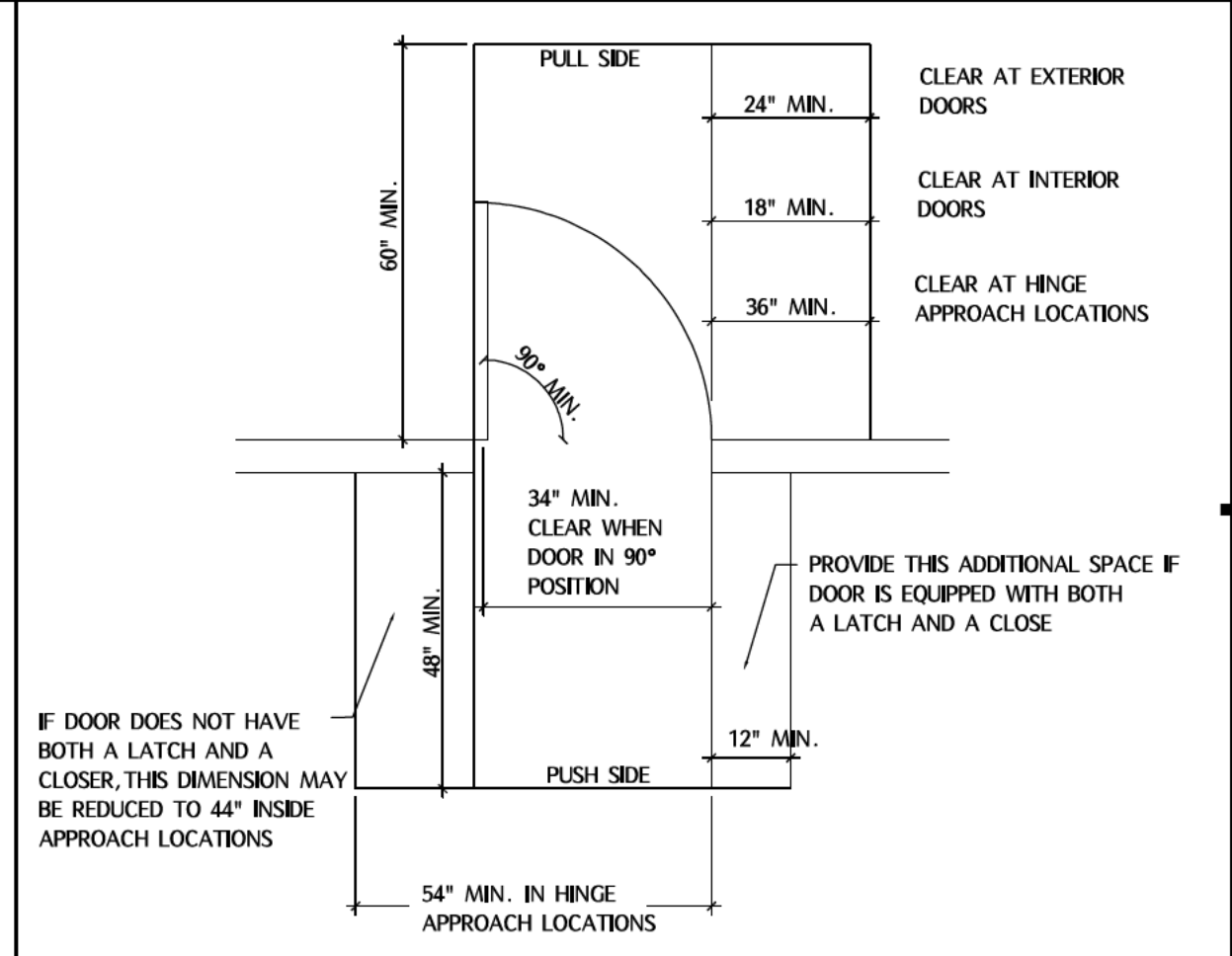
8 ACCESSORIES HEIGHT NTS



7 SWITCH & OUTLET HEIGHTS NTS



6 TOILET FACILITY NTS



5 THRESHOLDS NTS

4 TYP. GRAB BAR DETAIL NTS

3 WATER CLOSET SIDE REACH LIMITS NTS

2 LABORATORIES NTS

1 CLEAR AREAS AT DOORS NTS

DATE	
REVISION/ISSUE	
NUMBER	

JNF ASSOCIATES
JNF
 ARCHITECTURE
 1200 N. STEWARTS FRWY #303
 DALLAS, TX 75234
 214-908-1139
 J.NF.ASSOCIATES@GMAIL.COM

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PROJECT NAME / ADDRESS

SUITE COMBING & PARTIAL INTERIOR REMODELING
D20 TAVERN
 112 WEST OAK ST., SUITE #112-100
 DENTON, TX 76201

REFERENCE NUMBER

SHEET TITLE

SHEET NUMBER

A1.03

LIGHTING & CEILING LEGEND SYMBOL NOT SCALED

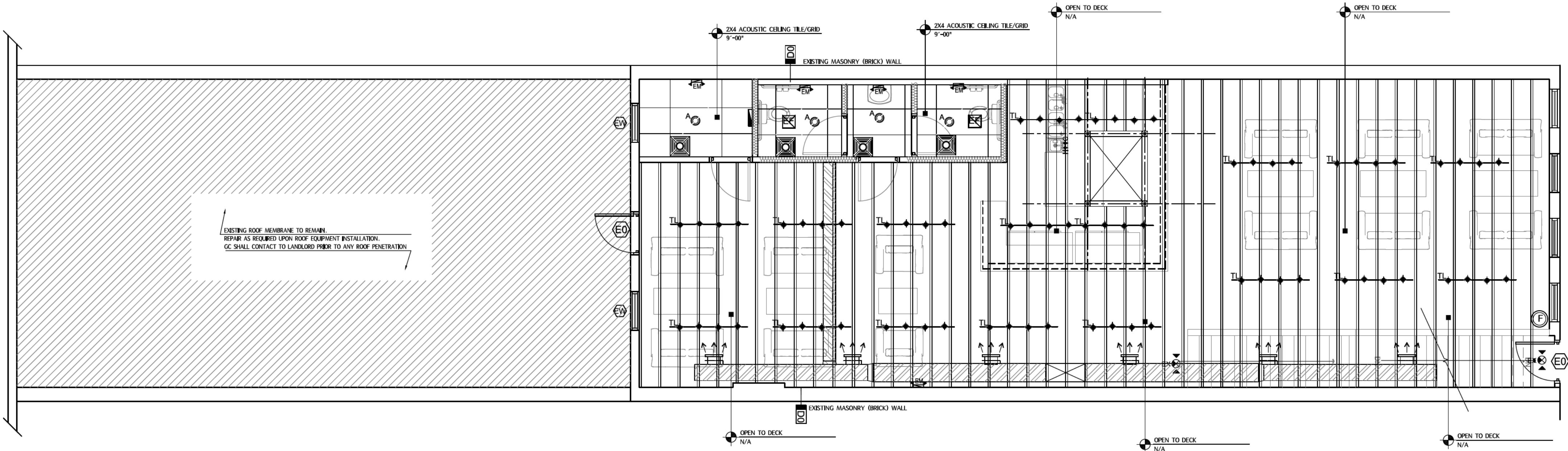
SYMBOL	DESCRIPTION
	2'X2' CEILING TILE AND GRID
	2'X4' CEILING TILE AND GRID
	5/8\"/>
E	EXISTING TO REMAIN
R	EXISTING TO BE CAPPED/REMOVED. PATCH/REPAIR WALL AND PREPARE TO RECEIVE NEW SCHEDULED FINISHES.
	LIGHT SWITCH
	DIMMER LIGHT SWITCH. LOWER CASE LETTER INDICATES CIRCUIT
	3-WAY SWITCH. LOWER CASE LETTER INDICATES CIRCUIT
	OCCUPANCY SENSORS ARE REQUIRED IN ROOMS WITH TWO OR MORE LIGHTS OR SHALL BE DUAL SWITCHED (B). OCCUPANCY SENSORS ARE REQUIRED IN RESTROOMS.
	MOTION SENSOR
	REFERENCE NOTE
	BLDG. STANDARD EXIT SIGN
	CEILING HEIGHT/TYPE TRANSITION
	CEILING HEIGHT INDICATOR
	AIR LAY IN SUPPLY DIFFUSER 24\"/>
	RAGR RETURN GRILLE 24\"/>
	BLDG. STANDARD EXHAUST FAN WITH SWITCH AS REQUIRED BY CODE - WHITE

LIGHT FIXTURE SCHEDULE

SYM.	DESCRIPTION	MANUFACTURER	MODEL #	LAMP	WATTS	QTY	REMARKS	SYM.	DESCRIPTION	MANUFACTURER	MODEL #	LAMP	WATTS	QTY	REMARKS
EX	EXIT/EMERGENCY SIGN	HIGH LITES	HBP-PLD5-R-DEH-RC REMOTE CAPACITY	LED	11	2	EMERGENCY LIGHT FIXTURE/ MIN. 90 MINUTE BACK UP BATTERY, HARD WIRED UNIT AUTOMATICALLY RECHARGES BATTERY	TR	TRACK LIGHT	LITHONIA	TBD	LED	RW/ PER BULB	-	
EM	EMERGENCY LIGHT (TYPE A)	HIGH LITES	HL-120 2H6AD WHITE	LED	11	6	DOUBLE HEAD UNIT (WHITE) MOUNT PER PLAN								
F1	RECESSED 2'x4' LED PANEL LIGHT INPUT: 100-277V, 60Hz, 40W/50W/60W	TBD	TBD	LED	50	10	CRI > 80 CCT : 3500K / 4000K / 5000K								
D1	6\"/>	TBD	TBD	LED	15	11	LED WITH DIMMER DRIVER								

NOTE
 1. ALL LIGHTING FIXTURES SHALL BE FINAL SELECTED BY OWNER / ARCHITECT.
 2. EXACT LOCATION AND MOUNTING HEIGHTS OF ALL LIGHTING FIXTURES SHALL BE VERIFIED WITH ARCHITECT PRIOR TO ROUGH-IN

LIGHTING NOTES BY SYMBOL



01 REFLECTED CEILING PLAN-2F
3/16\"/>

DATE	REVISION/ISSUE	NUMBER

JNF ASSOCIATES
JNF
 1220 N. STEWARTS FRWY #303
 DALLAS, TX 75234
 214-908-1139
 J.NF.ASSOCIATES@GMAIL.COM
 ARCHITECTURE

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PROJECT NAME / ADDRESS

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D20 TAVERN
 112 WEST OAK ST, SUITE #112-100
 DENTON, TX 76201

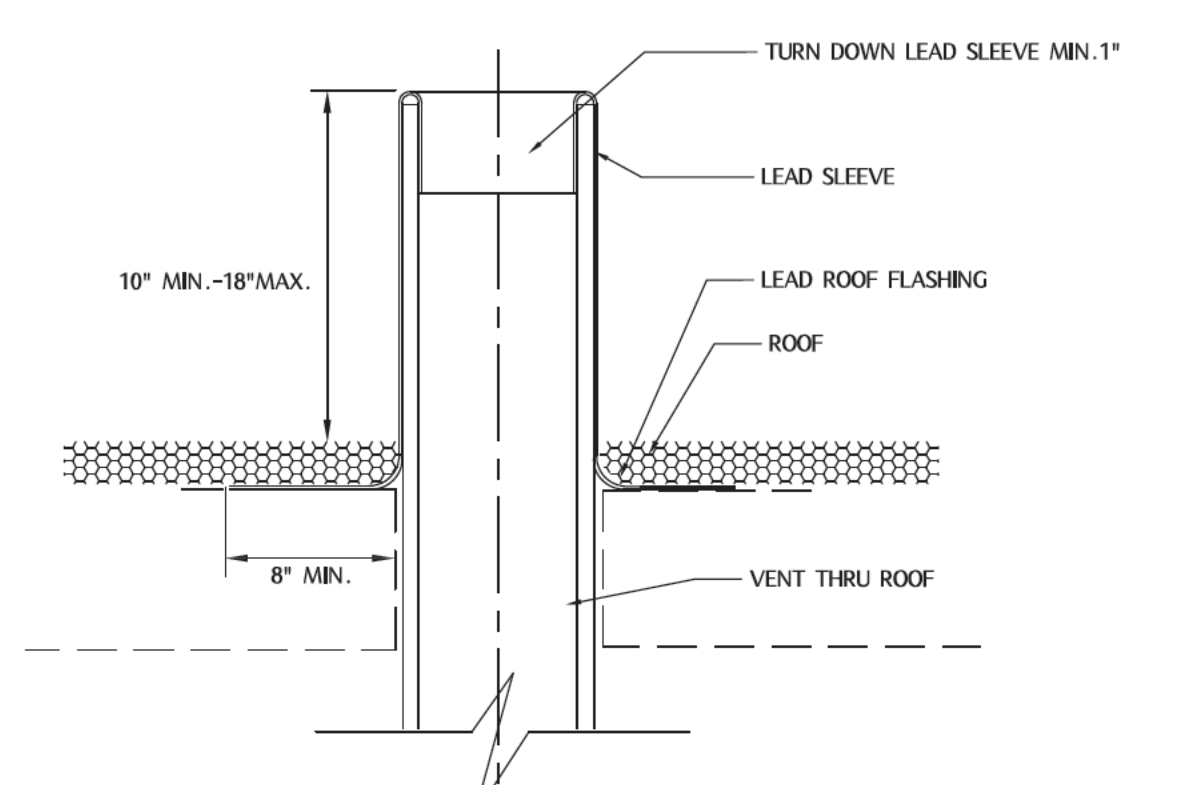
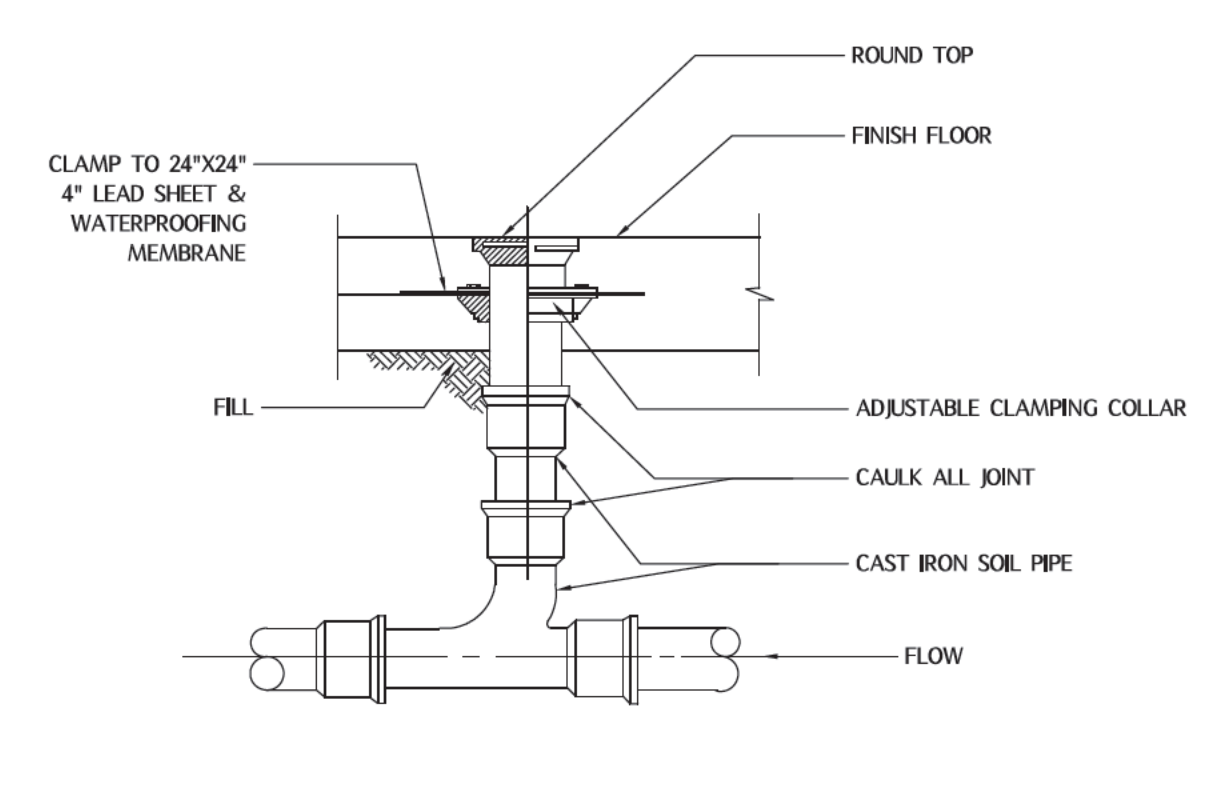
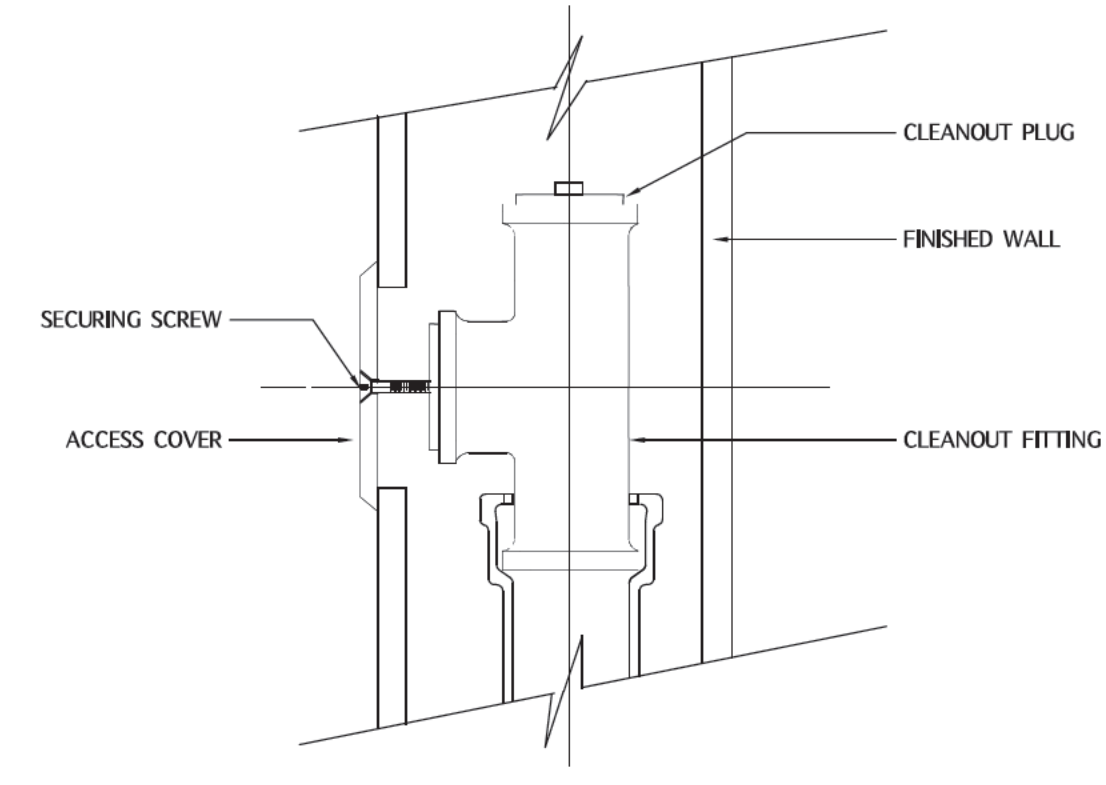
REFERENCE NUMBER

SHEET TITLE

SHEET NUMBER

A2.00

DATE	
REVISION/ISSUE	
NUMBER	

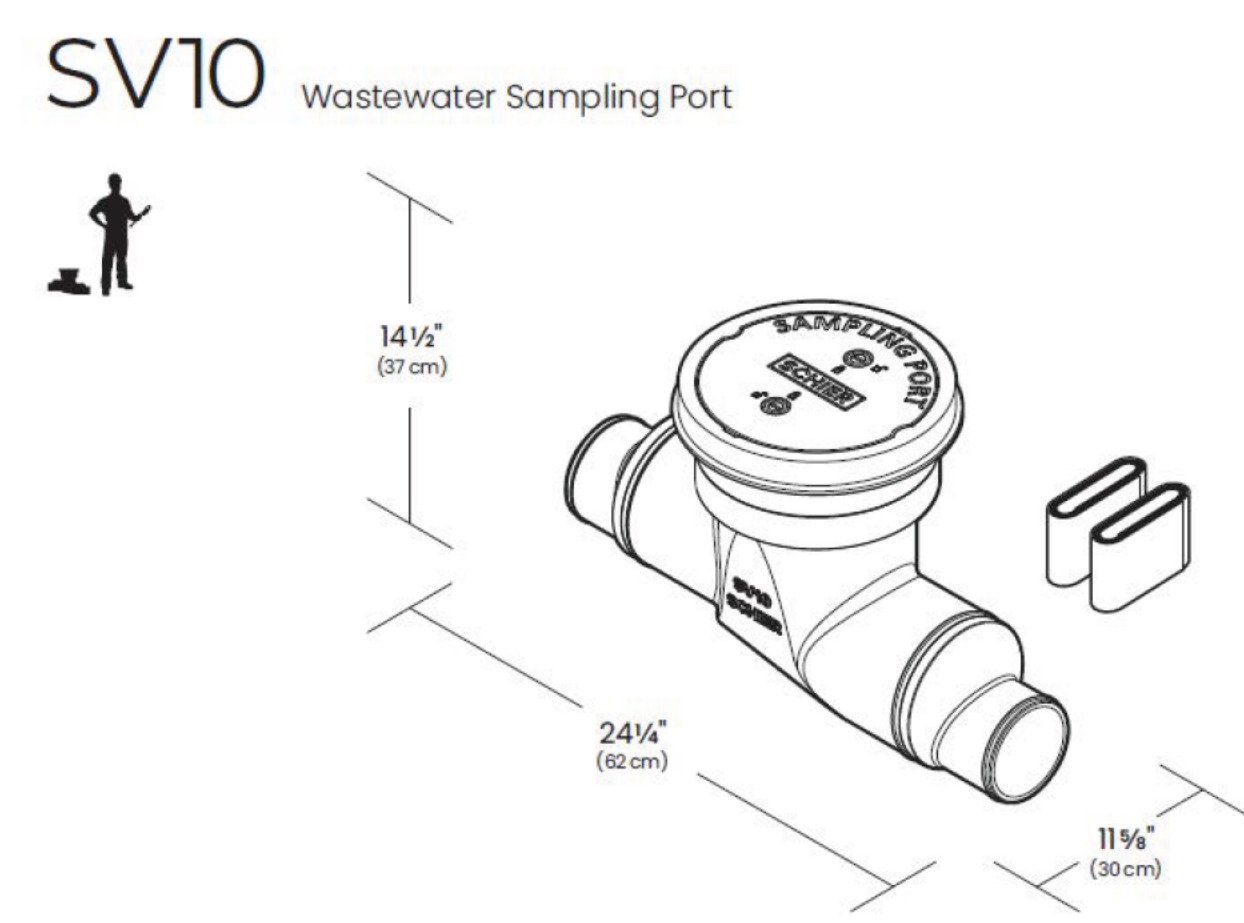


1 EXTERIOR TWO WAY CLEAN OUT NTS

2 WALL CLEAN OUT NTS

3 FLOOR CLEAN OUT NTS

4 VENT THRU DETAIL NTS



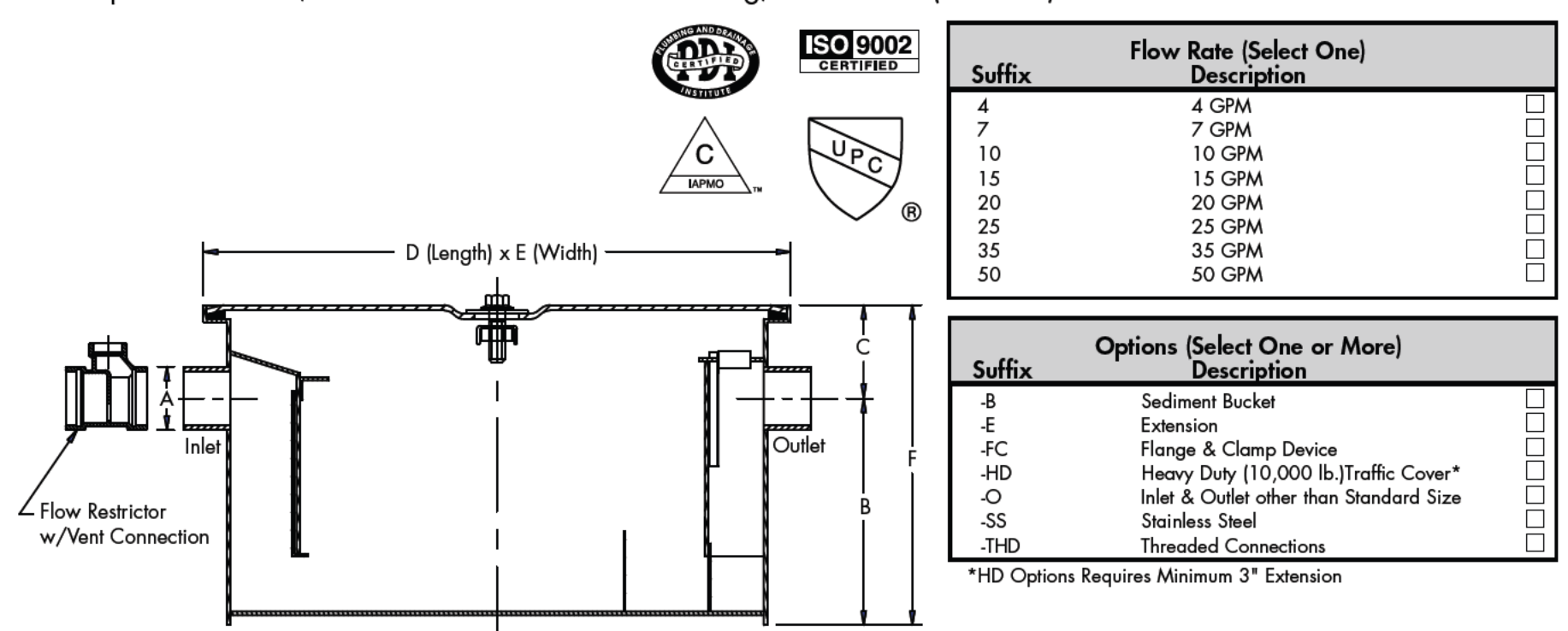
Standard
 Locations: Indoor/Outdoor
 Installation: Above/Below grade
 Weight: 9 lbs.
 Connections: 4" (100 mm) and 6" (150 mm) Plain End
 Cover: Cam Locked Gas/Water Tight
 Polyethylene with 16,000 lb. H20 load rating

Options
 FCRI0 (x)0 - 31" Field Cut Risers
 FCRI0 (x)2 - 31" - 64" Field Cut Risers
 FCRI0 (x)3 - 64" - 97" Field Cut Risers

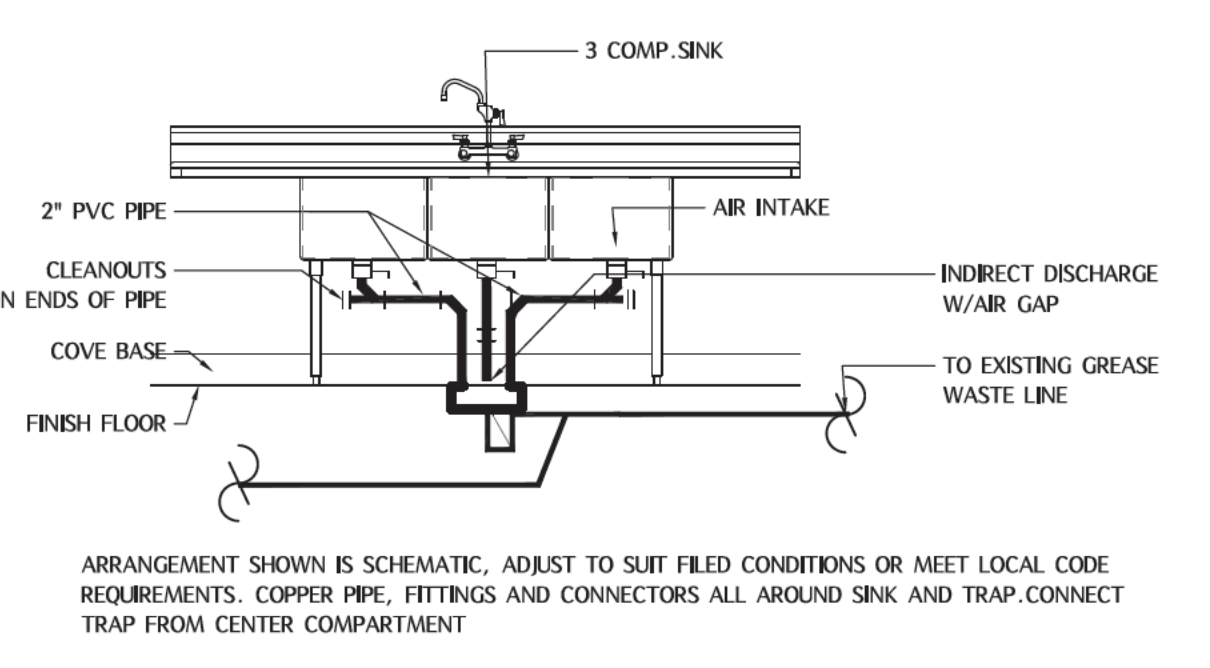


WD Series
PDI Certified Grease Interceptor

SPECIFICATION: Watts Drainage WD Series PDI Certified recessed or floor mounted epoxy coated steel grease interceptor with gasketed epoxy coated steel skid-proof cover secured with hex head center bolt(s), removable baffle assembly, deep seal trap with cleanout, external cast iron flow control fitting, and no hub (standard) connections.

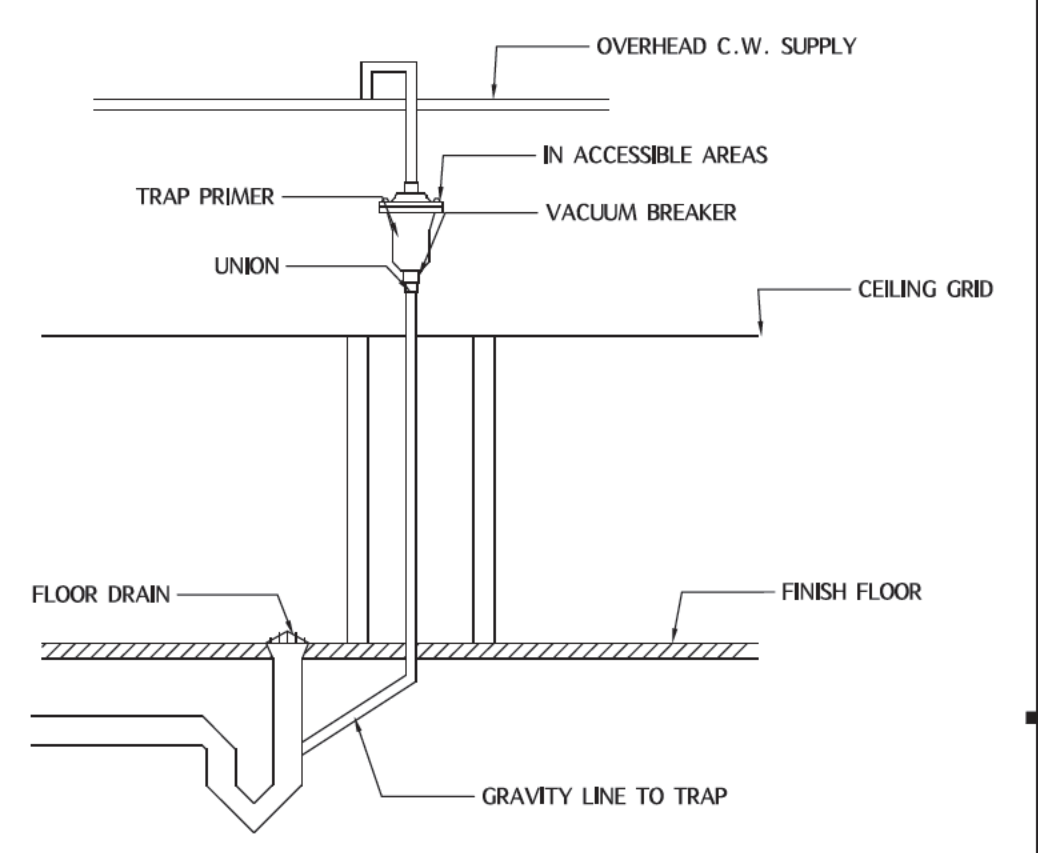


Interceptor Catalog Number	Flow Rate GPM	Grease Capacity lbs.	A Inlet & Outlet	B Base to Center	C Top to Center	D Length	E Width	F Height
WD-4	4	8	2"(51)	7-3/4"(197)	3-1/4"(83)	16"(406)	10"(254)	11"(279)
WD-7	7	14	2"(51)	8-1/2"(216)	3-1/2"(89)	18"(457)	13"(330)	12"(305)
WD-10	10	20	2"(51)	8-1/2"(216)	3-1/2"(89)	21-3/4"(552)	14"(356)	12"(305)
WD-15	15	30	2"(51)	10-1/2"(267)	3-1/2"(89)	22"(559)	15"(381)	14"(356)
WD-20	20	40	3"(76)	11-1/2"(292)	3-1/2"(89)	24"(610)	15-3/4"(400)	15"(381)
WD-25	25	50	3"(76)	12"(305)	4-1/2"(114)	26"(660)	16-1/2"(419)	16-1/2"(419)
WD-35	35	70	3"(76)	14"(356)	5"(127)	30"(762)	18"(457)	19"(483)
WD-50	50	100	4"(102)	16"(406)	5-1/2"(140)	32"(813)	22"(559)	21-1/2"(546)



ARRANGEMENT SHOWN IS SCHEMATIC, ADJUST TO SUIT FILED CONDITIONS OR MEET LOCAL CODE REQUIREMENTS. COPPER PIPE, FITTINGS AND CONNECTORS ALL AROUND SINK AND TRAP. CONNECT TRAP FROM CENTER COMPARTMENT

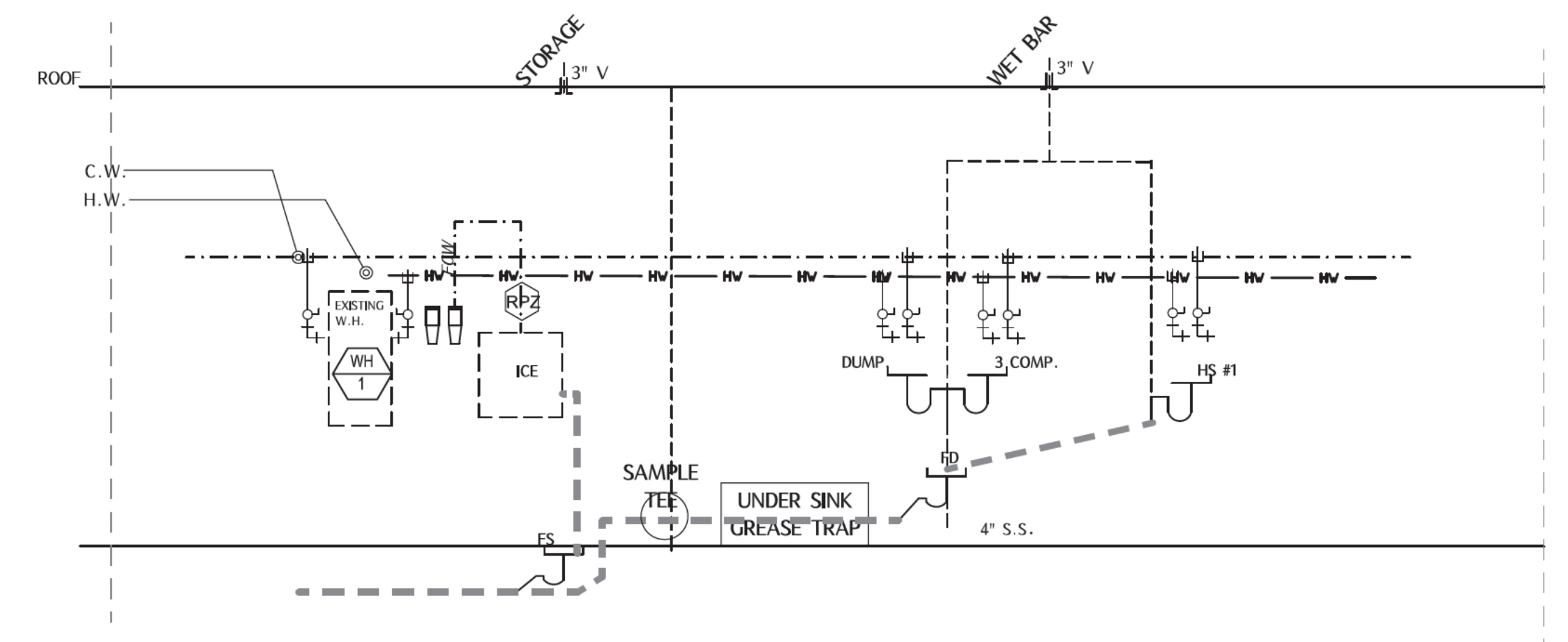
5 3 COMP. SINK NTS



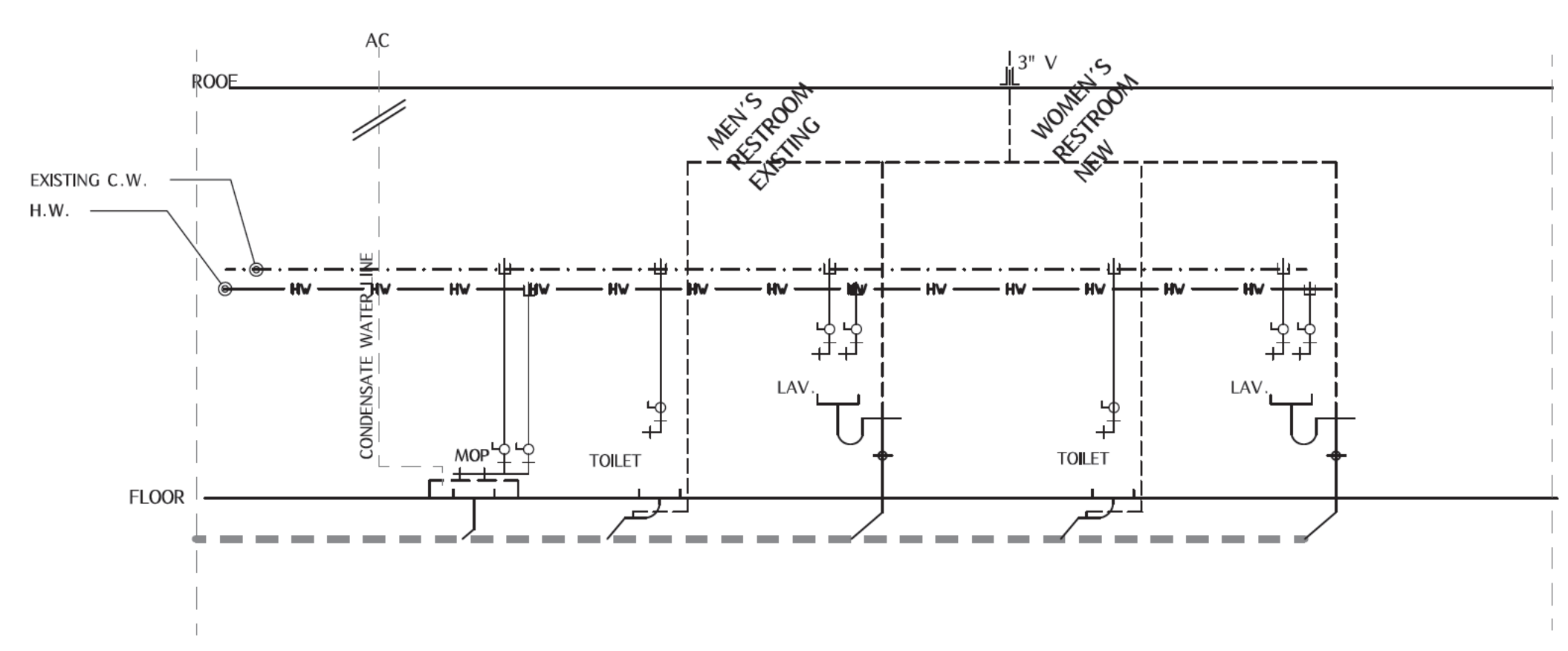
6 TRAP PRIMER DETAIL (TYP.) NTS

6 SAMPLE TEE NTS

7 GREASE TRAP ABOVE GROUND NTS



02 PLUMBING RISER DIAGRAM #2 (GREASE LINE) NTS



01 PLUMBING RISER DIAGRAM #1 (NON GREASE LINE) NTS



12200 N. STEWARTS FRWY #803
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PROJECT NAME / ADDRESS

SUITE COMBING & PARTIAL INTERIOR REMODELING
D20 TAVERN
 112 WEST OAK ST, SUITE #112-100
 DENTON, TX 76201

REFERENCE NUMBER

SHEET TITLE

SHEET NUMBER

MEP.5

June 10, 2026

d20 Keep

112 W. Oak St., Suite 200

**Kristen Pulido
Main Street Program Manager
Office of Economic Development**

FY 25/26 Downtown Reinvestment Grant Budget Status

FY 25/26 Downtown Reinvestment Grant Pipeline Stage		
Status	Total	Est. Amount Awarded
Application Review	1	\$100,000
Awaiting Application	2	\$200,000
Leads	4	\$200,000
TOTALS	7	\$500,000

Projected 25/26 Tax Increment Reinvestment Zone Number One Grants			
Phase	Owner/Business	Address	Requested Amount
APPROVED/CONSTRUCTION	Fine Arts Theater of Denton, LLC	115-116 N. Elm St.	\$50,000
APPROVED/CONSTRUCTION	West Oak Coffee Bar	114 W. Oak St.	\$50,000
APPROVED/CONSTRUCTION	West Oak Coffee Bar	114. W. Oak St.	\$50,000
APPROVED/PENDING REIMBURSEMENT	Brakefield Pools	520 S. Elm St.	\$10,000
APPROVED/CONSTRUCTION	325 W. McKinney St.	325 W. McKinney St.	\$50,000
APPROVED/CONSTRUCTION	Ruby Rodeo/Red Italian	122 N. Locust St.	\$50,000
TIRZ 1	d20 Keep	112 W. Oak St.	\$23,031
DEDC (June 4)	Dark Age Tattoo	124 W. Oak St.	\$4,281.25
		TOTAL	\$287,312.25
		<i>FY 25/26 Grant Budget</i>	<i>\$200,000</i>
		<i>Est. Fund Balance</i>	<i>(\$87,312.25)</i>

ALIGNMENT WITH CITY PLANS

- **City's Strategic Plan**
 - Key Focus Area 3: Foster Economic Opportunity and Affordability
 - Grow Denton's Economic Vitality
 - Key Focus Area 4: Strengthen Community and Quality of Life
 - Preserve Community Character and Identity
 - Strengthen Community Amenities
- **Economic Development Strategic Plan**
 - 2D.2 Downtown Development
- **Design Downtown Plan**
 - Community Priority: Retail and Commercial Development

BACKGROUND

- 2022 – Mark Michnevitz opens d20 Tavern
 - A craft beer and boardgame venue.
 - Features 20 local craft beers and over 400 tabletop games

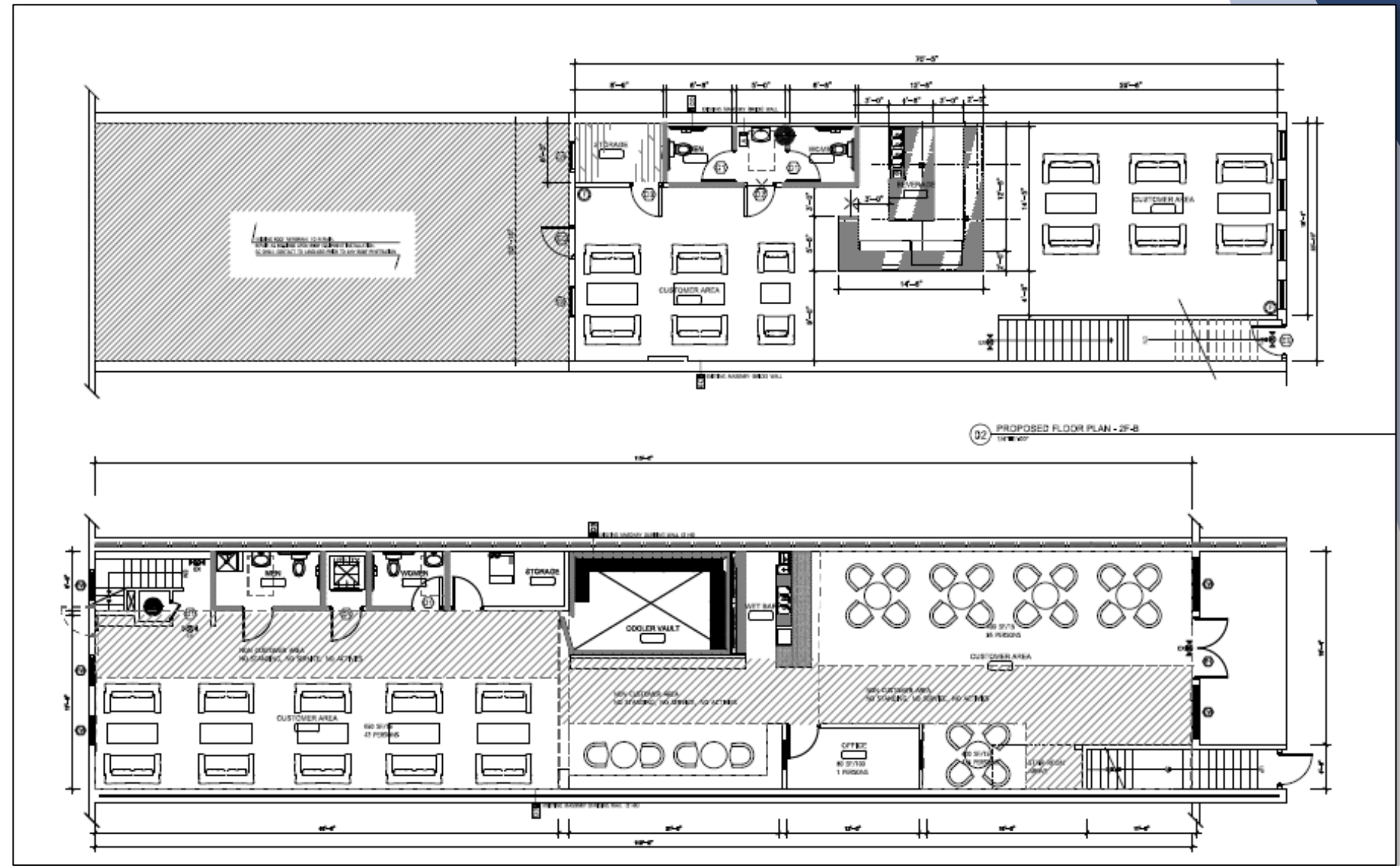
PROJECT

- After more than four years of successful operations, d20 plans to expand into the building's second floor. The new space, branded as "d20 Keep," will offer a similar experience to d20 Tavern.
 - Adds 1760 square feet
 - Increases opportunity for retail
 - 29 more occupants
 - Adds a bar and restrooms, as well as completing interior restoration.



UTILITY UPGRADES

- Mechanical
- Electrical
- Plumbing
- **Projected Cost: \$45,242**



INTERIOR/ CODE IMPROVEMENT

- ADA grab bar
- **Projected Cost: \$820.00**

ELIGIBLE EXPENSES

Projected Project Cost: \$46,062

TOTAL Capital Investment: \$99,638

112 W. Oak St. Suite 200, d20 Keep - Grant Application

Project Category	Estimated Cost	Grant Limit
Utility Upgrades	\$45,242	\$22,621
Interior/Code Improvement	\$820.00	\$410.00
Total Project Cost	\$46,062	\$23,031
Total Grant Request:	\$23,031	

SCORING

Downtown Reinvestment Grant Scoring – d20 Keep

Economic Impact: 0-5 Points	Historic Accuracy/Design: 0-5 Points	Upgrades to Utilities/Impact Fees: 0-5 Points	Increases Population: 0-5 Points	Interior/Code Improvements: 0-5 Points	Other 0-15 Points <ul style="list-style-type: none"> Partners with other businesses Project is a “target” business Promotes development of Denton Arts and Entertainment Longevity of Business 	Average
4	4	4	4	2	5	23
3	3	2	3	3	8	22
5	5	5	5	5	15	40
5	5	5	4	5	15	39
5	3	4	5	2	9	28
5	5	5	5	5	11	36
4	3	4	5	4	14	34
4	4	5	5	0	10	28
4.375	4	4.25	4.5	3.25	10.875	31.3

Review Process – Total project scores can range from 0-40

Recommendations will be based on:

0-9 points = No Funding

10-14 points = Grant recommendation of up to \$7,500

15-19 points - Grant recommendation of up to \$15,000

20-24 points = Grant recommendation of up to \$25,000

25-29 points = Grant recommendation of up to \$35,000

30-40 points = Grant recommendation of up to \$50,000

PRIOR ACTION

On April 2, 2026, the Downtown Economic Development Committee (DEDC) reviewed and scored the grant application. The application received an average score of 31 points, making it eligible for a recommendation of up to the max allowable amount of \$23,031. These scores support the recommendations to approve the application as requested. The Downtown Economic Development Committee recommends approval of up to \$23,031 (8-0).

NEXT STEPS:

- Recommend approval of grant amount by the DEDC to City Council.
- Recommend a lesser amount than recommended by the DEDC to the City Council.
- Do not recommend approval of grant application.

Questions?

Mark Michnevitz
Owner, d20 Tavern and d20 Keep



City of Denton

City Hall
215 E. McKinney Street
Denton, Texas
www.cityofdenton.com

AGENDA INFORMATION SHEET

DEPARTMENT: Economic Development

ACM: Christine Taylor

DATE: June 10, 2026

SUBJECT

Receive a report, hold a discussion, and make a recommendation regarding an amendment to the Downtown Tax Increment Reinvestment Zone Number One budget for the Downtown Reinvestment Grant.

BACKGROUND

The Downtown Reinvestment Grant Program was created in 2007. Since its creation, \$1,150,755 in grants have been distributed.

When the grant was created, it was initially funded through an annual allocation of \$100,000 in mixed beverage taxes. In 2018, the City Council approved Ordinance 18-1321, which moved the funding source for the Downtown Reinvestment Grant Program to the Downtown TIF Fund and changed the recommending body to the TIRZ 1 Board. To date, \$529,796 in grant funds have been awarded from the Downtown TIF Fund.

PRIOR ACTION/REVIEW

February 14, 2007 - The Downtown Task Force (now Downtown Economic Development Committee) unanimously recommended creating an incentive program to promote desired development/redevelopment in the Downtown area.

April 3, 2007 – City Council adopted the Downtown Incentive Reimbursement Grant Program.

September 10, 2018 – City Council adopted Ordinance No. 18-1321 approving changes to the funding source (Mixed Beverage Sales Tax to the Downtown Tax Increment Reinvestment Zone Number One), policy and procedures for the Downtown Reinvestment Grant.

August 18, 2020 – City Council adopted Ordinance No.20-1521 approving changes to the maximum available grant award for the Downtown Reinvestment Grant Program.

December 14, 2021 – City Council adopted Ordinance No.21-2626 approving changes to the maximum available grant award and limiting the number and timing of grants for properties that have already been improved using grants from the Downtown Reinvestment Grant Program.

Grant Project Activity

Approved Grant Projects in Progress as of May 2026.

- 113 – 115 N. Elm St., \$1,620,869, Fine Arts Theater of Denton LLC. Pending reimbursement.
- 113-115 N. Elm St., \$50,000, Fine Arts Theater of Denton LLC. (Fire Suppression) Pending reimbursement.

- 114 W. Oak St., \$50,000, West Oak Coffee Bar GP, LLC. (Façade/Building Rehab, Impact Fees, Utility Upgrades, Interior/Code Improvements) Pending reimbursement.
- 114 W. Oak St., \$50,000, West Oak Coffee Bar GP, LLC. (Fire Suppression) Pending reimbursement.
- 520 S. Elm St., \$10,000, Brakefield's Pool Service, LLC. (Façade, Paint Only & Sign) Pending reimbursement.
- 122 N. Locust St., \$50,000, Mister Red, LLC. (Façade/Building Rehab, Impact Fees, & Utility Upgrades) Pending reimbursement.
- 325 W. McKinney St., \$50,000, McKarroll Partners, LLC. (Façade/Building Rehab and Utility Upgrades) Pending Reimbursement.

Grant applications in approval process.

- 112 W. Oak St. \$23,031, d20 Keep (Utility Upgrades and Interior/Code Improvements) Pending TIRZ 1 Board and City Council Approval.
- 124 W. Oak St, \$4,281.25, Hicks Squared, LLC. (Awning) Pending DEDC Board, TIRZ 1 Board and City Council Approval.

RECOMMENDATION

Staff recommends that the TIRZ 1 Board increase the Downtown Reinvestment Grant budget to \$287,312.25 to fund the remaining grants currently in the approval process for FY25-26.

Staff also request guidance from the Board on whether to continue accepting Downtown Reinvestment applications for FY 2025-2026 cycle or pause new applications until FY 2026-2027.

Staff will present a formal request at a future board meeting to further increase the budget to support ongoing growth and development in the Downtown area for the next budget cycle.

EXHIBITS

Exhibit 1 – Agenda Information Sheet

Exhibit 2 – Presentation

Respectfully Submitted,
 Kristen Pulido
 Main Street Program Manager

June 10, 2026

**DOWNTOWN REINVESTMENT GRANT
BUDGET DISCUSSION**

**Kristen Pulido
Main Street Program Manager
Office of Economic Development**

OBJECTIVE

Receive a report, hold a discussion, and make a recommendation regarding an amendment to the Downtown Tax Increment Reinvestment Zone Number One budget for the Downtown Reinvestment Grant and provide direction regarding the acceptance of new grant applications.

HISTORIC/CURRENT DRG USAGE

Downtown Reinvestment Grant Usage			
	<i>Applications</i>	<i>Approved</i>	<i>Amount</i>
2021/2022	3	3	\$51,07.02
2022/2023	4	4	\$122,500
2023/2024	4	4	\$152,011
2024/2025	3	3	\$135,000

FY25-26 DOWNTOWN REINVESTMENT GRANTS

Downtown Reinvestment Grant Projects - IN PROGRESS				
Owner/Business	Address	Type	Capital Investment	Amount Awarded
Fine Arts Theater of Denton, LLC	115-116 N. Elm	Fire Suppression	\$118,447	\$50,000
West Oak Coffee Bar	114 W. Oak	Fire Suppression	\$171,751.16	\$50,000
West Oak Coffee Bar	114 W. Oak	Façade/Building Rehab, Impact Fees, Utility Upgrades, Interior/Code Improvements	\$362,132	\$50,000
Mister Red, LLC	122 N. Locust	Façade/Building Rehab, Impact Fees, Utility Upgrades	\$102,137.27	\$50,000
Brakefield's Pool Service	520 S. Elm	Façade (Paint Only) and Sign	\$32,833.65	\$10,000
McK Carroll Partners, LLC	325 W. Mckinney	Façade/Building Rehab, Utility Upgrades	\$542,247	\$50,000
D20 Keep	112 W. Oak	Utility Upgrades, Interior/Code Improvements	\$99,638	\$23,031
Dark Age Tattoo	124 W. Oak	Awning	\$8,562	\$4,281.25
		TOTAL	\$1,437,748	\$ 287,312.25

RECOMMENDATION

Staff recommends that the TIRZ I Board increase the Downtown Reinvestment Grant budget to \$287,312.25 to fund the remaining grants currently in the approval process for FY25-26.

Staff also request guidance from the Board on whether to continue accepting Downtown Reinvestment applications for FY 2025-2026 cycle or pause new applications until FY 2026-2027.

QUESTIONS?



City of Denton

City Hall
215 E. McKinney Street
Denton, Texas
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AGENDA INFORMATION SHEET

DEPARTMENT: Economic Development

ACM: Christine Taylor

DATE: June 10, 2026

SUBJECT

Staff Reports:

1. Future Agenda Items – Brittany Sotelo

BACKGROUND

Future Agenda Items:

Receive a report and hold a discussion regarding an overview of current items in the Agenda Queue and discussion of possible future agenda items.

EXHIBITS

Exhibit 1 – Agenda Information Sheet

Exhibit 2 – Future Agenda Items

Respectfully Submitted:
Matilda Weeden
Economic Development Specialist

Wednesday, July 22, 2026		
IC - Items for Consideration	Approval of Minutes	Chair
IC - Items for Consideration	DT Grant	Kristen Pulido
IC - Items for Consideration	TIRZ 1 Vice Chair Appointments	Chair
WS - Work Session	Review First Draft of Updated Grant Policy	Kristen Pulido
WS - Staff Report	Future Agenda Items	Brittany Sotelo
		Total Time
Wednesday, September 23, 2026		
IC - Items for Consideration	Approval of Minutes	Chair
WS - Staff Report	Future Agenda Items	Brittany Sotelo
		Total Time
Wednesday, November 18, 2026		
IC - Items for Consideration	Approval of Minutes	Chair
IC - Items for Consideration	Approval of 2027 Calendar	Vanessa Esparza
WS - Staff Report	Future Agenda Items	Brittany Sotelo
Wednesday, January 27, 2027		
IC - Items for Consideration	Approval of Minutes	Chair
WS - Staff Report	Future Agenda Items	Brittany Sotelo